

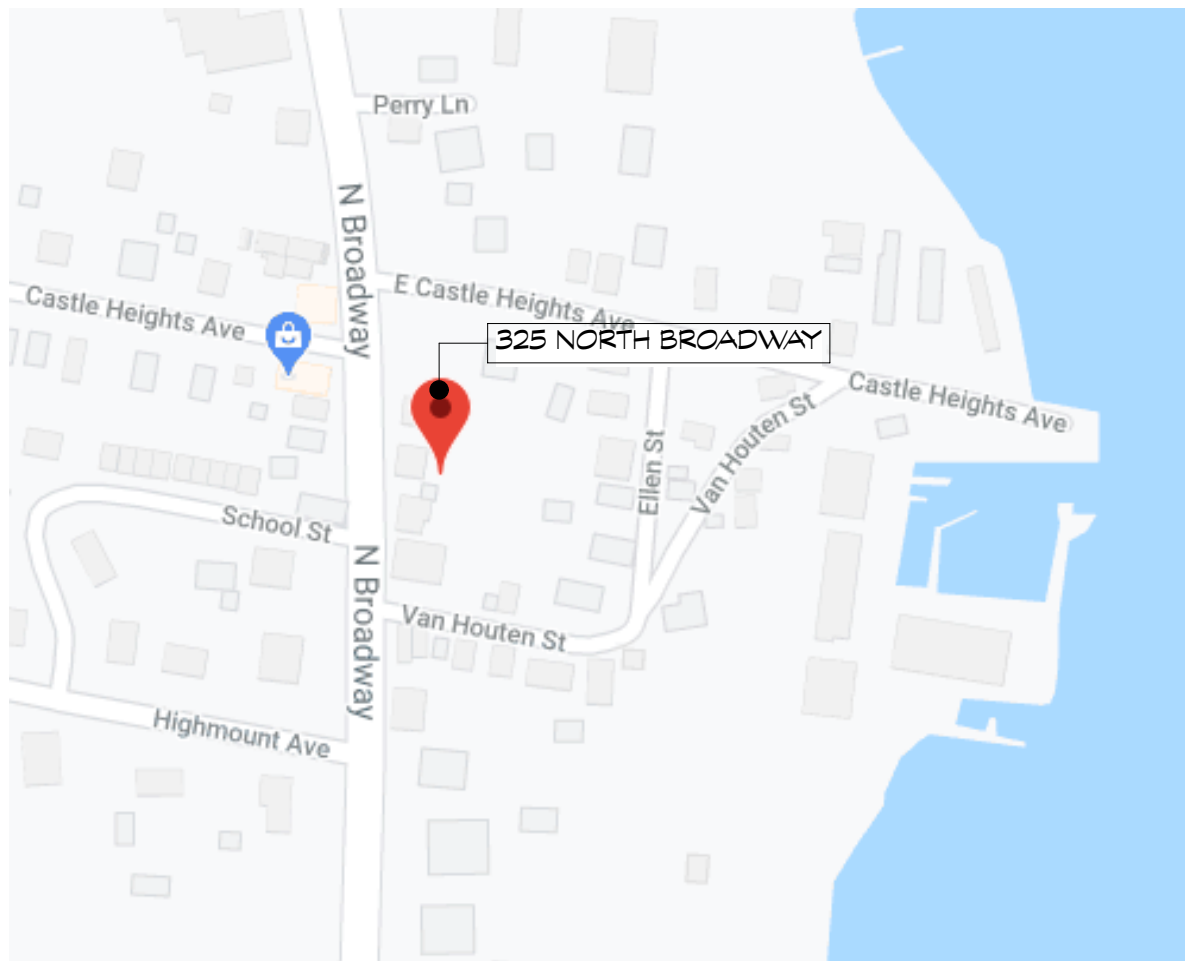
BULK TABLE

Village of Upper Nyack Zoning Code Article V §19: Tables of General Regulations

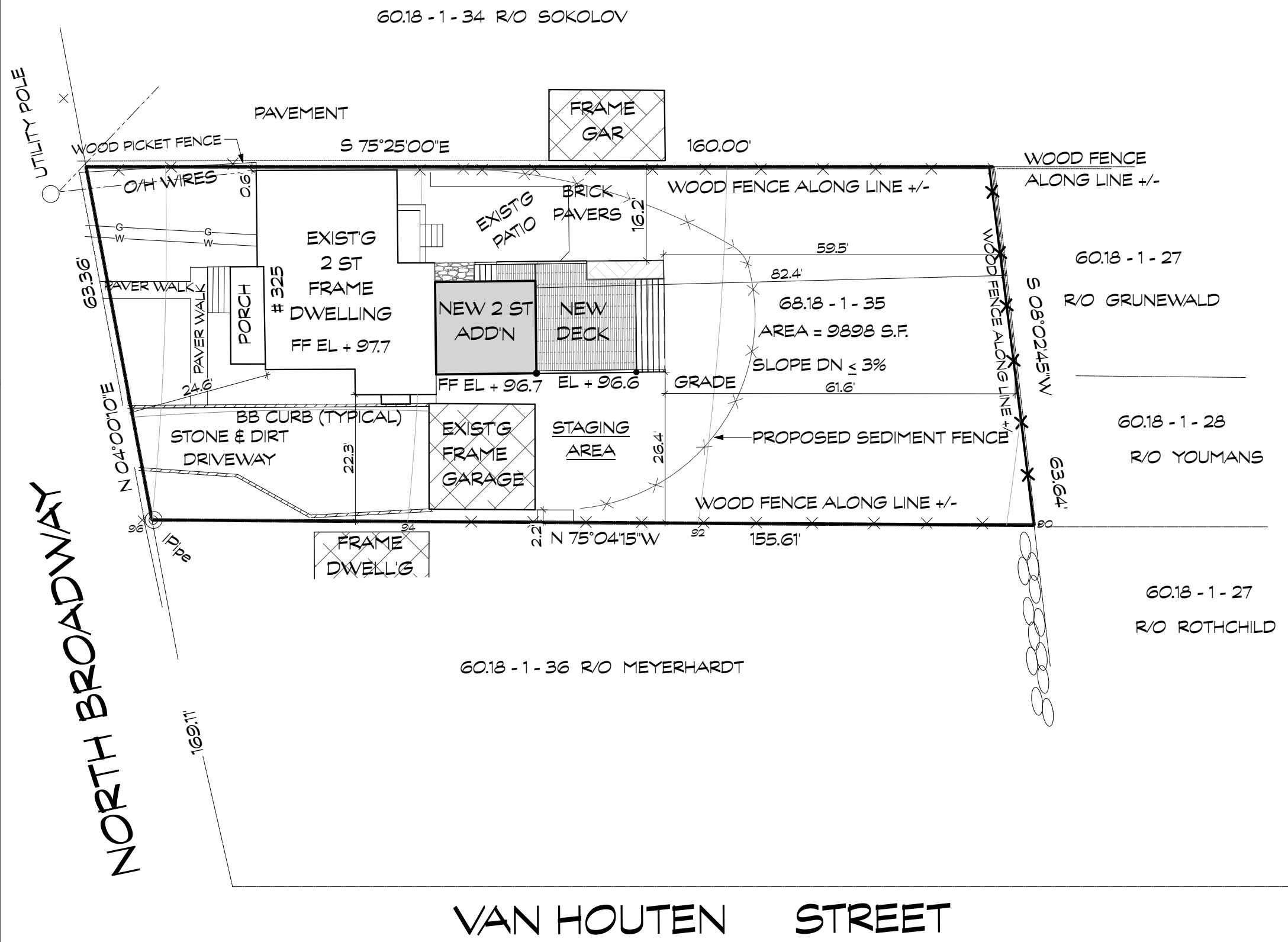
Owners of Record Trina Hunn & Nick Underwood
Property Address 325 North Broadway
Section/Block/Lot 60.18-1-35
Zone R-4/General Residential
Current Use(s) Single-Family Dwelling
Proposed Use(s) Single-Family Dwelling

	REQUIRED/ ALLOWABLE	EXISTING	PROPOSED	NET CHANGE
Minimum Total Lot Size*	10,000 sf	9,898 sf	9,898 sf	none
Minimum Street Frontage*	90'	63.36'	63.36'	none
Maximum Primary Building Lot Coverage	20.00%	14.28%	19.78%	+5.5%
Maximum Total Lot Coverage	40.00%	17.88%	23.38%	+5.5%
Minimum Livable Floor Area for (2) Floor Dwellings	1st Floor	750 sf	1,028 sf	+188 sf
	2nd Floor	600 sf	1,028 sf	+188 sf
Minimum Front Yard*	35'	24.5'	24.5'	none
Minimum Side Yard (north)*	25'	0.6'	0.6'	none
Minimum Side Yard (south)*	25'	22.2'	22.2'	none
Minimum Rear Yard (not incl. deck & stairs)	25'	99.8'	82.1'	-17.7'
Minimum Rear Yard (incl. deck & stairs)	25'	81.5'	58.8'	-22.7'
Maximum Building Height	35/2 st	32/2st	32/2 st	none

