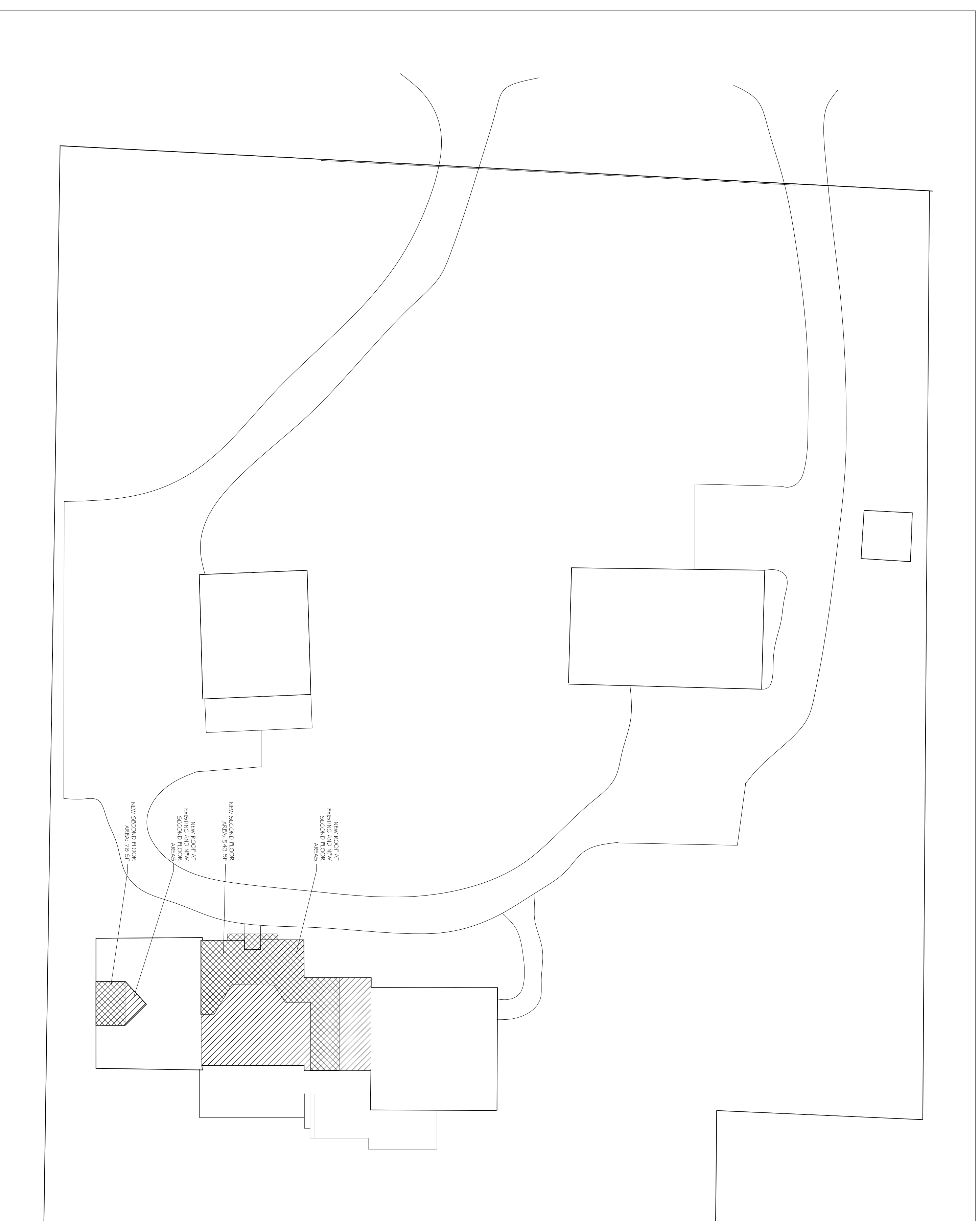


THARP BUMGARDNER RESIDENCE ALTERATIONS & ADDITIONS

515 N. MIDLAND AVENUE
UPPER NYACK, NEW YORK

PLANNING APPLICATION OCTOBER 13, 2020
ARB & ZBA APPLICATION NOVEMBER 23, 2020
PLANNING CONTINUATION DECEMBER 28, 2020

ELIZABETH PARKS ARCHITECT
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1 LOCATION PLAN (ZONING MAP)
A001 NO SCALE

DRAWING LIST	
A001	PROJECT SITE PLAN & DESIGN DATA
A100	EXISTING OVERALL FLOOR PLANS
A101	PROPOSED FLOOR PLANS
A200	EXISTING EXTERIOR ELEVATIONS
A201	PROPOSED EXTERIOR ELEVATIONS
A202	SOUTH ELEVATION & BLDG. SECTIONS
A400	INTERIOR ELEVATIONS & SCHEDULES
A401	INTERIOR ELEVATIONS & DETAILS

2 PARTIAL SITE PLAN WITH NEW RESIDENCE (Refer to Site Plan dated 9/30/20, prepared by Jay Greenwell, P.L.S. for additional information)
A001 SCALE: 1/16" = 1'-0"

12.28.20 Planning Board Continuation
11.23.20 ARB & Zoning Board Application
10.13.20 Planning Board Application
10.01.20 Planning Board Application

ISSUE DATES

PROJECT:
**Tharp Bumgardner
Residence:
Addition & Alterations**
515 N. Midland Avenue Upper Nyack, NY
OWNERS:
Louis Tharp & Jim Bumgardner

DRAWING TITLE
PROJECT SITE
PLAN

DATE
March 2020

SCALE
As Noted

DWG. NO.

A001

1 OF 8

GENERAL NOTES & SPECIFICATIONS

- General Standards**
1. CODES: The project is designed and shall be constructed in compliance with the following codes:
 - 2020 IRC Residential Code of New York State
 - 2020 ESRM Building Code
 - 2020 Existing Building Code
 - 2020 Edition of NY State (Residential)
 2. All work shall conform to the State of New York and the U.S. Government laws, rules and regulations as they apply including but not limited to zoning, safety, energy conservation, etc.
 3. General conditions shall be as set forth in AIA Document A105 Form of Agreement between Architect and Contractor, 2017 Edition, and shall govern work under the contract. If it is deemed expedient in full or in part, the Architect and Contractor shall be responsible for the removal or construction debris from the site and the disposal of same in a legal manner.
 4. All dimensions and locations as indicated on the drawing shall be considered as reasonably correct, but it shall be understood that they may be changed with the approval of the architect as may be required at time of installation to coordinate with the building structure.
 5. All work shall be performed by skilled mechanics in their respective trades. Any state or local requirements for licensed subcontractors shall be met.
 6. All contractors shall hold to the intent of the drawings which is to provide complete and finished work, tested, guaranteed and ready for occupancy. Specific notes & information on drawings shall supersede general specifications listed below.
 7. All materials and equipment shall conform to the manufacturer's specifications. The Contractor shall furnish a written warranty on his work and all subcontractor work, against defects resulting from the use of inferior materials, equipment, or workmanship, as determined by the architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to the Owner. Available manufacturers warranties for longer periods on materials and equipment shall be provided. All dimensions, tolerances, etc. prior to ordering materials or starting work. Information on one drawing applies to all drawings. Discrepancies, if any, shall be reported in writing to the Architect.
 9. If, during construction, conditions are uncovered which are deemed to be not normal or reasonably standard and which could not have been anticipated, and which will require a change in the work, the Contractor shall notify the Architect prior to commencing such work. In the event the Contractor proceeds with the work without the written in the opinion of the Architect, to be normal or could reasonably have been anticipated, the Contractor will be required to complete the work without additional compensation.
 10. Typical minor details and assemblies, although not shown or specified, which are necessary for proper construction and operation of any part of the work are to match work already and appearance of any existing construction and shall be included in the work.
 11. All patching and repairing shall be done in new, matching or approved salvaged materials. Finish to match nearest existing finish.
 12. The Contractor shall obtain all permits with the complete cooperation and assistance of the respective Subcontractors, including but not limited to the Certificate of Insurance.
 13. Insurance: All Contractors shall provide the Owner with certificates of insurance prior to starting work for the following amounts: general liability, property and bodily injury \$1,000,000.00; property damage: \$300,000.00; Workman's Compensation adequate to cover all obligations of the Workers's Compensation and Disability Benefits Laws; automobile liability and property damage \$1,000,000.00.
 14. The Owner and Architect shall be additional named insured on the General Liability.
 15. All equipment, materials and workmanship shall be furnished and installed in accordance with product literature of manufacturer, applicable codes, and industry standards.
 16. Dispose of debris of site in a legal manner.
 17. Prevent unauthorized access to dangerous work areas and to interior of structure during construction. The Contractor shall, at all times, provide a waiver of lien from the contractor, and as a condition to final payment, provide a waiver of lien from the contractor, and waivers of liens or proof of payment in full from all subcontractors and suppliers.

- Concrete**
1. Presumed soil bearing capacity for footings is 2000 psi. Report any unsatisfactory or non-conforming conditions to the architect immediately.
 2. All concrete shall be in accordance with the American Concrete Institute ACI 301 and ACI 308.5. All concrete shall be tested and certified by an independent testing agency in accordance with the American Concrete Institute Code of Practice for Building Code of NY State.
 3. All concrete shall be normal weight and shall have a minimum ultimate compressive strength of 3500 psi at 28 days, unless otherwise noted. Concrete slump shall be 4 inches (4 - 1" inch). An entrainment shall be 5-7%.
 4. concrete for slabs shall have minimum ultimate compressive strength of 3,500 psi at 28 days, unless otherwise noted.
 5. Concrete reinforcing shall be made of 60 deformed bars of new billet steel and shall conform to ASTM specification A615 with a minimum yield strength Fy-60 ksi. Welded wire fabric, unless noted otherwise, shall conform to ASTM A185 sans A82 welded steel wire fabric (Fy-70 ksi). Unless otherwise noted, splices shall be class "B" and all hooks shall be standard.
 6. Unless otherwise noted, concrete cover shall be provided for reinforcing steel bar #6 and larger:..... 2 in. #6 and smaller and W/F:..... 1 1/2 in.
 7. A 1/2" diameter shall be provided at all exposed edges of concrete, in accordance with ACI 301 section 4.2.4.
 8. Installation of concrete expansion wedge anchor shall be per manufacturer's written manufacturer's recommendations for embedment, or not shall conform to manufacturer's recommendations for embedment.
 9. No rebar shall be cut without prior engineering approval when drilling holes in existing or previously installed concrete.
 10. Provide galvanized conduit sleeves where required for electrical service or other lines.
- Carpeting**
1. All lumber materials shall be new, sound, dry material free from defects and indicated on the drawings or required by code.
 2. All studs, sills and posts shall be Douglas-Fir (1% maximum moisture content) No. 2 Grade or Stud Grade.
 3. All Beams, Joists, rafters and headers shall be Douglas-Fir, No. 2 grade or better (unless drawings call for engineered lumber). Floor joists shall have 19% maximum moisture content (No. 2 Douglas-Fir).
 4. Other framing shall be as follows: No. 2 Douglas-Fir.
 5. All wood in contact with concrete or ground shall be No. 2 grade Southern Yellow Pine, ACQ pressure preservative treated.
 6. All joists to have a minimum of 2" bearing. Double floor joists below all interior partitions running parallel to the joist framing.
 7. All framing shall be 18" O.C. unless otherwise indicated. All studing shall be 16" O.C. unless otherwise noted. The solid cross-bracing for all floor joists and rafters at midspan.
 8. Subflooring:
 - a. In areas of wood framing, subflooring to be 3/4" CDX plywood, tongue-and-groove, glued and nailed.
 9. All horizontal dimensions are to face of gypsum board on the interior, and face of framing/woodwork on the exterior. All vertical dimensions are to top of subfloor or finish floor unless otherwise noted. All window and door headers shall be as follows: exterior shall be minimum (2) 2 x 10's; interior shall be minimum (2) 2 x 8's.
 11. All engineered lumber to be installed as per manufacturer's recommendations.
 12. Framing details and fastening to be in accordance with the Residential Code of NY5.
 13. Provide all framing anchors required by the code, whether or not shown on the drawings.
 13. All Sinks (or other) fasteners to be installed as per manufacturer's recommendations.
 14. Window rough opening head heights are to be set so that finished door and window head casings are the same height unless otherwise noted.
 15. Do not cut, drill, remove or damage structural members in any way without the written consent of the Architect.
 16. Install all window and door anchors, trim, and sashes. Scribe to fit adjoining work. Anchor securely, using concealed fasteners or finishing nails for finished work, countersunk, filled flush.
 17. Install trim with minimum number of joints. Copse returns at inside corners, miter returns at outside corners and scarf end-to-end joints.
 - a. Where installed, interior trim shall be solid wood, free from knots or other imperfections, clear if for stain finish, finger-jointed if for painted finish.

