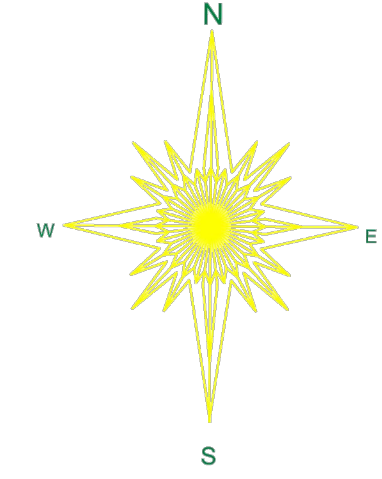


PLACE DECK & SPA

323 FRONT ST UPPER NYACK, NEW YORK 10960

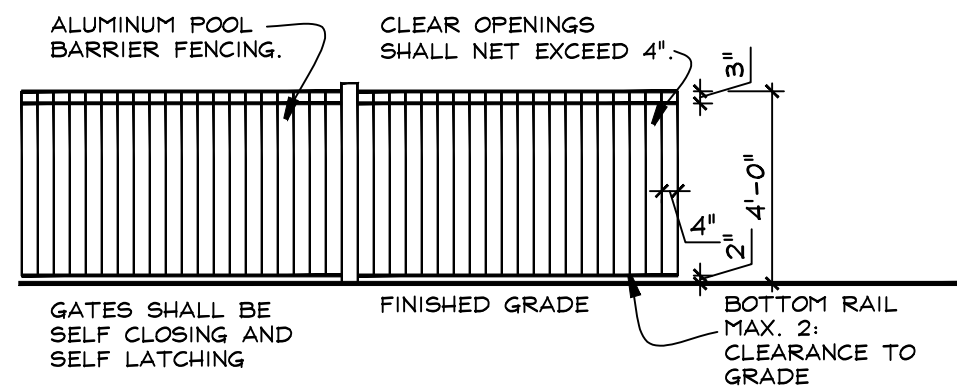


TREE PROTECTION NOTES

- EXISTING TREES SHOWN ON THIS PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES TO REMAIN ARE TO BE PROTECTED WITH A 6 FOOT HIGH WOODEN FENCE WITH POSTS PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A 4" CALIPER SHADE TREE AS DIRECTED BY THE VILLAGE LANDSCAPE ARCHITECT. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND AREA OF SUCH TREES HAS BEEN REMOVED, A 2 1/2 "-3" CAL. SHADE TREE SHALL BE REPLACED FOR EACH 200 SQUARE FEET OF AREA DISTURBED.

NOTES

- ALL CONSTRUCTION AND UTILITY WORK MUST COMPLY WITH THE VILLAGE OF UPPER NYACK CONSTRUCTION STANDARDS.
- ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
- SPA FENCING BARRIER SHALL BE IN ACCORDANCE WITH THE 2020 RCNYS SECTION R326. PER R326.42 PERMANENT BARRIERS HEIGHT SHALL BE NO LESS THAN 48" AT THE TOP AND NO LESS THAN 2" AT THE BOTTOM. MAXIMUM SPACING OF VERTICAL MEMBERS IS NOT TO EXCEED 4" CLEAR. GATES MUST BE SELF CLOSING, SELF LATCHING, AND LOCKING. ALL GATES SHALL OPEN OUTWARD, WHEN THE DWELLING IS APART OF THE BARRIER ANY DOOR WITHIN THE ENCLOSURE MUST BE EQUIPPED WITH AN ALARM PER SECTION R326.4.2.8.
- ENTRAPMENT PROTECTION. SPA SUCTION OUTLETS MUST COMPLY WITH SECTION R326.6.
- ALARMS MUST COMPLY WITH R326.7.



2 POOL BARRIER FENCING
C 1/4" = 1'-0"

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

16 NYCRR PART 753
REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

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INDEX TO DRAWINGS

A1 DECK PLAN

BULK REQUIREMENTS

REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
ZONE DISTRICT: R-4 USE: SINGLE - FAMILY RESIDENTIAL			
PRINCIPAL BUILDING:			
LOT AREA, MIN. S.F.	10,000	19,458.49	NO CHANGE
FRONTAGE MIN.	90	27.62/159.95	NO CHANGE
FRONT YARD MIN.	35	44.1	NO CHANGE
SIDE YARD MIN.	25	28.1	13.083*
REAR YARD MIN.	25	59.8	31.58
LIVABLE AREA: 2 FLOORS	750/600	1316/1036	NO CHANGE
MAX. BUILDING HEIGHT	2 STORY/35	2 STORY/<35'	NO CHANGE
BUILDINGS & STRUCTURES COV. %	40% (7,783)	28.6% (5,578)	32.4% (6,315)
PRINCIPLE DWELLING COVERAGE %	20% (3,892)	6% (1,316)	NO CHANGE

* NON-CONFORMING VARIANCE REQUIRED

EXISTING LIVABLE AREA:
FFP 1316
SFP 1316
TOTAL 2632

PD COVERAGE:
EXISTING -- DWELLING W/GARAGE 1316

PROPOSED PD COVERAGE -- NO CHANGE

EXISTING B&S COVERAGE:
EXISTING DWELLING W/ GARAGE 1316
EXISTING DRIVE 332
PORCH & STEPS 188
FRONT CONCRETE WALK 100
SHED 194
OPEN DECK, STEPS & CONC. 194
SLATE STEPS & WALKS 260

EXISTING BUILDINGS & STRUCTURES COVERAGE 5578

PROPOSED B&S COVERAGE:

EXISTING B&S COVERAGE 5578
NEW DECK & STEPS 981
NEW SWIM SPA 152
NEW SLATE DECK LANDINGS 58
REMOVE DECK, STEPS & SLATE -454

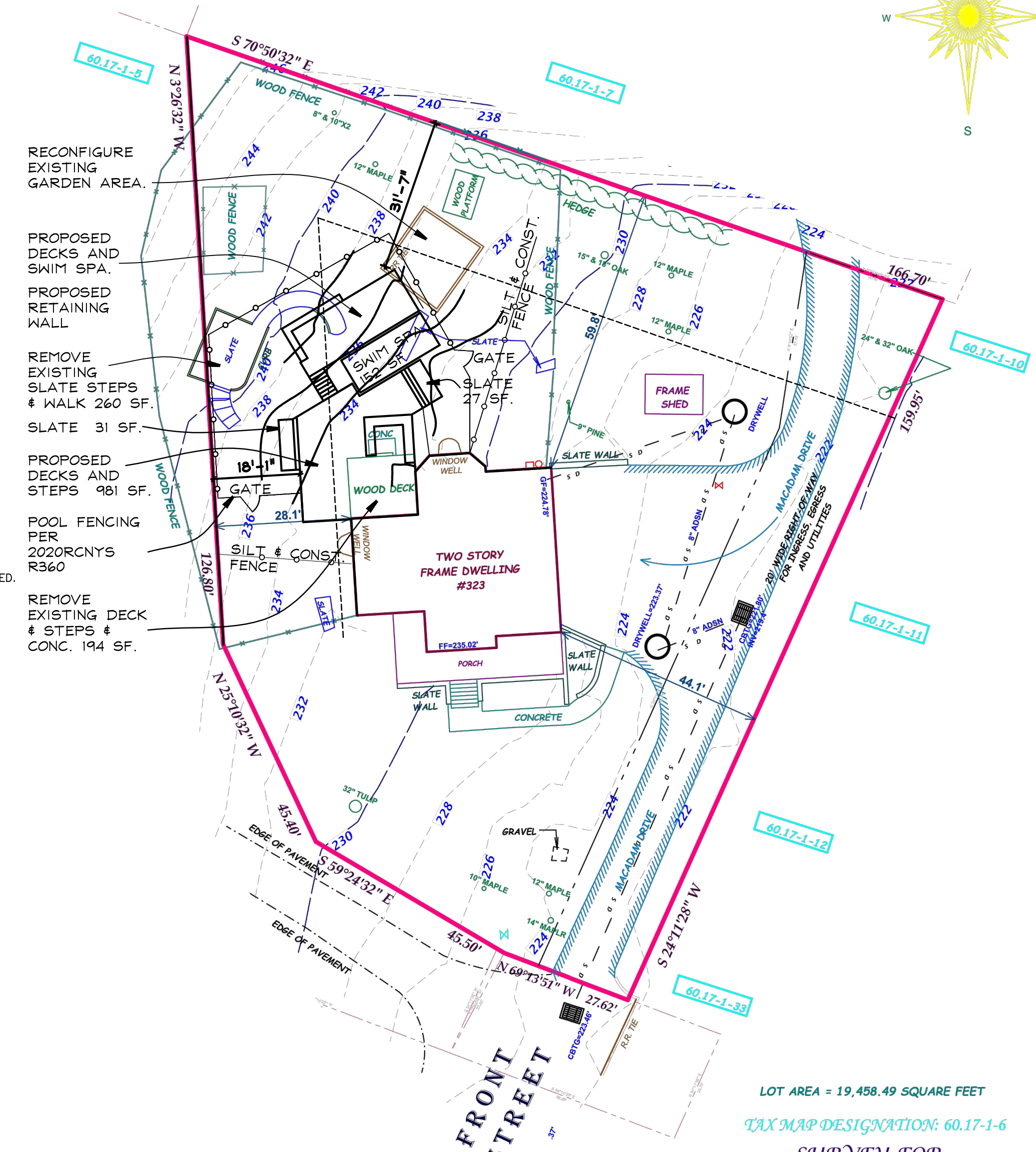
TOTAL PROPOSED B&S COVERAGE 6315

ADDITIONAL IMPERVIOUS SURFACES REQUIRING STORM WATER ABATEMENT = 210 SF (SPA & SLATE LANDINGS)

DRAINAGE CALCULATIONS: BASED UPON 2" RAINFALL
.17' X 96 SF X 7.48 = 122 CU FT.
STORAGE REQ'D 122/ 6.4 = 42 GAL. TOTAL IS INSIGNIFICANT NO RETENTION REQUIRED.



3 UPPER NYACK VICINITY MAP
C N.T.S.



LOT AREA = 19,458.49 SQUARE FEET
TAX MAP DESIGNATION: 60.17-1-6
SURVEY FOR
323 FRONT ST

CLARKSTOWN TAX MAP NO: 60.17 - 1 - 6
THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:

323 FRONT ST DATED: SEPTEMBER 18, 2020
BY:

ANTHONY R. CELENTANO P.L.S.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

1 SITE PLAN
C 1 INCH = 20 FEET

SITE PLAN LEGEND	
	PROPERTY LINE AND HEADING
	EXISTING TREE, SPECIES & CALIPER
	EXISTING CONTOUR: 2ft INTERVAL
	PROPOSED CONTOUR: 2ft INTERVAL
	EXISTING STREAM: SURFACE DRAINAGE
	GAS MAIN
	WATER MAIN
	SEWER MAIN
	STEEP SLOPE AREA: land with a gradient of 20% or more.
	SILT FENCE & CONSTRUCTION FENCE LINE

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