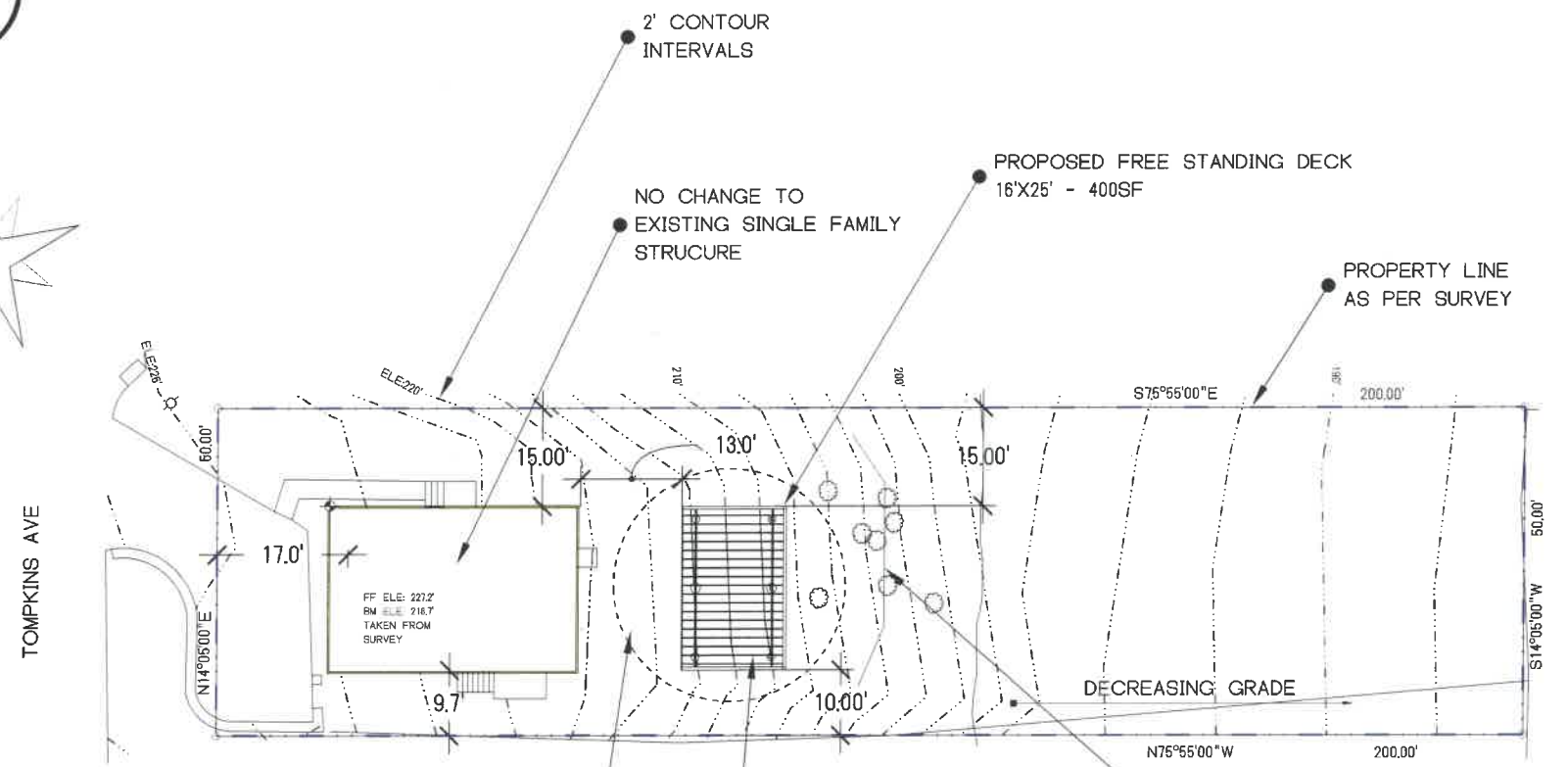


D1 EXISTING SITE



EXCAVATED SOIL DURING THE CONSTRUCTION WILL BE SPREAD ON EXISTING LAWN AREA AND TREATED WITH SEED AND HAY TO PREVENT EROSION

NO TREES EXIST WITHIN THE FOOTPRINT OF THE PROPOSED DECK.

