

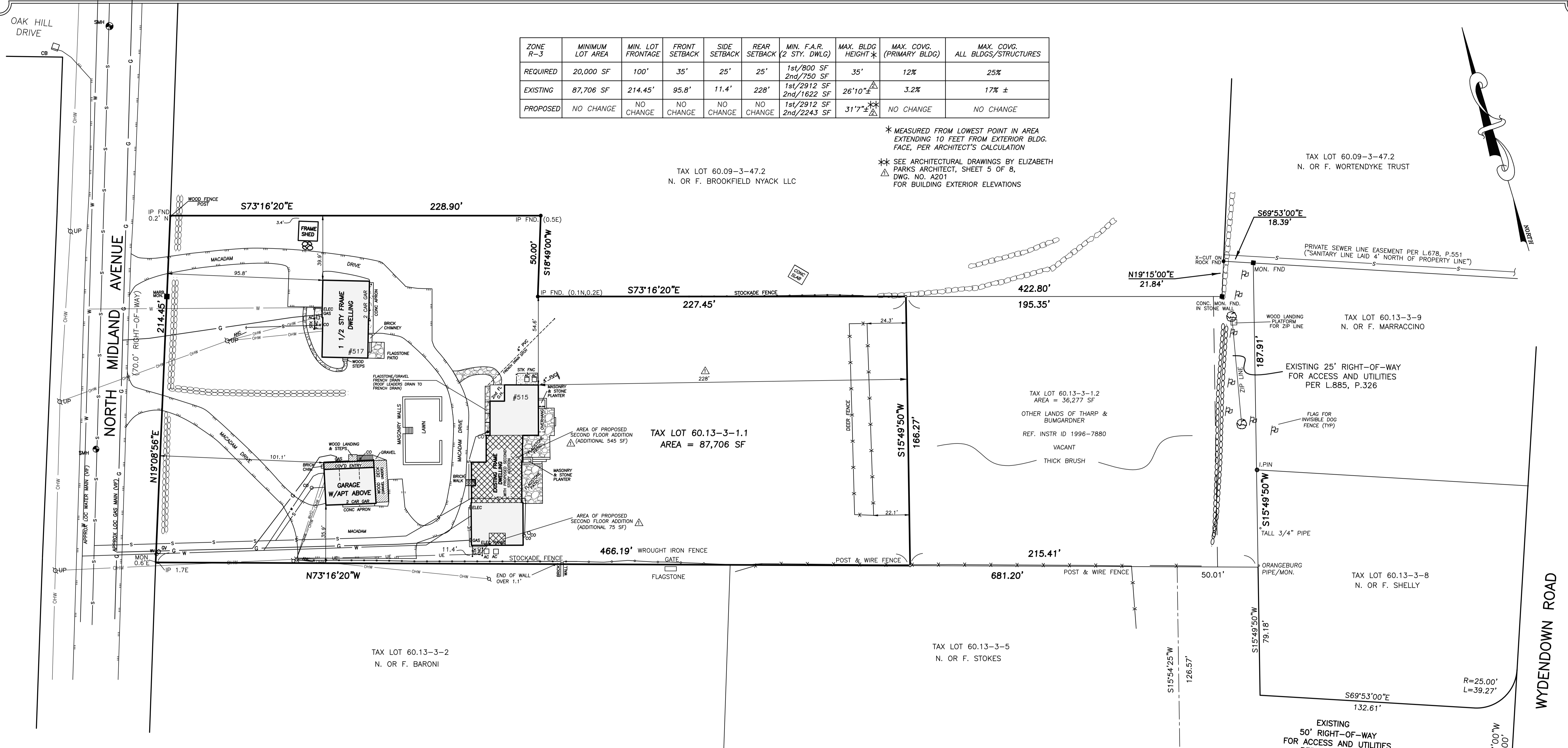
| ZONE | MINIMUM LOT AREA | MIN. LOT FRONTAGE | FRONT SETBACK | SIDE SETBACK | REAR SETBACK | MIN. F.A.R. (2 STY. DWLG) | MAX. BLDG HEIGHT* | MAX. COVG. (PRIMARY BLDG) | MAX. COVG. ALL BLDGS/STRUCTURES |
|----------|------------------|-------------------|---------------|--------------|--------------|----------------------------|-------------------|---------------------------|---------------------------------|
| REQUIRED | 20,000 SF | 100' | 35' | 25' | 25' | 1st/800 SF 2nd/750 SF | 35' | 12% | 25% |
| EXISTING | 87,706 SF | 214.45' | 95.8' | 11.4' | 228' | 1st/2912 SF 2nd/1622 SF | 26'10"± | 3.2% | 17% ± |
| PROPOSED | NO CHANGE | NO CHANGE | NO CHANGE | NO CHANGE | NO CHANGE | 1st/2912 SF 2nd/2243 SF | 31'7"±** | NO CHANGE | NO CHANGE |