*denotes an existing nonconformity proposed not to be made worse



3 VICINITY MAP
SCALE: 1" = 300'

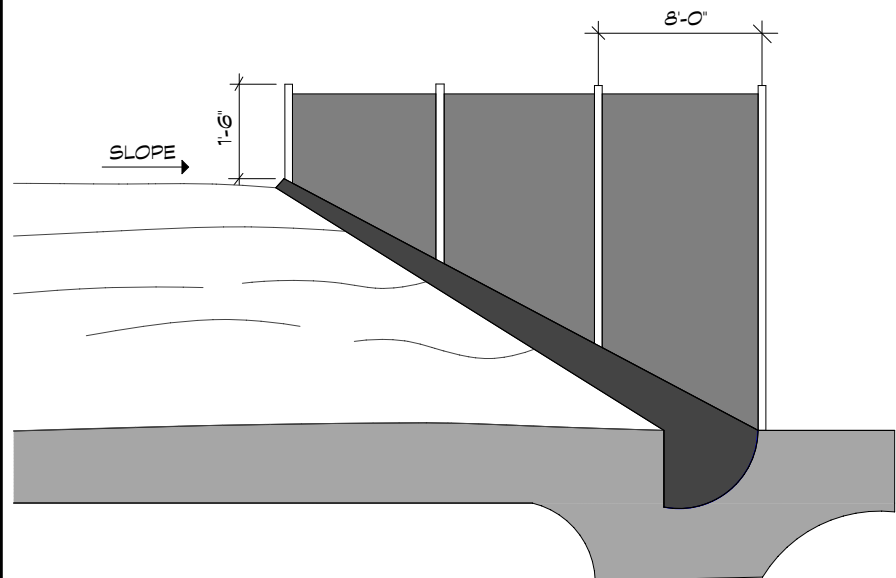


1 SITE PLAN
SCALE: 1" = 20'

BASED ON MAP NO. 9846 BY ROBERT R. RAHNFIELD, P.L.S. | P.O. BOX 881 PEARL RIVER, NY 10965 | DATED 8.FEB.2016

NOTES:

- EXIST'G GRADE @ SITE IS LESS THAN 3% AND WILL NOT BE CHANGED.
- SITE HAS NO TREES ≥ 16' DIA.
- SITE PLAN APPROVAL EXPIRES AFTER THREE (3) YEARS.
- ALL CONSTRUCTION & ASSOCIATED UTILITIES SHALL CONFORM TO APPLICABLE STATE & LOCAL CODES AS OF THE DATE OF SUBMISSION.



2 SEDIMENT FENCE DETAIL
NOT TO SCALE

PLANNED PRACTICES & SPECIFICATIONS FOR SEDIMENT & EROSION CONTROL:

- CONSTRUCT SEDIMENT FENCE AROUND AREA TO BE DISTURBED DURING CONSTRUCTION INCLUDING TEMPORARY SOIL STOCKPILING AREA. SEDIMENT FENCE TO CONTINUE TO EXISTING HOUSE AT EACH END & SHALL COMPLETELY & SEPARATELY ENCLOSE TEMPORARY SOIL STOCKPILE.
- LOCATE FENCE POST TO DOWNSIDE SIDE OF FENCE FABRIC TO HELP SUPPORT FENCING.
- FENCE TO BE 16" HIGH MINIMUM ABOVE GRADE. BURY TOE OF FENCE APPROXIMATELY 8" DEEP TO PREVENT UNDERCUTTING.
- WHERE JOINTS IN FABRIC ARE NECESSARY, SECURELY FASTEN AT A SUPPORT POST W/ OVERLAP TO NEXT POST.
- FENCING FABRIC TO BE NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN W/ EXTRA STRENGTH; 50 LB/LINEAR INCH MINIMUM W/ FLOW RATE OF 0.3 GALLON / SQ FT MINIMUM. FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- POSTS TO BE 4" DIAMETER PINE, 4' LONG MINIMUM, SPACED 8'-0" O.C. MAXIMUM.
- LEAVE SEDIMENT FENCE IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND SURROUNDING AREA IS READY FOR SEEDING.



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ADDITION & RENOVATIONS TO THE HUNN / UNDERWOOD RESIDENCE
 325 NORTH BROADWAY | NYACK NY

MARK	DATE	DESCRIPTION
15-MAR-2021		NYACK PLANNING BOARD

SITE PLAN
SCALE AS NOTED
SP1
SECO # 1902