SILT FENCE INSTALLED DOWNSLOPE OF THE PROPOSED DECK CONSTRUCTION IAW DETAIL 4.

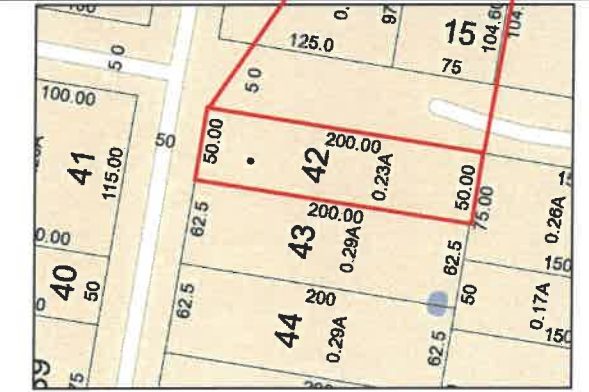
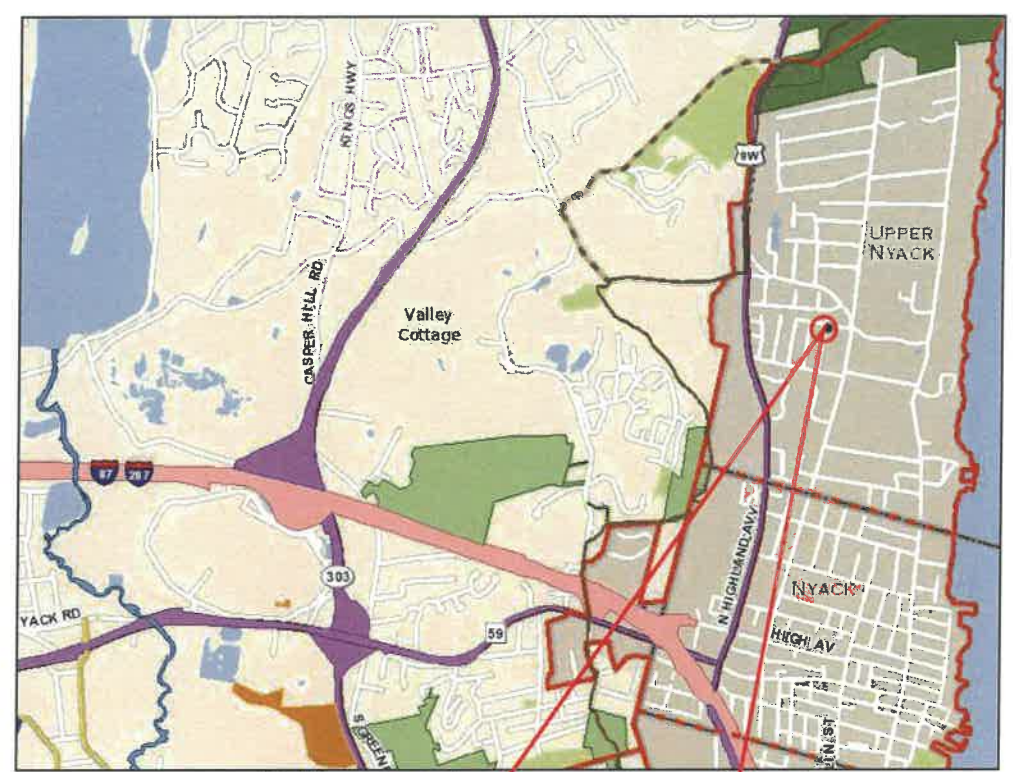
- NOTES:
- PROPERTY OWNER WISHES TO INSTALL A 16' X 25' TIMBER FRAMED DECK STRUCTURE AS SHOWN ABOVE.
 - THIS DECK WILL BE FREE STANDING AND NOT ATTACHED TO THE HOUSE. IT WILL SERVE AS A STANDING PLATFORM TO PROVIDE USABLE AREA OUT OF AN EXISTING STEEP SLOPE.
 - DECK WILL BE PLACED WITHIN PROPOSED SETBACKS IN ACCORDANCE WITH MUNICIPAL CODES.