- Finestopping:**
1. Provide finestopping in all areas of the specified work. Project areas must be completely finestopped at the conclusion of the job.
- New Installation to be installed at the following locations**
- Exterior wall cavities opened or exposed by work of the project
 - Insulation to be unfaced mineral fiber batts, fit to available openings.
 - Insulation roof rafters at Loft Level guest room, refer to drawings for additional information.
 - Insulation to be closed cell spray foam with average R-7 per installed inch of thickness.
 - Below first floor. Refer to drawings for anticipated detail
 - Insulation to be rigid foam, suitable for installation beneath concrete slab, with R-7 per inch of thickness.
- Gypsum Drywall**
1. 1/2" regular tapered edge ASTM C-36 gypsum wall board, screwed to studing and metal J-panels at all exposed edges.
 2. All wall and ceiling surfaces scheduled for the finish are to have 1/2" Durock Cement Board by U.S.G. Company, or similar as approved, installed in strict accordance with manufacturer's installation instructions.
 3. Moisture resistant gypsum shall have gypsum surfaces scheduled for paint finish to have 1/2" moisture resistant gypsum board to be installed using screws. Wall and ceiling surfaces not for tile to be installed with tape and three (3) coats of all-purpose compound. Sand between coats and after last one.
- Ceramic Tile**
1. Bathroom lower area to have ceramic tile finish. See drawings for additional information.
 - a. Ceramic tile to be provided by the Owner and installed by G.C. specified.
 - b. Grout colors to be selected by Owner from samples provided by installer or as specified.
 - c. Provide bullnose and other tile fittings as required by installation conditions.
 - d. New saddle at entry door to be wood to match guest room flooring.
- Floor Finishes & Accessories**
1. All floor preparation will be done by the G.C.. At a minimum, floor preparation will consist of the following:
 - a. Remove all debris and sweep with adjacent surfaces.
 - b. Provide appropriate underment for specified finish flooring
 - c. Provide, repair or replace all finestopping at floor areas.
 2. Finish flooring to be as noted in the drawings and specified herein.
 - a. First floor areas to have new pre-finished engineered wood flooring installed over new concrete slab with embedded hot water radiant heating.
 - b. Pre-finished engineered wood flooring material to be selected by the Owner.
 - c. New Guest Room flooring to be salvaged wide plank flooring, supplied by owner.
 - d. At Guest Room, all new and existing wood flooring, saddles and edge strips to be re-finished for even appearance. Stain and sealing materials to be selected from mocked up samples provided by the Contractor.

- Painting**
- Entire interior of new work to be re-finished, painted or stained.
1. First Floor: All walls, ceilings, doors & frames, windows, baseboards, casing & trim to be painted, eggshell finish
 - a. Walls to be painted, eggshell finish
 - b. Ceilings to be painted, flat finish
 - c. Painted frames, casings & trim to be painted, semi-gloss finish
 - d. Flooring - not applicable (pre-finished material to be installed).
 2. Loft Level: All walls, ceilings, doors & frames, windows, baseboards, casings & trim, to be painted, eggshell finish
 - a. Walls to be painted, eggshell finish
 - b. Ceilings to be painted, eggshell finish
 - c. Painted frames, casings & trim to be painted, semi-gloss finish
 - d. Flooring, with previous stain finish to be stained with polyurethane sealer and finish coats. Heavy duty material to be pre-primed or otherwise prepared to protect against moisture condition for entire floor area.
 3. Preparation and Installation
 - a. Use materials of specified manufacturer.
 - b. Paint colors and degree of gloss to be selected by Owner. Contractor to submit samples of preliminary color selection of paint and stains on actual materials for final approval of Owner and Architect.
 - c. All surfaces to be properly and thoroughly prepared for painting in accordance with good industry practices. Do not paint surfaces unless they are suitable for finished conditions.
 - d. All work to be done with proper lighting to ensure even coverage.
 - e. Minimum finish coats:
 - i. One coat latex primer
 - ii. Two coats latex-acrylic paint.
 - f. Painted Doors and Trim:
 - i. One coat latex primer
 - ii. Two coats latex-acrylic.
- Note: All finish (where selected, unless pre-finished products are selected):
 Hardwood floor finish: polyurethane
 Walls: eggshell
 Ceilings: flat
 Doors: semi-gloss
 Trim: semi-gloss
 Polyurethane: 2 coats

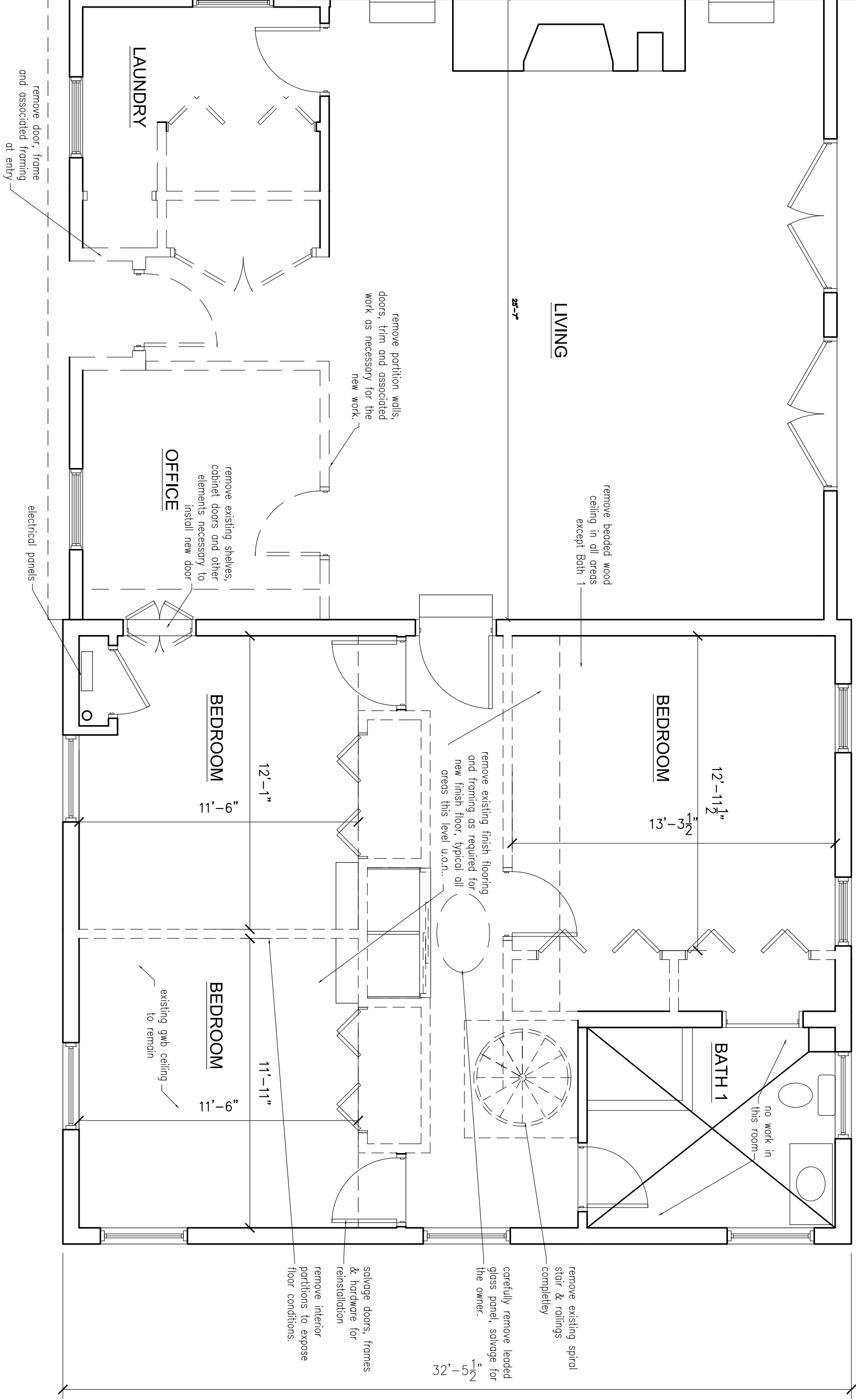
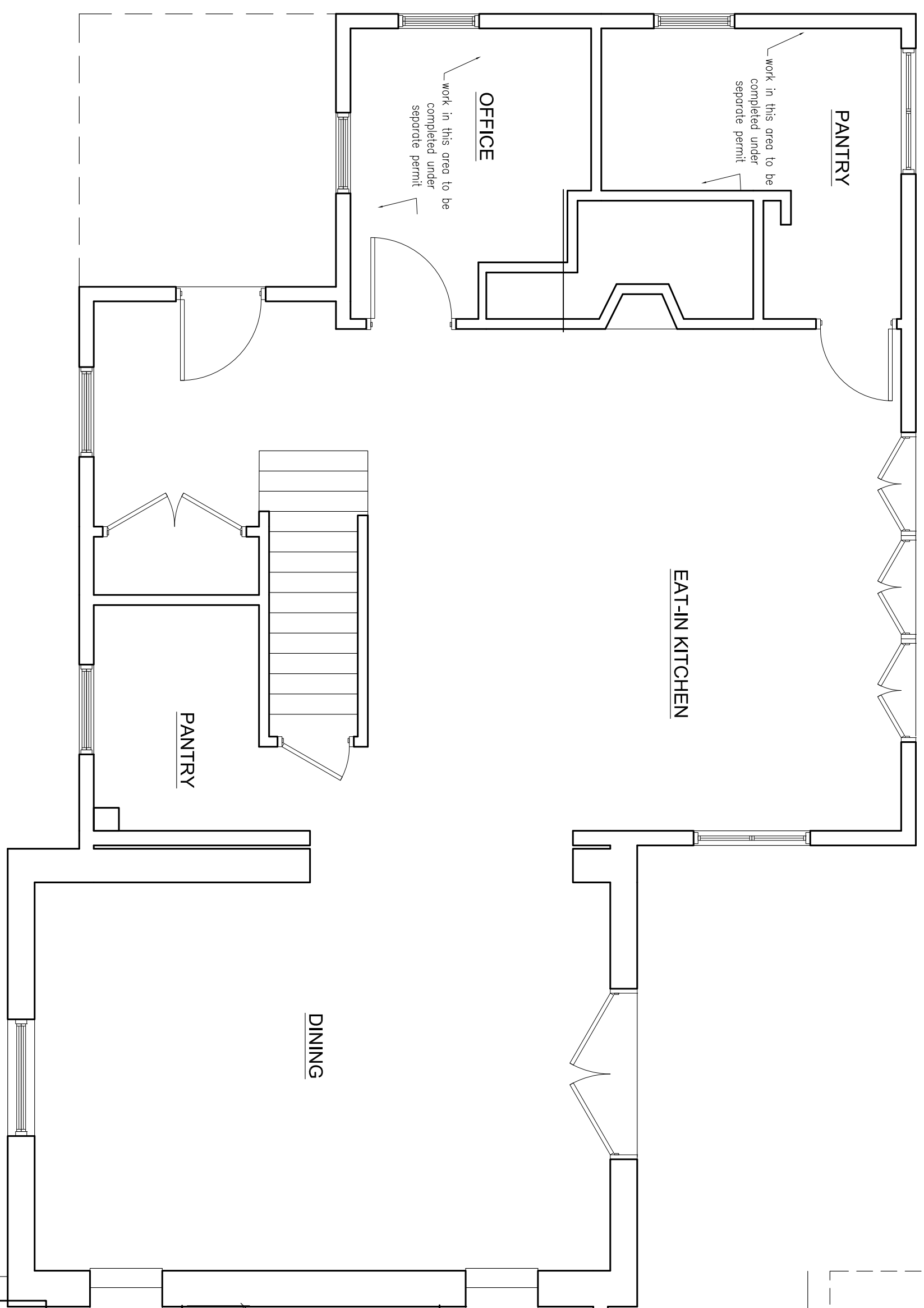
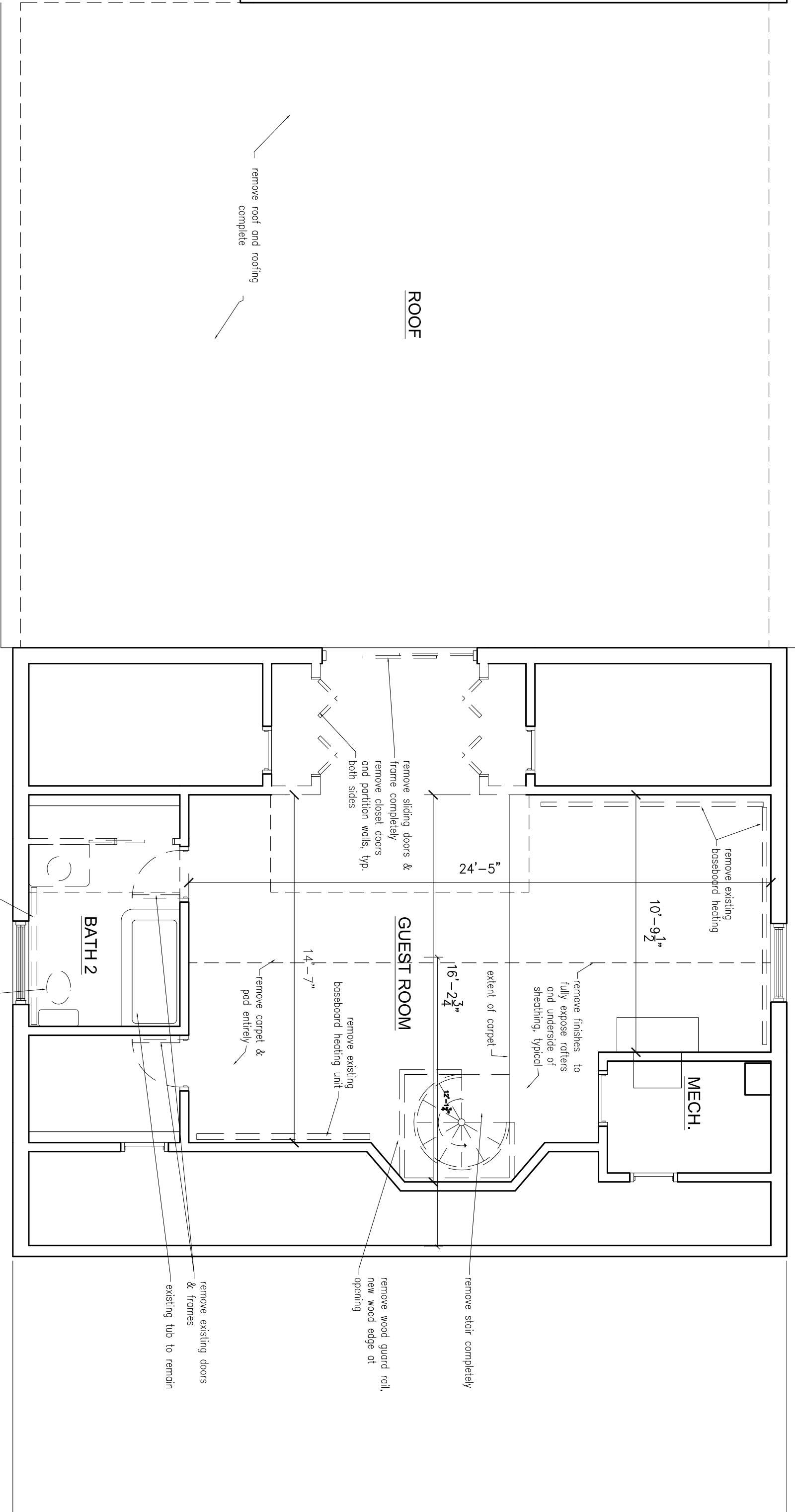
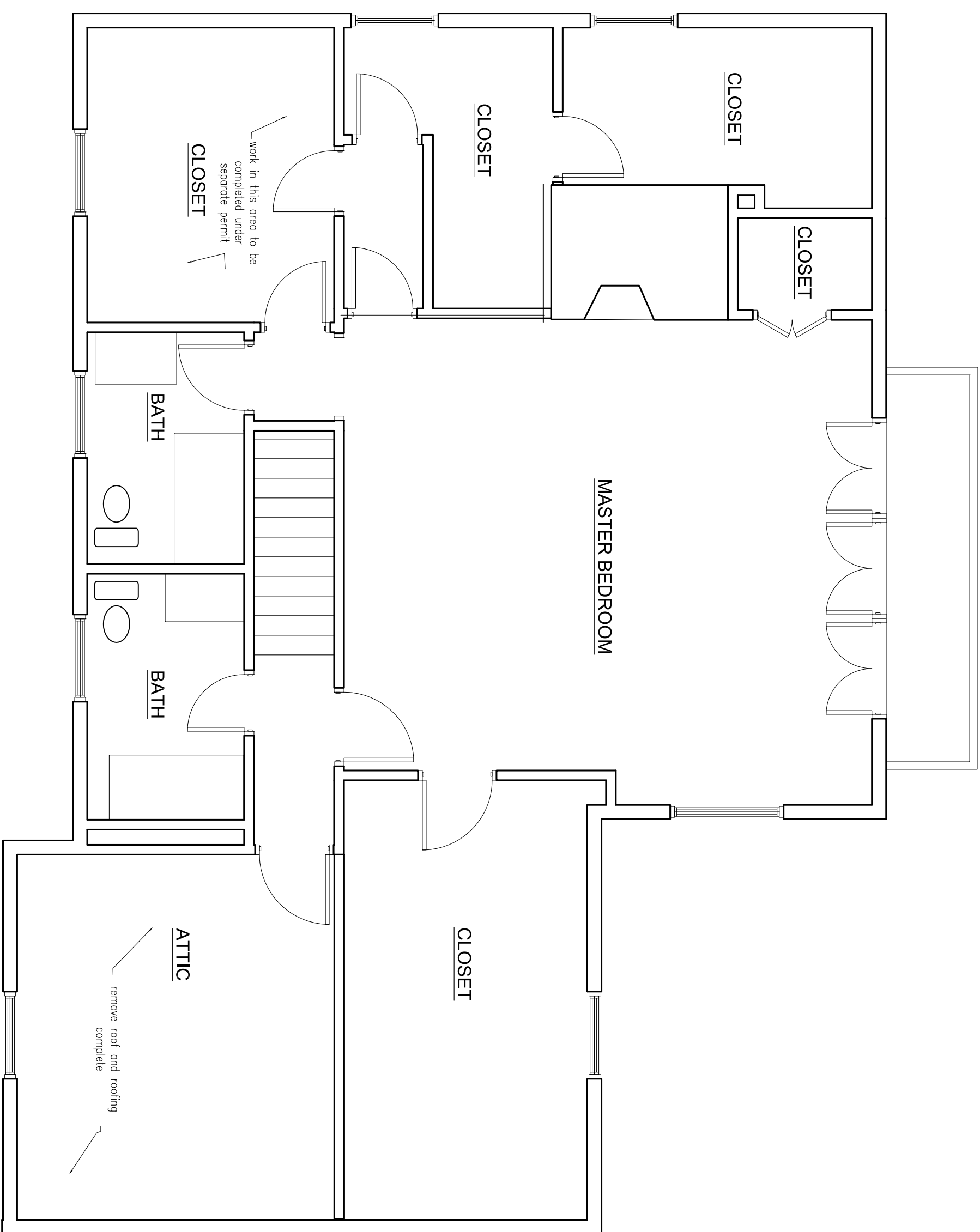
- Bath Accessories**
1. Toilet Accessories to be provided by the Owner and installed as shown and directed. Provide blocking in the wall and anchors appropriate for the installation conditions.
- Doors & Frames**
1. Interior doors to be solid wood, cross frame design as selected by the owner, set up in clear wood frames, all for clear finish. No finger-jointed wood for frames.
 2. Interior casing trim to be wood, profiles as selected by the Owner.
- Door Hardware**
1. Entry door hardware to be Emtek, style as selected by the Owner.
 2. Interior Door hardware to be emtek, style as selected by the Owner.
- Plumbing**
1. Work will be completed on a Design-Build basis in conformance with all applicable codes and regulations, including the specific requirements noted in the drawings and herein. In the case of a conflict between the contract documents and the governing code or ordinance, the more stringent standard shall apply.
 2. Connect to existing supply and drain lines.
 3. New fixtures as noted and shown for existing Loft Level Bathroom.
- Heating & Air Conditioning**
1. Work will be completed on a Design-Build basis in conformance with all applicable codes and regulations, including the specific requirements noted in the drawings and herein. In the case of a conflict between the contract documents and the governing code or ordinance, the more stringent standard shall apply.
 2. New hotwater radiant heating to be installed in First Floor slabs.
 3. New hotwater radiant heating to be installed at Loft Level Guest Room and bathroom.
 4. Radiators to be -- by Radiant
 5. Re-work existing air conditioning system as necessary for new work.
- Fire Detection & Protection**
1. Provide smoke/heat detectors in all areas as required by local authority, fire department, N.Y.S. Uniform Building Code and requirements of NFPA regulations. The code or ordinance, the more stringent standard shall apply.
 2. Provide one carbon monoxide detector on each level.
- Electrical**
1. Work will be completed on a Design-Build basis in conformance with all applicable codes and regulations, including the specific requirements noted in the drawings and code or ordinance, the more stringent standard shall apply.
 2. Connect to existing service from the house.
 3. Provide new panels, breakers and circuits as required by new work, including new HVAC units and other equipment.
 4. Provide new switched lighting and receptacles as indicated.
 5. New devices to be by Leviton, code(s) to be selected
 6. Light fixtures to be provided by the Owner.