* MEASURED FROM LOWEST POINT IN AREA EXTENDING 10 FEET FROM EXTERIOR BLDG. FACE, PER ARCHITECT'S CALCULATION

** SEE ARCHITECTURAL DRAWINGS BY ELIZABETH PARKS ARCHITECT, SHEET 5 OF 8, DWG. NO. A201 FOR BUILDING EXTERIOR ELEVATIONS

TAX LOT 60.09-3-47.2
N. OR F. BROOKFIELD NYACK LLC

TAX LOT 60.09-3-47.2
N. OR F. WORTENDYKE TRUST



TAX LOT 60.13-3-1.1
AREA = 87,706 SF

TAX LOT 60.13-3-1.2
AREA = 36,277 SF
OTHER LANDS OF THARP & BUMGARDNER
REF. INSTR ID 1996-7880
VACANT
THICK BRUSH

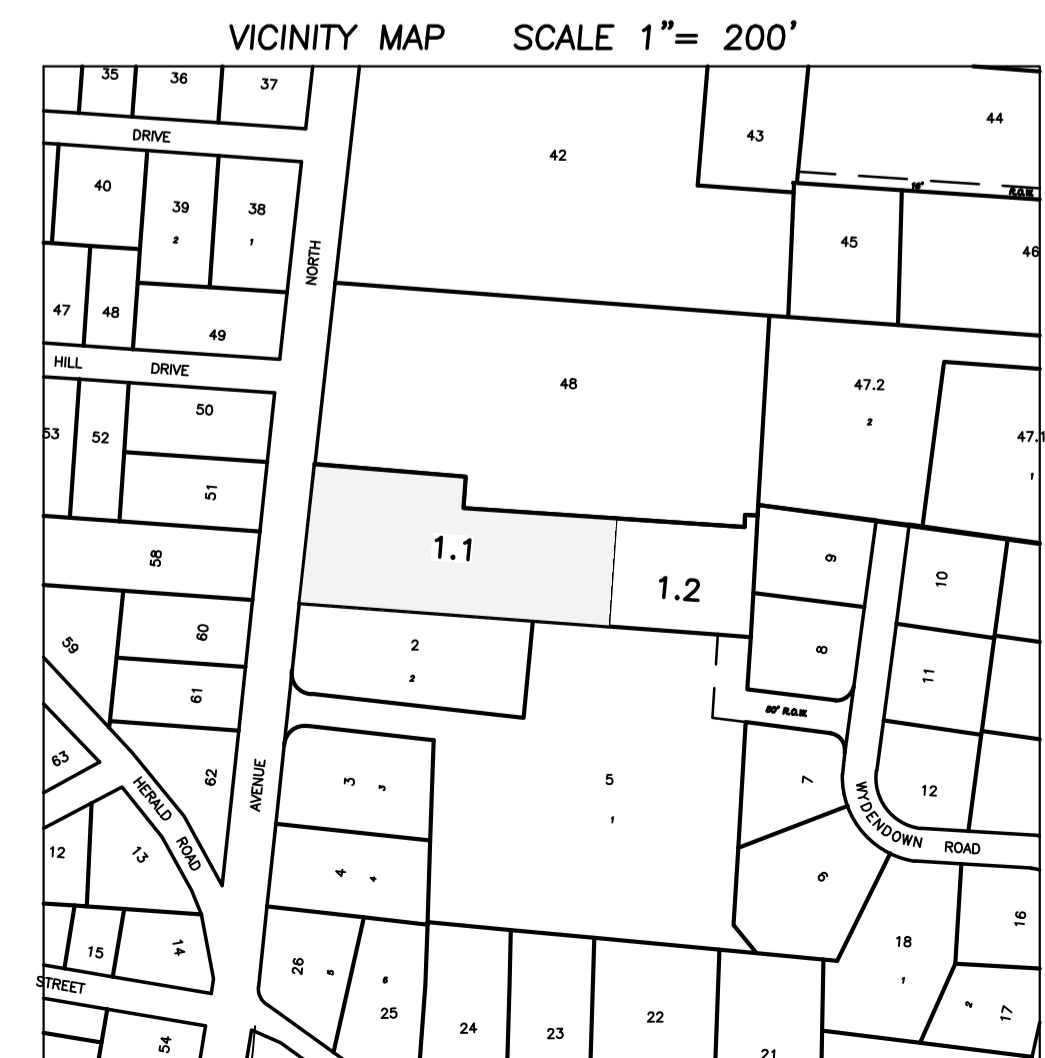
TAX LOT 60.13-3-9
N. OR F. MARRACCINO

EXISTING 25' RIGHT-OF-WAY FOR ACCESS AND UTILITIES PER L.885, P.326

TAX LOT 60.13-3-8
N. OR F. SHELLY

TAX LOT 60.13-3-5
N. OR F. STOKES

TAX LOT 60.13-3-2
N. OR F. BARONI



NOTE: SITE PLAN IS FOR ADDITION OF SECOND FLOOR TO EXISTING HOUSE. NO MODIFICATION TO THE FOOTPRINT IS INTENDED. NO IMPROVEMENTS TO THE GROUNDS ARE PROPOSED.

- NOTES:
- RECORD OWNER & APPLICANT: LOUIS C. THARP & JAMES B BUMGARDNER
515 NORTH MIDLAND AVE, UPPER NYACK, NEW YORK 10960
 - ZONE: R-3
 - AREA= 87,706 SF; 2,013 AC
 - EXISTING TAX LOT: 60.13-3-1.1
 - ALL UTILITIES ARE EXISTING. ANY NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC) AFFECTED BY THE DEVELOPMENT OF THIS PARCEL SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - THE CORNERS OF THE LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
 - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - WATER SUPPLY BY SUEZ NY.
 - SANITARY SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SEPARATION OF TEN FEET.
 - SUBJECT TO VILLAGE AND STATE CONSTRUCTION AND UTILITY STANDARDS, AS APPLICABLE.
 - THE DEVELOPER SHALL CONFORM TO THE "NEW YORK STATE STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL".
 - PROTECTION OF TREES: NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED, EXCEPT WHERE ENGAGED FOR TREE REMOVAL. NO EQUIPMENT SHALL BE OPERATED WITHIN 80% OF CRITICAL ROOT RADIUS OF ANY TREE PROPOSED TO BE PROTECTED IN THIS ORDINANCE NOR SHALL EQUIPMENT BE OPERATED AT ANY TIME IN SUCH MANNER AS TO BREAK, TEAR, BRUISE, DECORTICATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