ZONING DISTRICT R-5
BULK TABLE REQUIREMENTS AS APPLICABLE:

ITEM	MIN/MAX	EXISTING	PROPOSED
MIN LOT AREA	7,500 SF	10,000 SF	NO CHANGE- 10,000 SF
MIN STREET FRONTAGE	75'	50'	NO CHANGE- 50'
FRONT YD	15' MIN	17'	NO CHANGE- 17'
SIDE YDS	10' MIN	9.7'/15'	NO CHANGE- 9.7'/15'
REAR YARD	10' MIN	144.9'	NO CHANGE- 144.9'
MIN FLOOR AREA (2 FLOOR BLDGS)	600SF / 600SF	1600 SF TOTAL	NO CHANGE- 1600 SF
MAX STRUCTURE HT	35'	<35'	NO CHANGE- <35'
LOT COVERAGE OF BLDGS & STRUCTURES	40% MAX	10.3%	14.3% (+400SF DECK)
LOT COVERAGE OF PRIMARY BLDG	20% MAX	10.3%	NO CHANGE- 10.3%

THE PROPOSED DECK FITS WITHIN ALL APPLICABLE ZONING DISTRICT SETBACKS REQUIRED.

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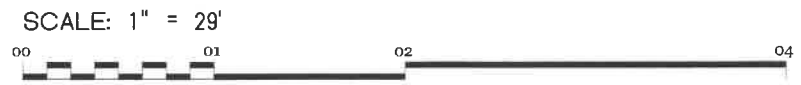
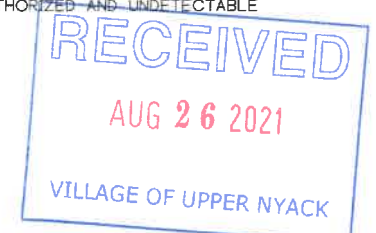


ADDRESS: 421 TOMPKINS AVE
UPPER NYACK, NY, 10960

NOTES: SURVEY DATA WAS TRANSCRIBED FROM A PROPERTY SURVEY THAT WAS SUPPLIED BY THE OWNER. THIS SURVEY WAS PERFORMED BY A LICENSED LAND SURVEYOR REGISTERED AND ACTIVE IN NEW YORK STATE AT THE TIME OF THE SURVEY. THIS PROPERTY SURVEY WAS REPLICATED AND ASSUMPTIONS MADE FROM THIS SURVEY HAVE DIRECT REFLECTIONS IN THIS DESIGN. TOPOGRAPHIC DATA DIRECTLY FROM THE PROPERTY SURVEY PROVIDED BY THE OWNER.
SURVEY PERFORMED ON DATE: 16 AUG 2021
SURVEY PERFORMED BY: WILLIAM E. JAMES P.E., P.L.S #050506

WARNING: IT IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW SECTION 7209.2

ONLY MAPS WITH EMBOSSED, TRUE INK, OR ELECTRONICALLY VERIFIED & SIGNED SEALS WITH THE SIGNATURE AND DATE OF THE PROFESSIONAL ENGINEER ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT EMBOSSED, TRUE INK, OR ELECTRONICALLY VERIFIED & SIGNED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND OR CHANGES.



DATE	REVISION DESCRIPTION	REV #
25 June 21	180 COMMENTS	1
18 AUG 21	UPDATED SURVEY 1983 TO 2021	2



CLIENT: Greg McCarron
CLIENT NUMBER: 914.588.1368
PROJECT ADDRESS: 421 Tompkins Ave.
Upper Nyack, NY