12.28.20 Planning Board Continuation 11.23.20 ARB & Zoning Board Application 10.13.20 Planning Board Application 10.01.20 Planning Board Application
ISSUE DATES

ELIZABETH PARKS ARCHITECT
 243 South Highland Road Garrison, NY 10524
 tel: (914) 204-1150 elizabeth@elizabethparksarchitect.com

PROJECT:
Tharp Bumgardner Residence: Addition & Alterations
 515 N. Midland Avenue Upper Nyack, NY
 OWNERS:
 Louis Tharp & Jim Bumgardner

DRAWING TITLE GENERAL NOTES & LEGENDS
DATE March 2020
SCALE As Noted
DWG NO. A002
2 OF 10



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Tharp Bumgardner Residence: Addition & Alterations
515 N. Midland Avenue Upper Nyack, NY

OWNERS:
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DRAWING TITLE
EXISTING FLOOR PLANS

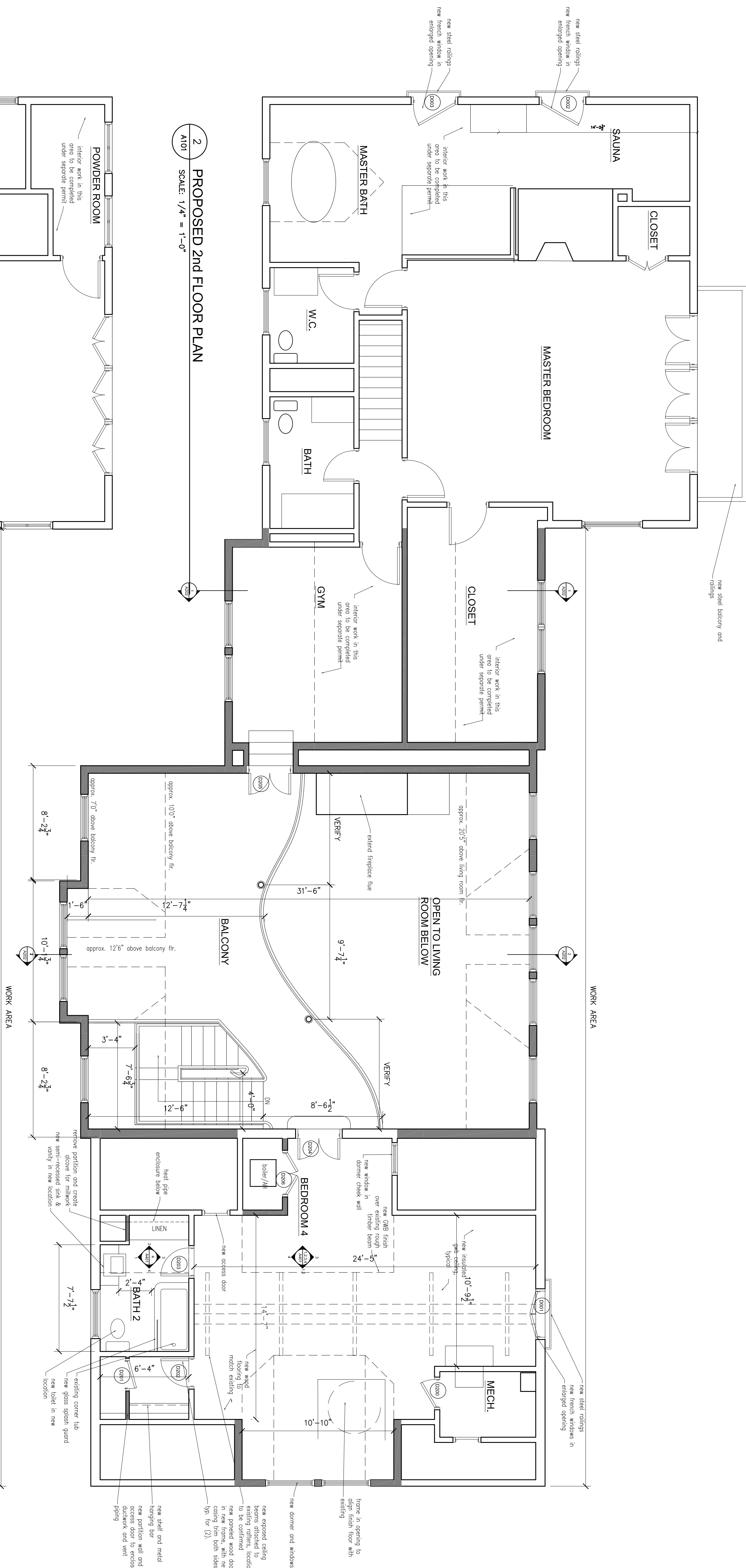
DATE
March 2020

SCALE
As Noted

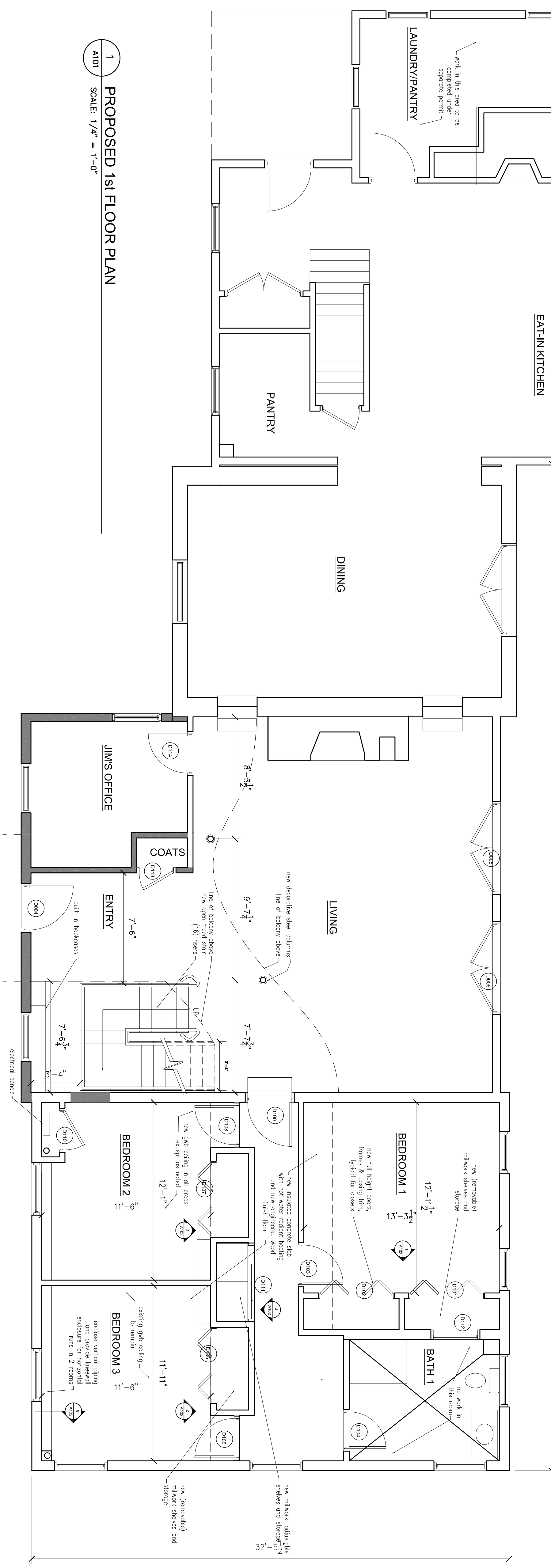
DWG. NO.