 - PLANNING BOARD AND ARCHITECTURAL BOARD APPROVAL FOR SITE AND HOUSE PLANS IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AT THE TIME OF SITE PLAN SUBMISSION, A DETAILED TREE LOCATION PLAN SHALL BE PROVIDED IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
 - SITE PLAN SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL, WITHIN WHICH TIME APPLICANT SHALL SECURE A BUILDING PERMIT.
 - EXISTING TREES SHOWN ON THE GRADING PLAN AS TO REMAIN, ARE TO REMAIN UNDISTURBED AND BE PROTECTED WITH A 6 FOOT HIGH WOODEN FENCE WITH POSTS PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FT. MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A 4" CALIBER HARDWOOD SHADE TREE AS DIRECTED BY THE LANDSCAPE ARCHITECT. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND AN AREA OF SUCH TREES HAS BEEN REMOVED, A 2 1/2 - 3" CALIBER HARDWOOD SHADE TREE SHALL BE PLACED FOR EVERY 200 SF OF AREA DISTURBED.
 - ALL TREES SCHEDULED FOR REMOVAL MUST HAVE A VALID VILLAGE OF UPPER NYACK TREE PERMIT PRIOR TO CUTTING OR REMOVAL.

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NOTE
UNDERGROUND UTILITY INFORMATION PROVIDED BY OWNER AND VISUAL OBSERVATIONS.

LEGEND

| | | |
|-----|-----|-------------------------------|
| CB | FI | CATCH BASIN/FIELD INLET |
| --- | --- | DRAIN LINE |
| S | SMH | SANITARY MANHOLE / PIPE |
| --- | --- | EDGE OF PAVEMENT |
| --- | --- | CONCRETE CURB |
| G | G | GAS LINE |
| W | --- | WATER LINE |
| ANC | --- | UTILITY POLE W/ ANCHOR |
| OHW | UE | OVERHEAD/UNDERGROUND ELECTRIC |
| --- | --- | CLEANOUT |

| DATE | REVISIONS |
|----------|-------------------|
| 12/28/20 | BLDG HEIGHT CALC. |
| 11/23/20 | FB*COMMENTS |

DESIGNED JAG
DRAWN LDW
CHECKED JAS
APPROVED JAG

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SITE PLAN FOR
THARP/BUMGARDNER
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

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TAX LOT 60.13-3-1.1
AREA 87,706 SF
FILE 22033SITE
SCALE 1"=30'
DATE 09/30/20
JOB NO. 22033