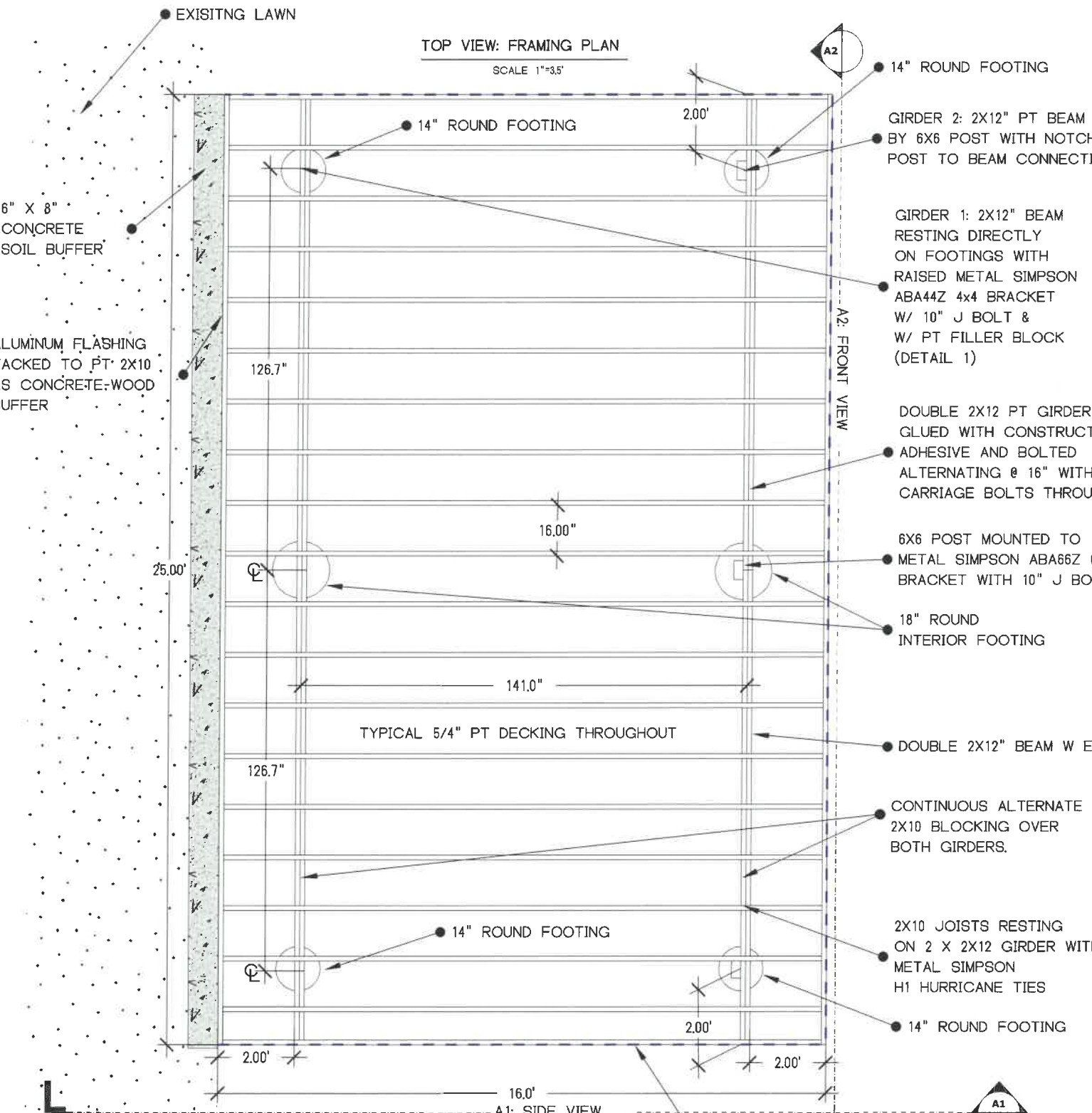
DESIGNED BY: NMJ Caesar, P.E.
DATE: 18 Aug 21
PROJECT: Exterior Deck
PROJECT NUM: P062

COMPANY: CAESAR ENGINEERING D.P.C.
CONTACT: 845.391.0148
contact@caesarengineering.work
ADDRESS: 367 WINDSOR HWY #411
NEW WINDSOR, NY, 12553



D2 PROPOSED DECK

TOP VIEW: FRAMING PLAN
SCALE 1"=3.5'