A100

2 OF 8



2 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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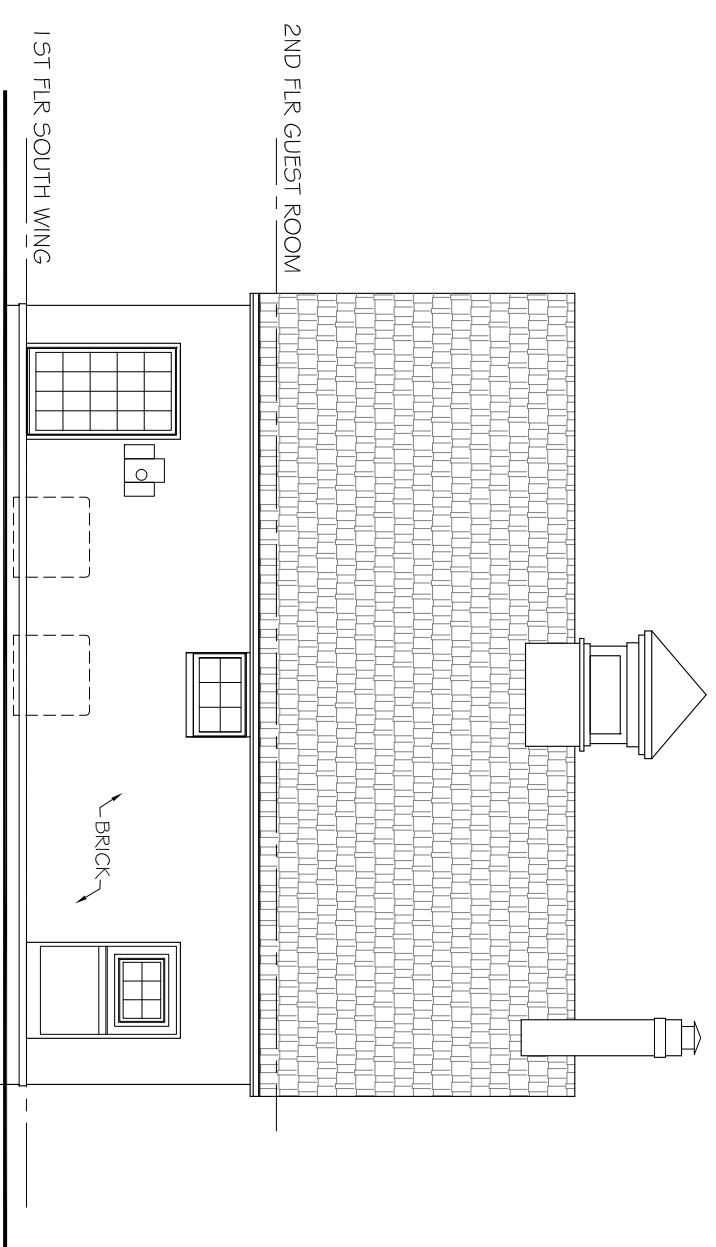
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FLOOR PLANS & SCHEDULES

DATE
March 2020

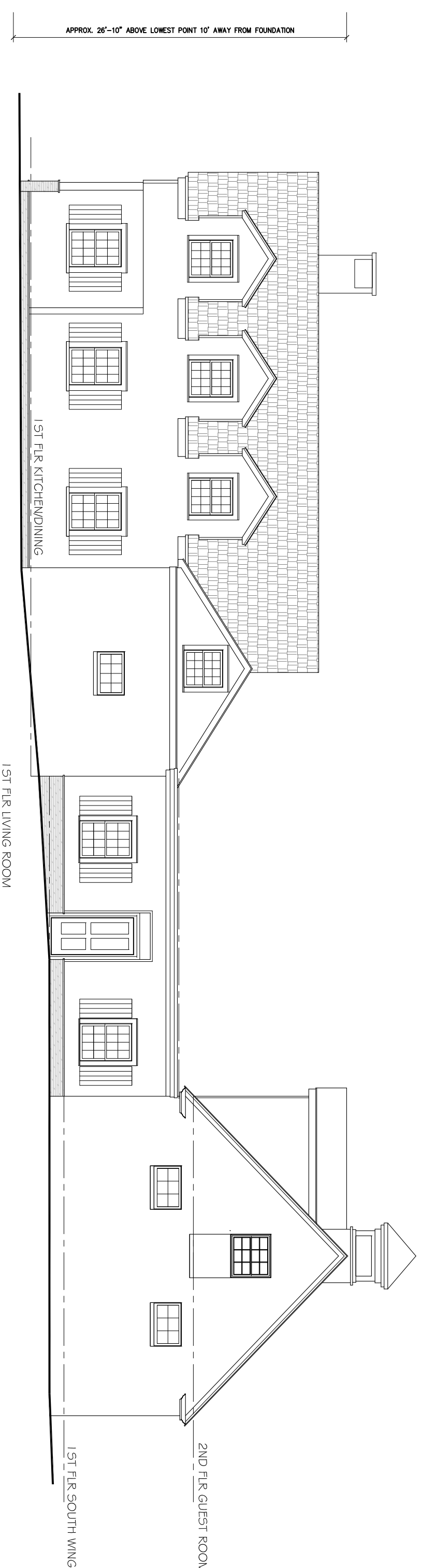
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A101

3 OF 8



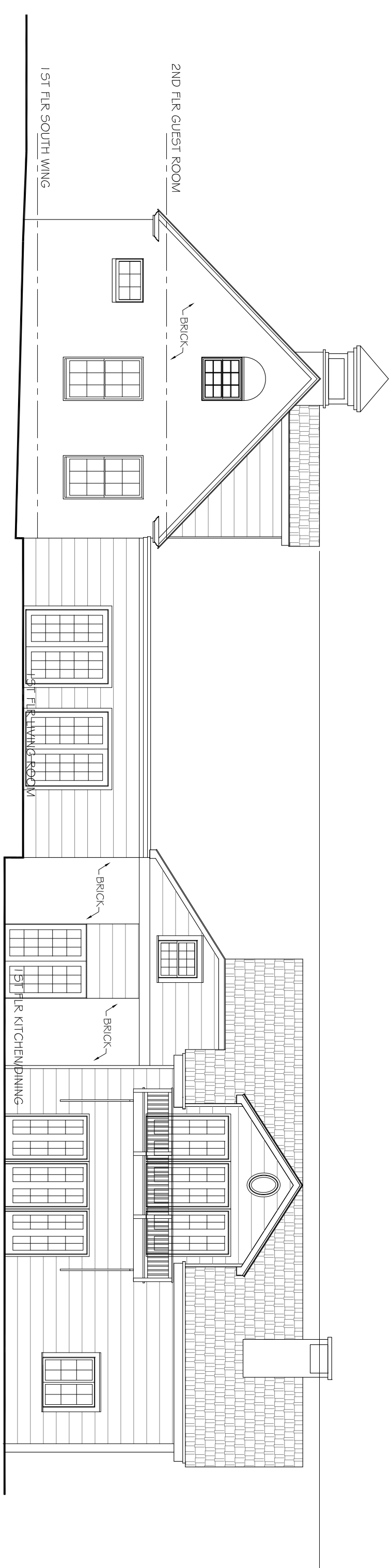
1
A200
EXISTING SIDE ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



2
A200
EXISTING FRONT ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3
A200
EXISTING SIDE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



4
A200
EXISTING REAR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

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Residence:
Addition & Alterations**
515 N. Midland Avenue Upper Nyack, NY
OWNERS:
Louis Tharp & Jim Bumgardner

DRAWING TITLE
EXISTING EXT.
ELEVATIONS

DATE
March 2020

SCALE
As Noted

DWG NO.

A2000

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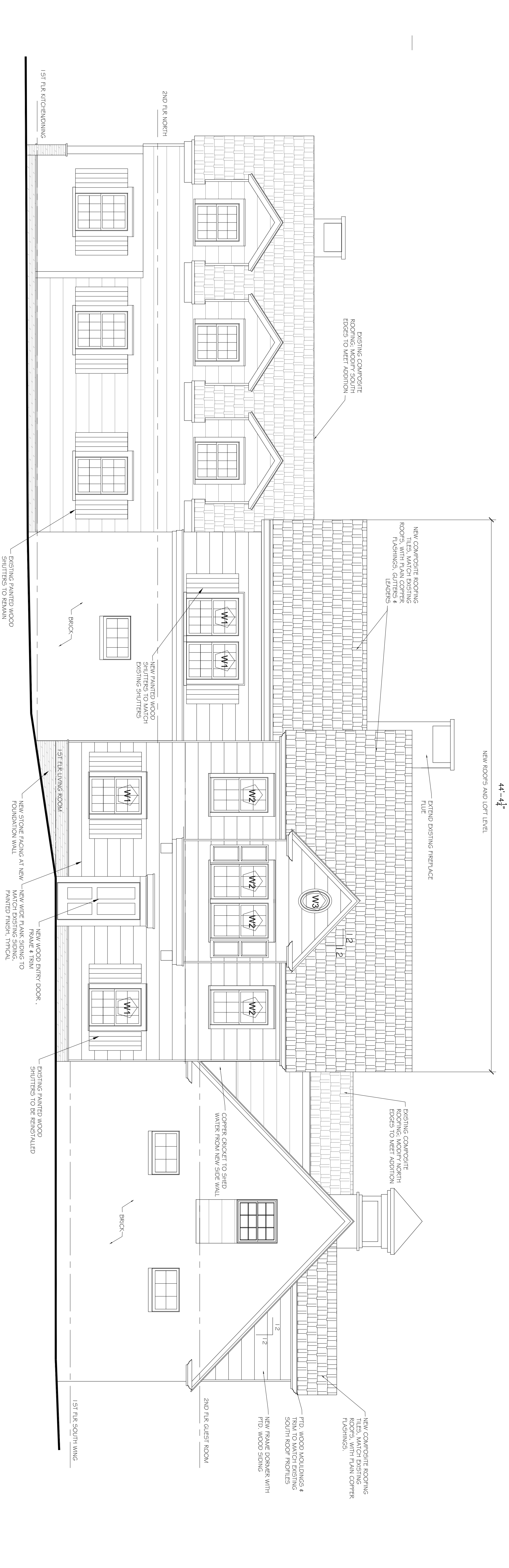
1
A201

PROPOSED REAR ELEVATION - EAST
SCALE: 1/4" = 1'-0"



2
A201

PROPOSED FRONT ELEVATION - WEST
SCALE: 1/4" = 1'-0"



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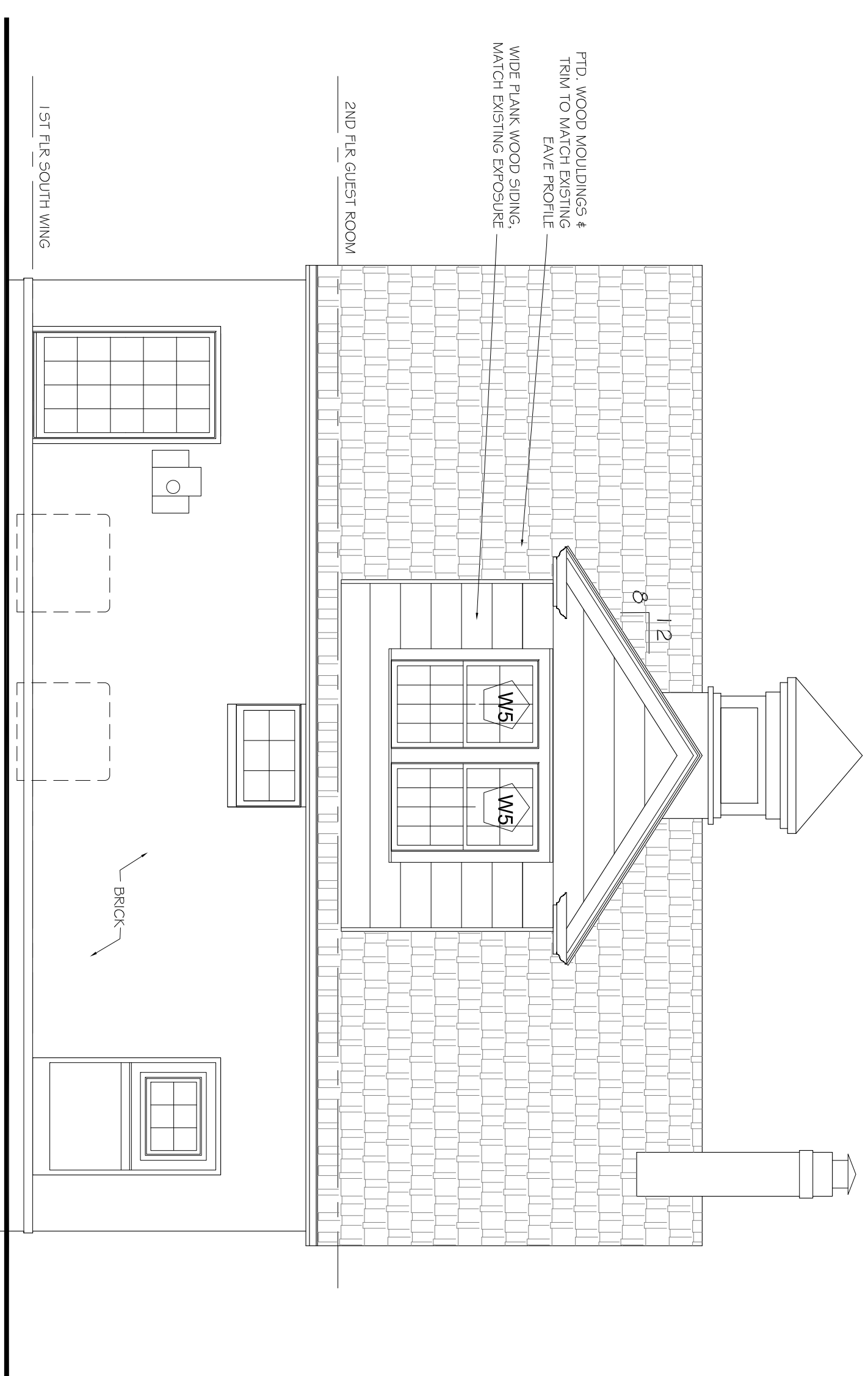
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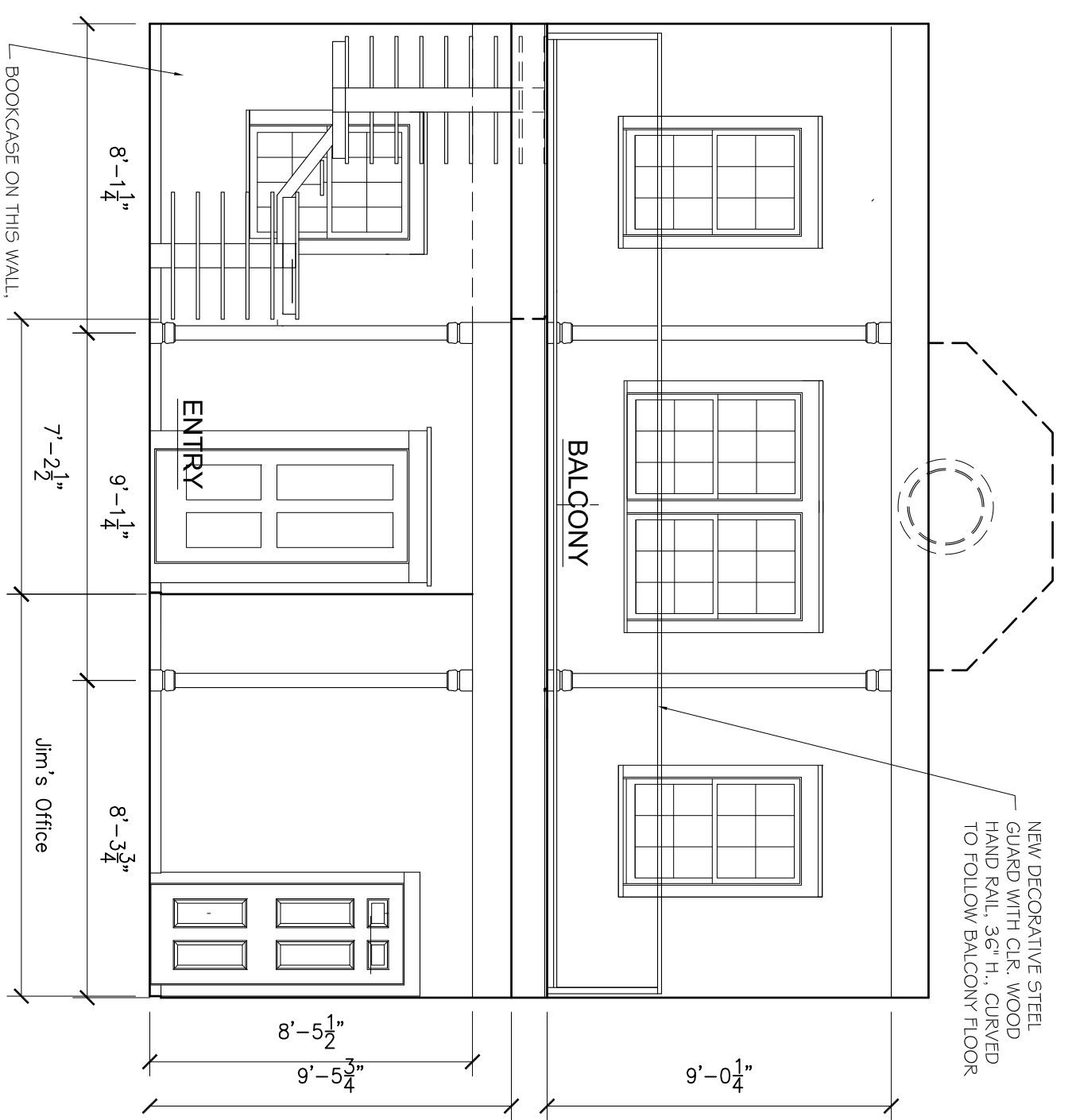
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SCALE
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DWG NO.
A201
5 OF 8



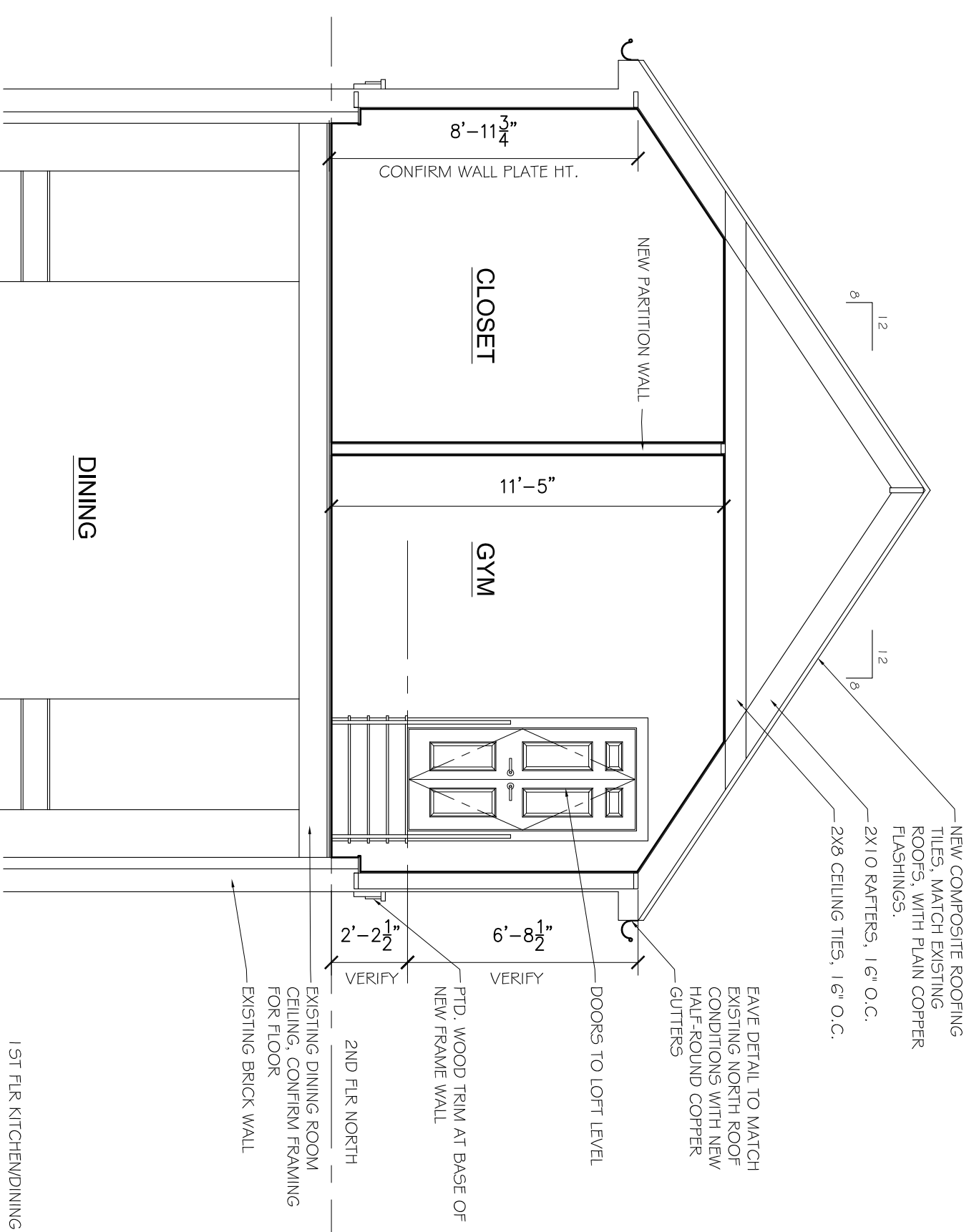
3 PROPOSED SIDE ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



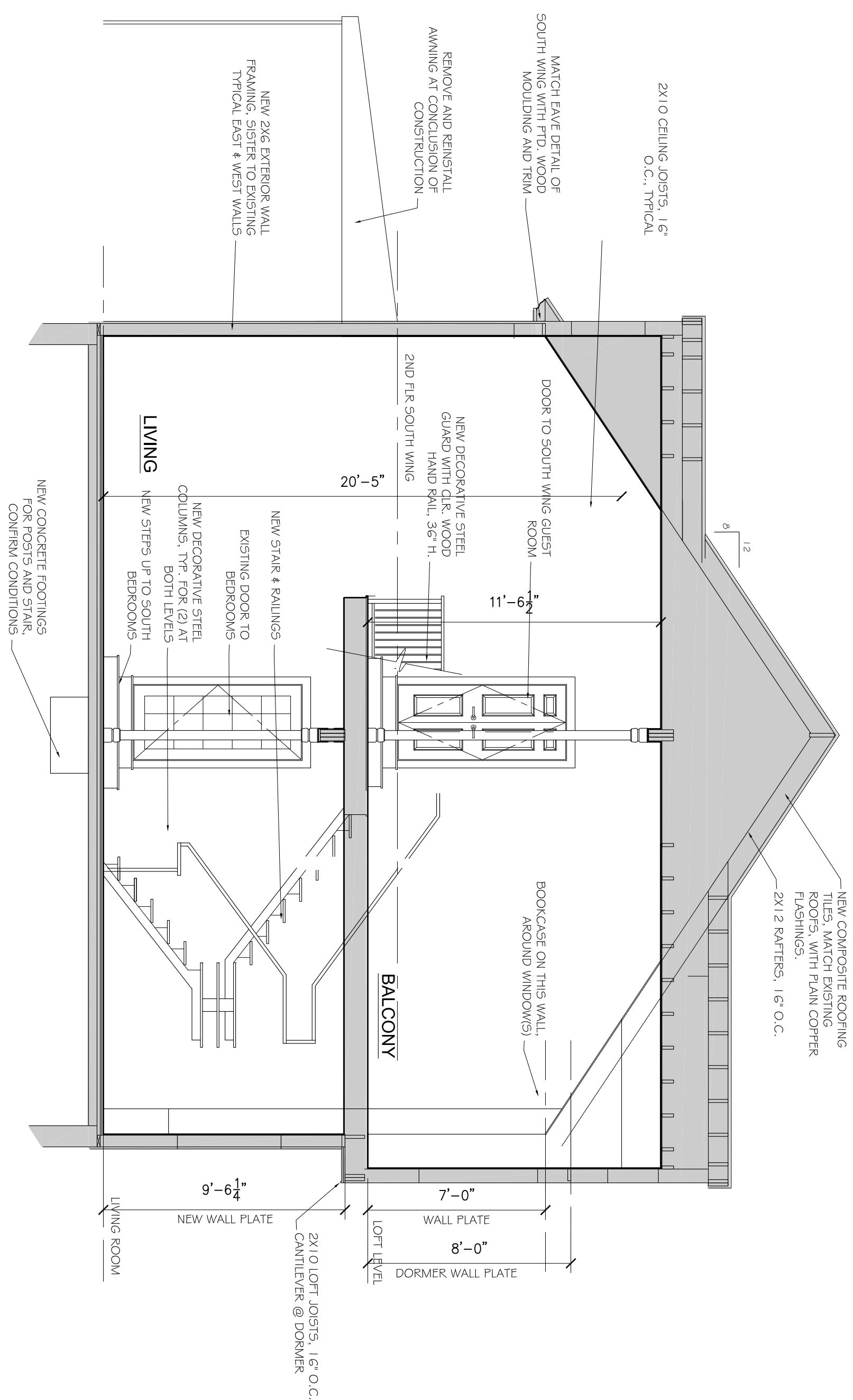
4 PROPOSED SIDE ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



5 INTERIOR ELEVATION AT LIVING ROOM BALCONY
SCALE: 1/4" = 1'-0"



1 SECTION @ EXISTING DINING ROOM & GYM
SCALE: 1/4" = 1'-0"



2 SECTION @ LIVING ROOM
SCALE: 1/4" = 1'-0"

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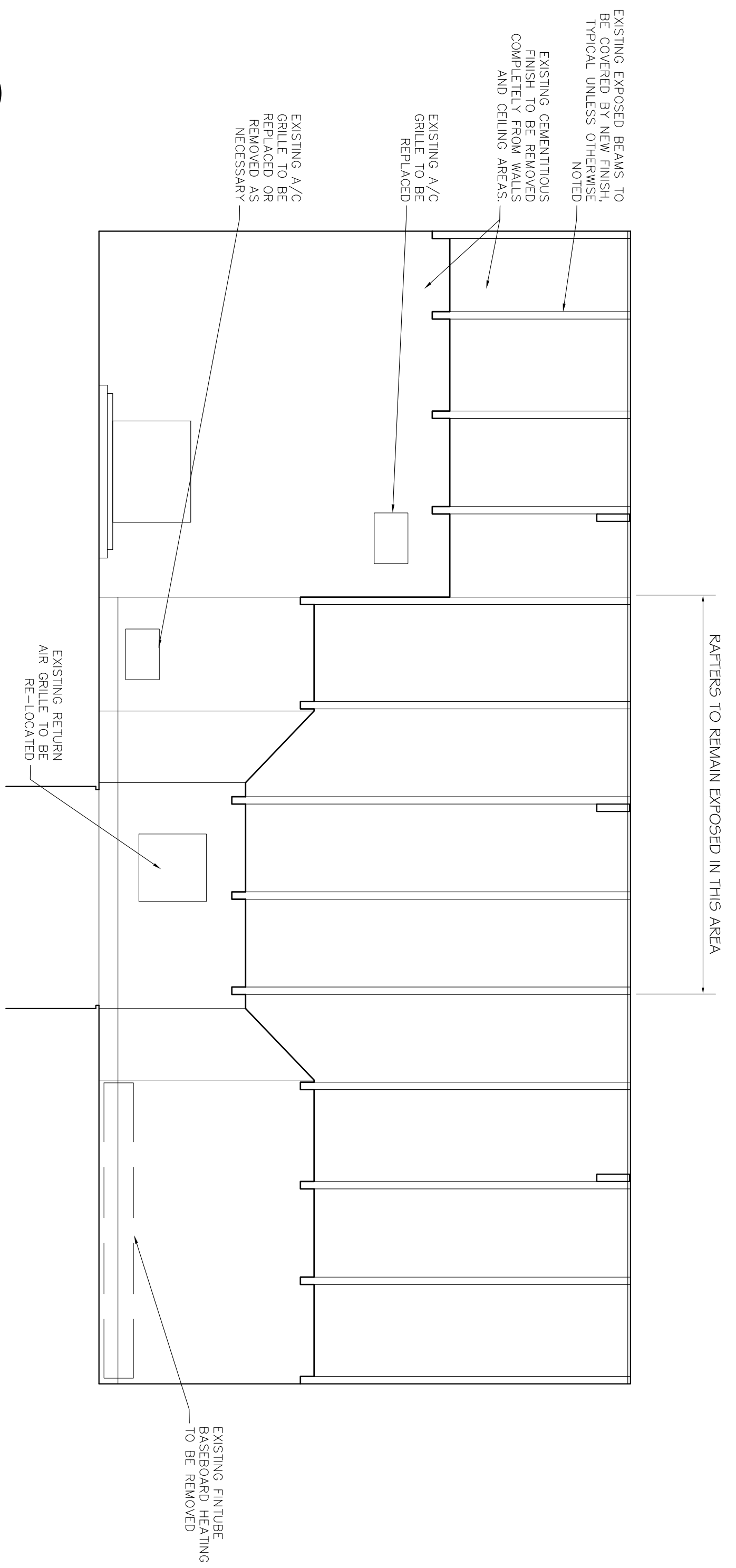
DRAWING TITLE
EXTERIOR ELEVATIONS & WINDOW SCHED.

DATE
March 2020

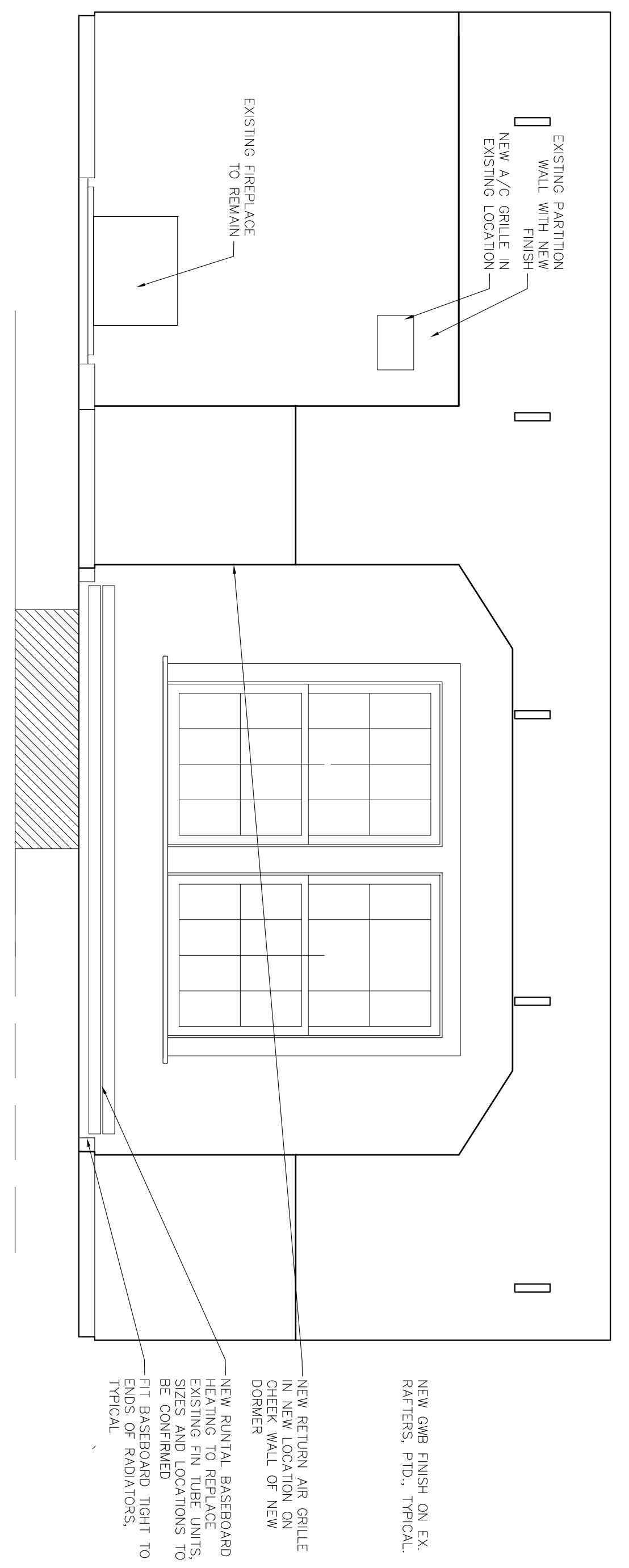
SCALE
As Noted

DWG NO.
A202

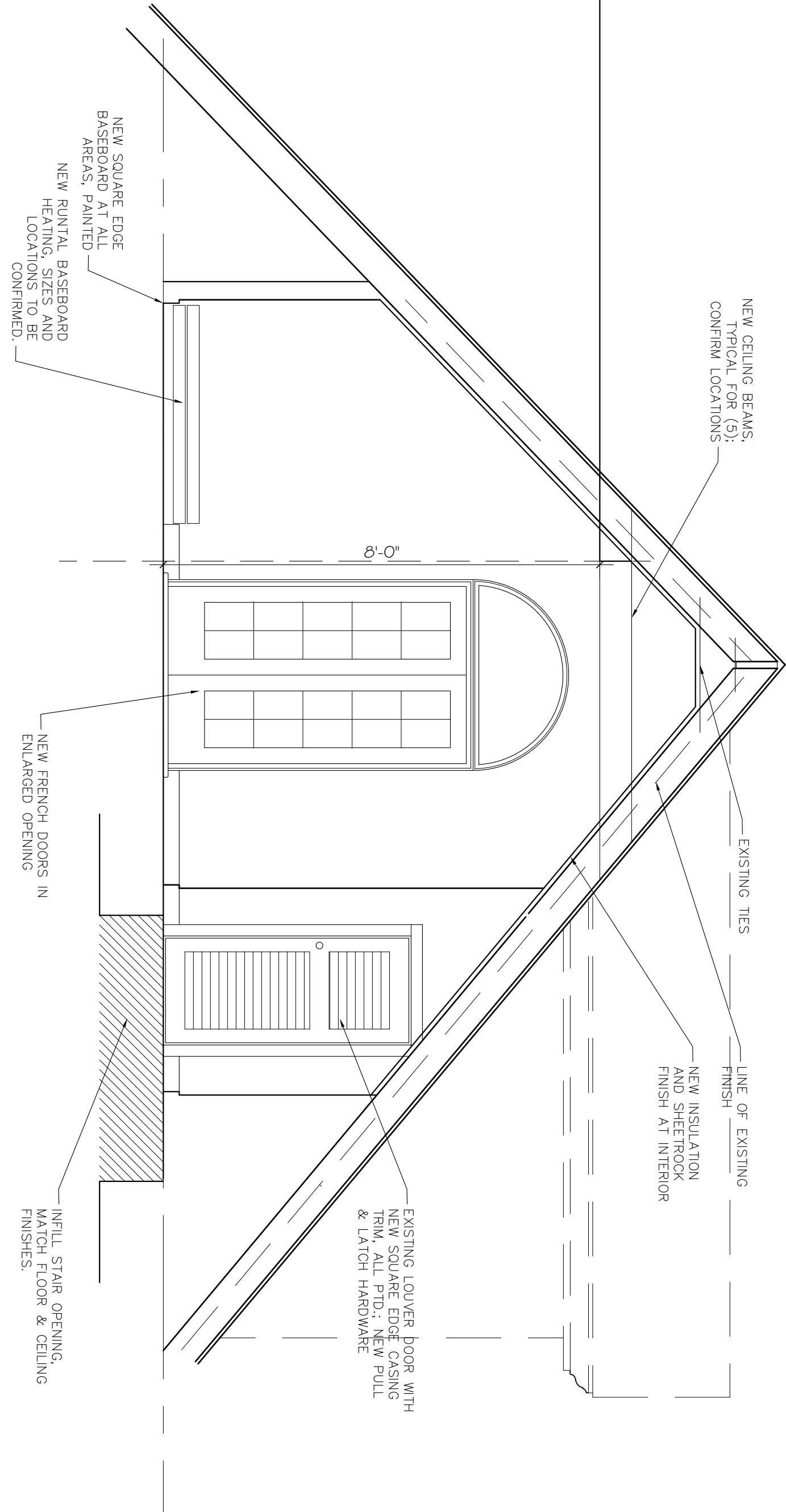
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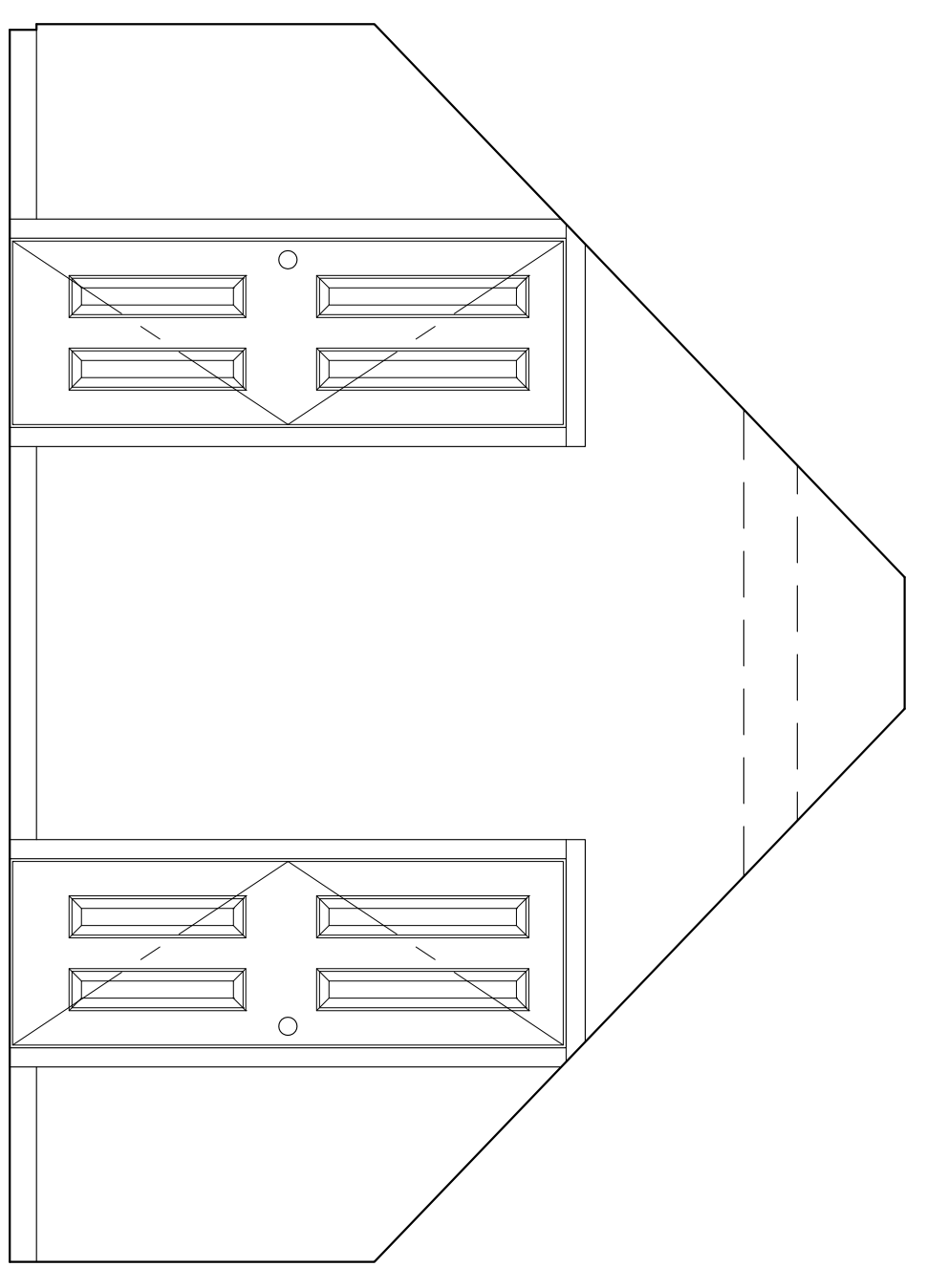
1 EXISTING LOFT LEVEL INTERIOR ELEVATION AT STAIR (SOUTH) WITH SCOPE OF WORK NOTES
 A203 SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION AT NEW DORMER
 A203 SCALE: 1/2" = 1'-0"



3 SECTION/ELEVATION AT LOFT LEVEL (EAST)
 A203 SCALE: 1/2" = 1'-0"



4 ELEVATION AT LOFT LEVEL (WEST)
 A203 SCALE: 1/2" = 1'-0"

DRAFT DOOR & FRAME SCHEDULE 12.28.20

DOOR	DOOR LOCATION	LABEL	SIZE (W x H)	FLOOR ELEV.	MAT'L	HFRAME	ELEV. FIN.	FRAME	REMARKS
D001	GUEST ROOM EXTENSION	---	3'-0" X 6'-0"	A	GL/60	H1	F1	---	NEW/AMF FRAME DOORS
D002	MASTER/BATH EXTENSION	---	3'-0" X 6'-0"	A	GL/60	H1	F1	---	NEW/AMF FRAME DOORS
D003	MASTER/BATH EXTENSION	---	3'-0" X 6'-0"	A1	GL/60	H1	F1	---	NEW/AMF FRAME DOORS
D004	KITCHEN DOOR	---	3'-0" X 7'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D005	LIVING ROOM DOOR	---	6'-0" X 7'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D006	LOBBY DOOR	---	4'-0" X 8'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D007	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D008	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D009	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D010	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D011	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D012	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D013	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D014	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D015	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D016	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D017	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D018	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D019	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D020	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D021	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D022	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D023	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D024	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D025	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D026	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D027	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D028	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D029	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D030	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D031	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D032	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D033	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D034	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D035	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D036	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D037	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D038	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D039	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D040	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D041	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D042	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D043	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D044	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D045	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D046	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D047	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D048	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D049	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR
D050	BEDROOM DOOR	---	2'-6" X 6'-0"	W0	---	---	---	---	EXISTING DOUBLE SWING DOOR

DRAFT FINISH SCHEDULE 9.8.20

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
002	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
003	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
004	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
005	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
006	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
007	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
008	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
009	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
010	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
011	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
012	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
013	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
014	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
015	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
016	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
017	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
018	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
019	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING
020	GUEST ROOM	PRFNL WOOD	PRF W0	098/03/98	P1	ALL NEW OMB CEILING

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SIZE	TYPE	MATERIAL	NOTES
W1	3'-0"	4'-2"	3'-0" X 4'-2"	DUL	ALUMINUM	8K LIGHTS
W2	2'-10"	4'-8"	2'-10" X 4'-8"	DUL	ALUMINUM	8K LIGHTS
W3	1'-4"	2'-4"	1'-4" X 2'-4"	FRGD	ALUMINUM	8K LIGHTS
W4	2'-0"	2'-1"	2'-0" X 2'-1"	FRGD	ALUMINUM	8K LIGHTS
W5	3'-0"	5'-1"	3'-0" X 5'-1"	DUL	ALUMINUM	8K LIGHTS
W6	3'-0"	6'-2"	3'-0" X 6'-2"	FRGD	ALUMINUM	20 LIGHTS
W7	1'-4"	3'-4"	1'-4" X 3'-4"	FRGD	ALUMINUM	8K LIGHTS

NOTES:
 PATCH EXISTING WALLS AT REMOVED WALLS. NEW OPENINGS, ETC.

ELIZABETH PARKS ARCHITECT
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 tel: (914) 204-1150 elizabeth@elizabethparksarchitect.com

12.28.20 Planning Board Continuation
 11.23.20 ARB & Zoning Board Application
 10.13.20 Planning Board Application
 10.01.20 Planning Board Application

ISSUE DATES

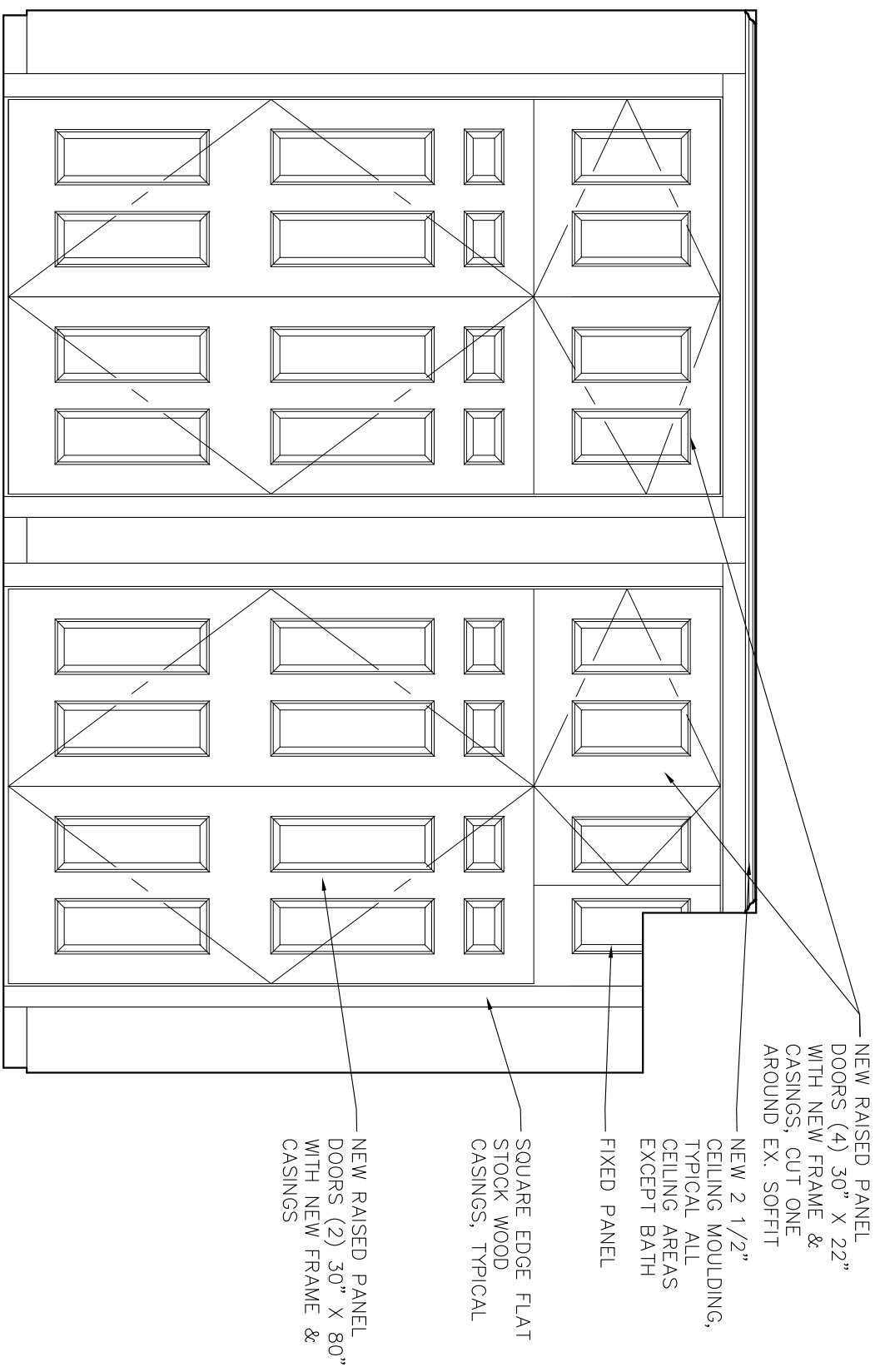
PROJECT:
Tharp Bumgardner Residence: Addition & Alterations
 515 N. Midland Avenue Upper Nyack, NY

OWNERS:
 Louis Tharp & Jim Bumgardner

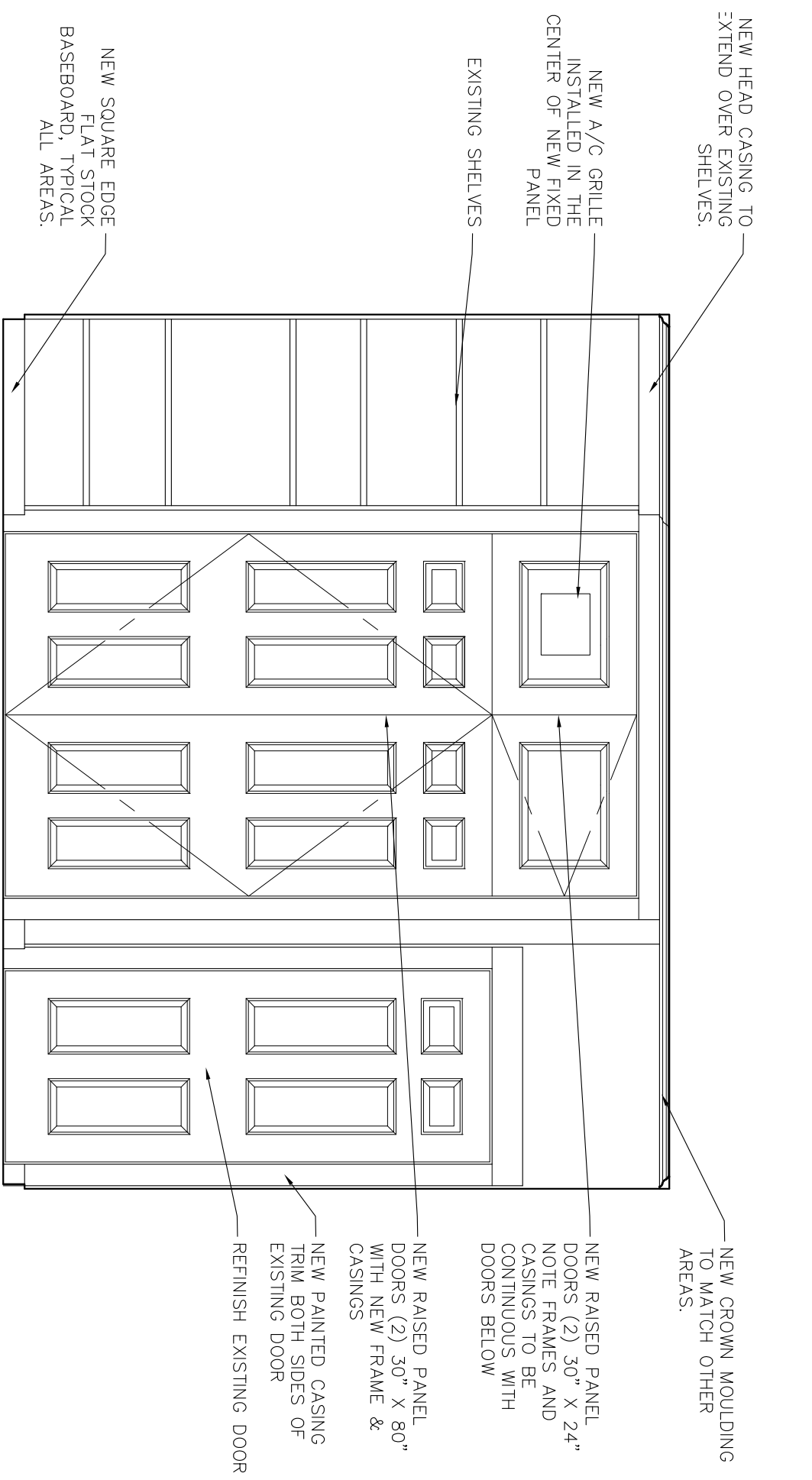
DRAWING TITLE
INTERIOR ELEVATIONS & SCHEDULES

DATE
 March 2020

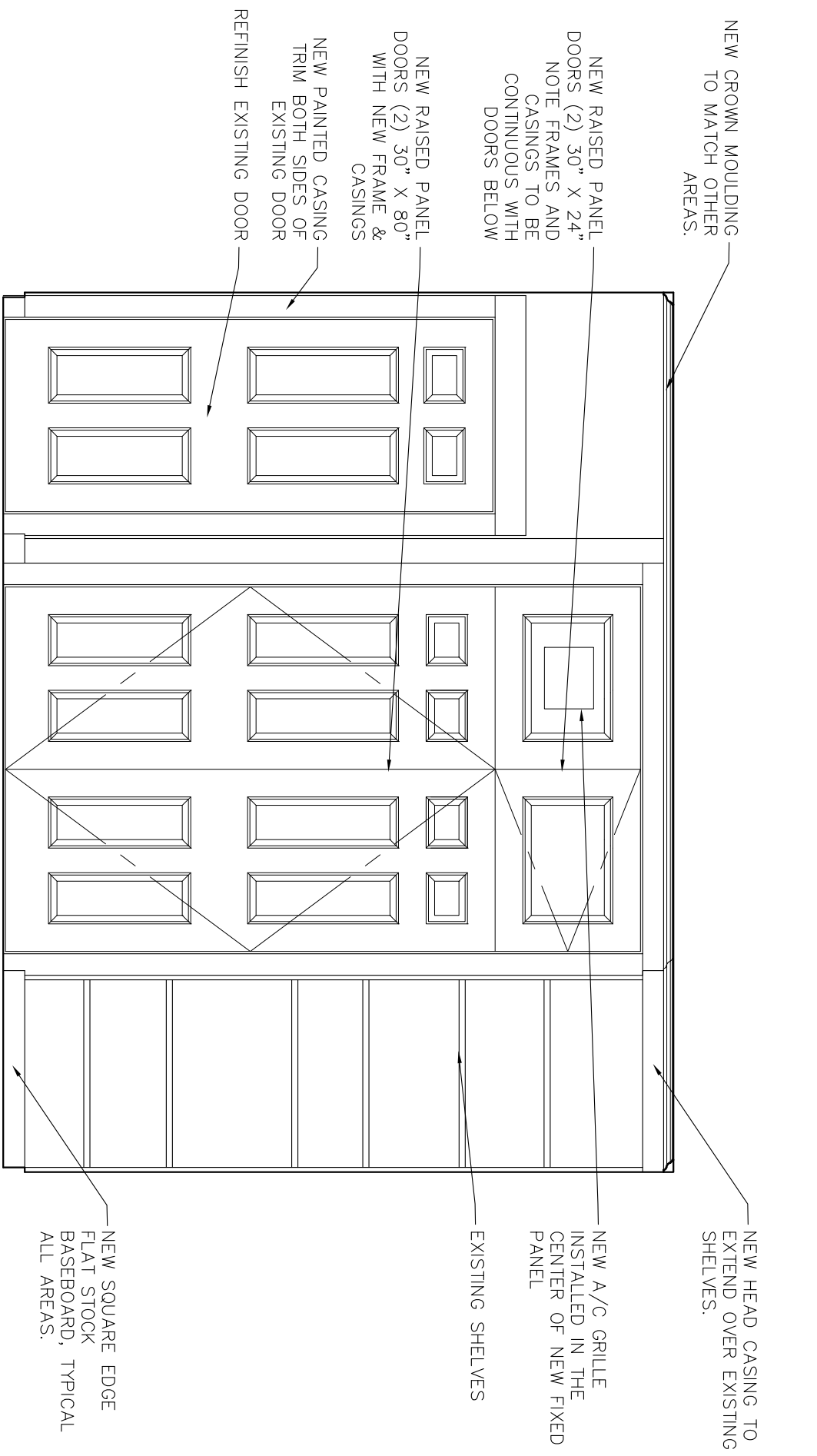
SCALE
 As Noted



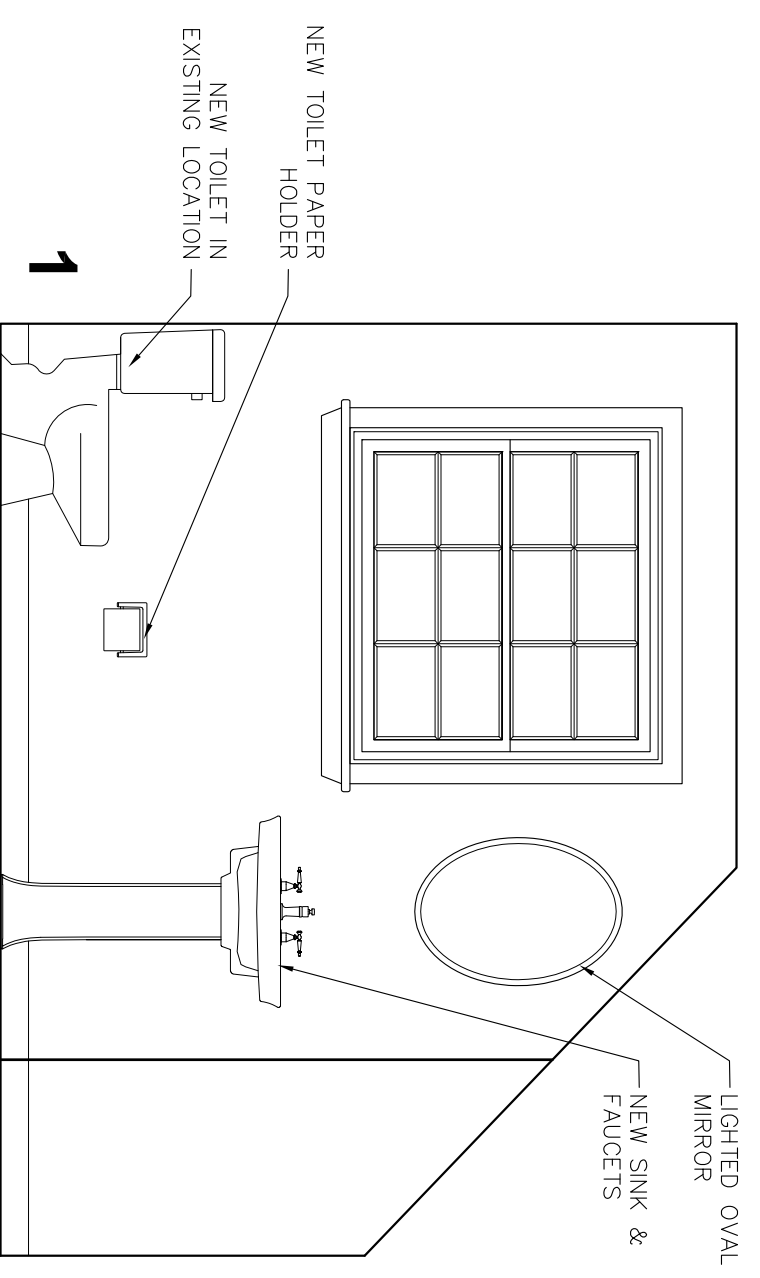
1 GREEN ROOM CLOSET DOOR ELEVATIONS
A401 SCALE: 1/2" = 1'-0"



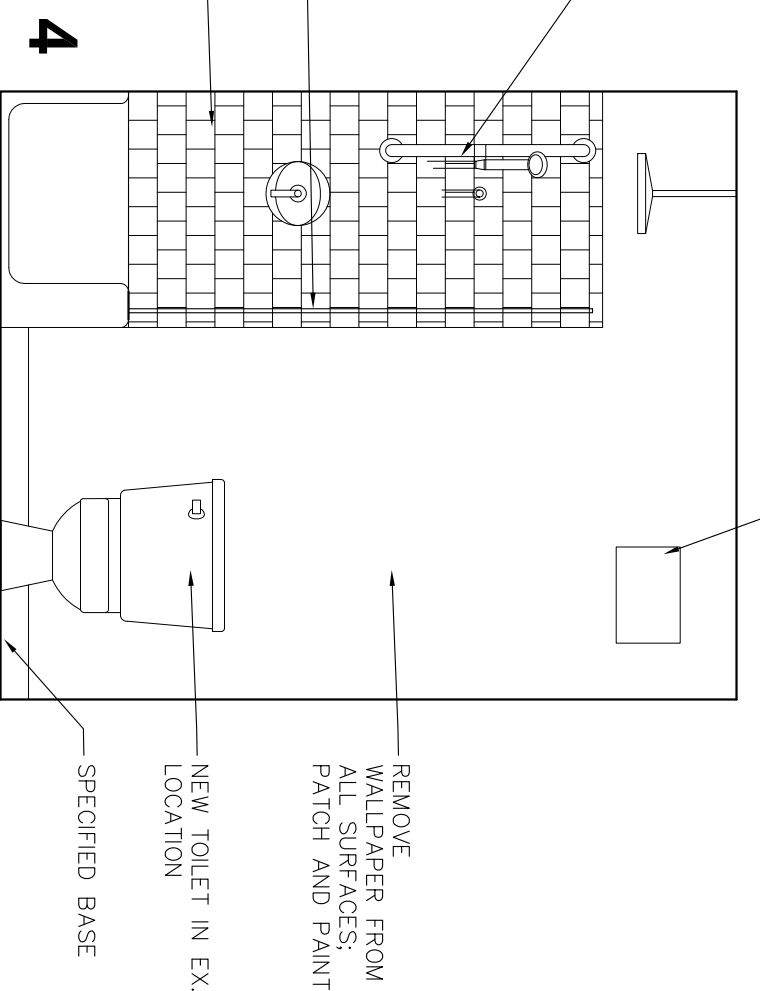
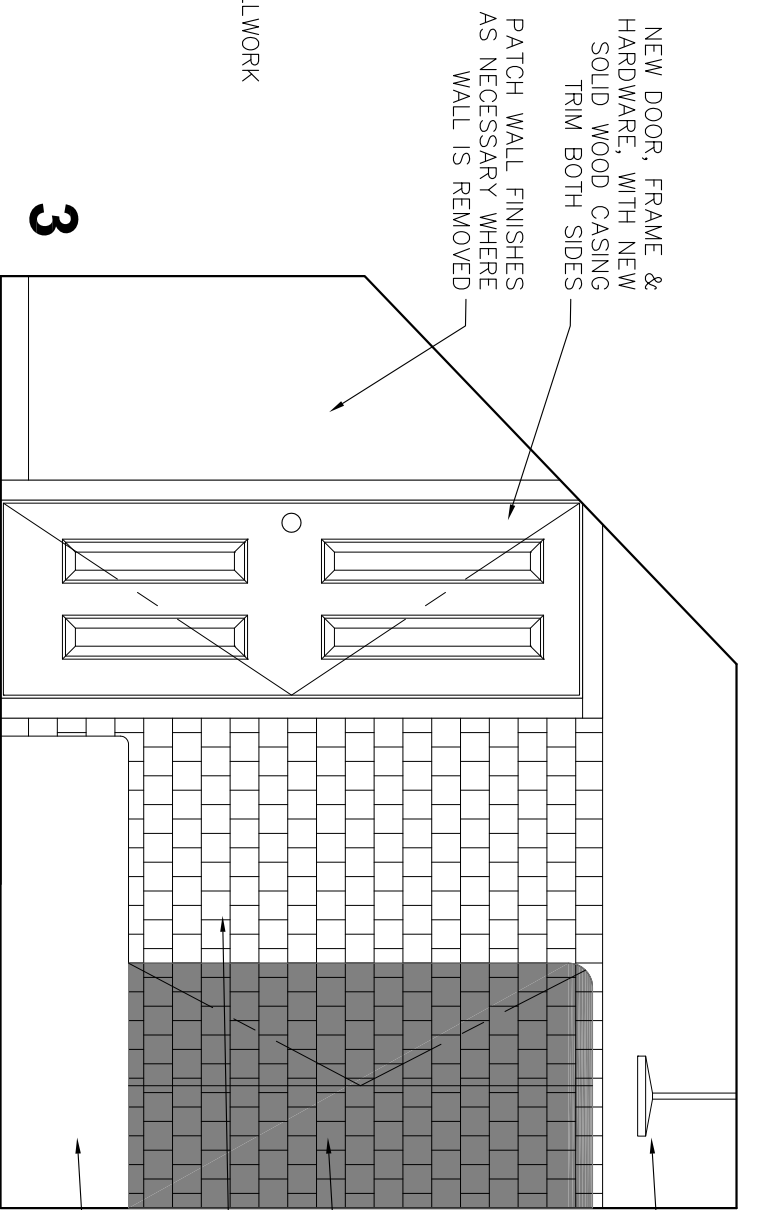
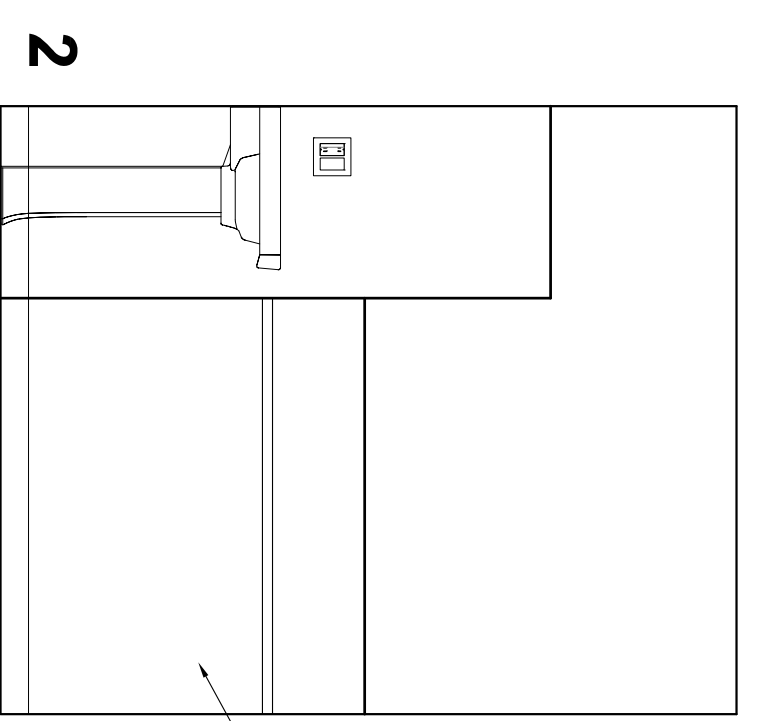
2 LOU'S OFFICE CLOSET DOOR ELEVATIONS
A401 SCALE: 1/2" = 1'-0"



3 SETH'S OFFICE CLOSET DOOR ELEVATIONS
A401 SCALE: 1/2" = 1'-0"



4 BATHROOM 2 ELEVATIONS
A401 SCALE: 1/2" = 1'-0"



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SCALE
As Noted

A401