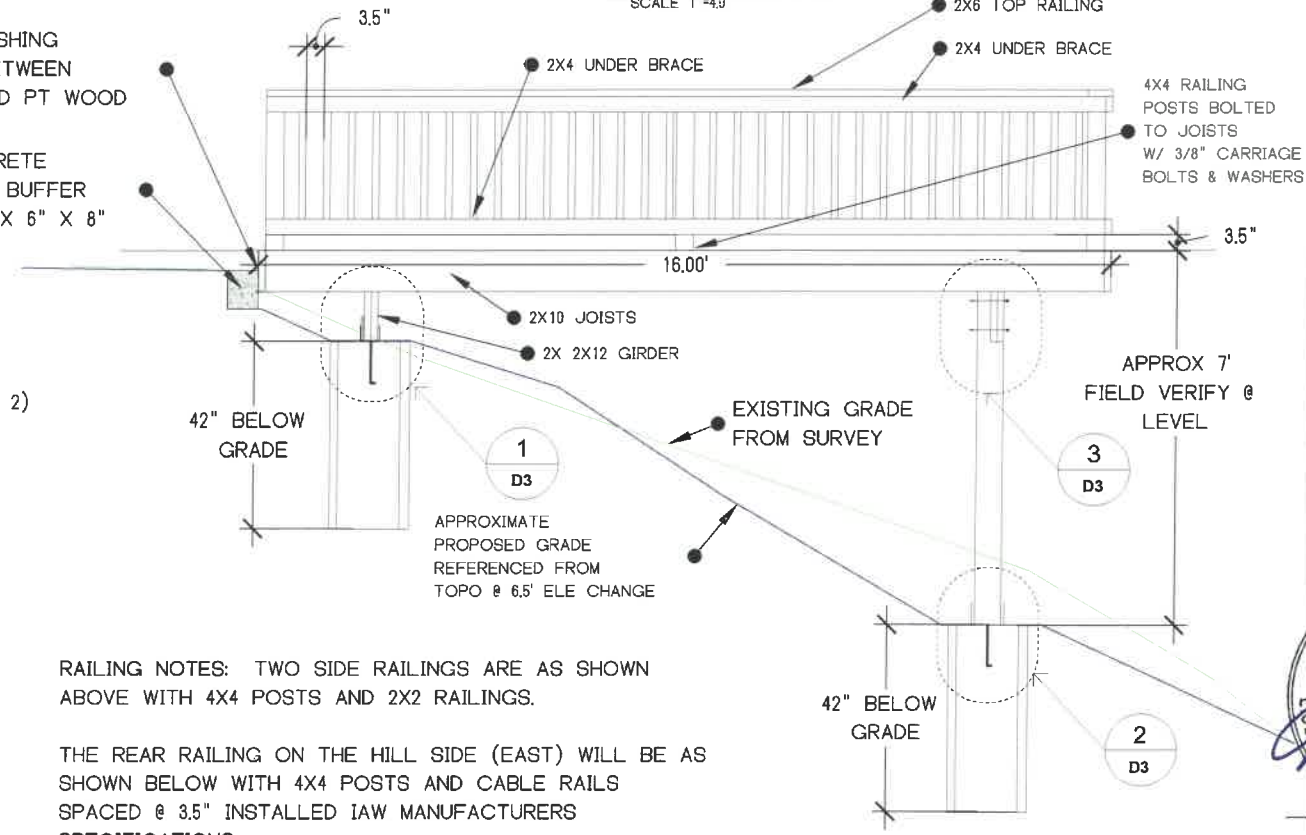
- 14" ROUND FOOTING
- GIRDER 2: 2X12" PT BEAM SUPPORTED BY 6X6 POST WITH NOTCHED POST TO BEAM CONNECTION (DETAIL 2)
- GIRDER 1: 2X12" BEAM RESTING DIRECTLY ON FOOTINGS WITH RAISED METAL SIMPSON ABA44Z 4x4 BRACKET W/ 10" J BOLT & W/ PT FILLER BLOCK (DETAIL 1)
- DOUBLE 2X12 PT GIRDER GLUED WITH CONSTRUCTION ADHESIVE AND BOLTED ALTERNATING @ 16" WITH 3/8" CARRIAGE BOLTS THROUGHOUT
- 6X6 POST MOUNTED TO METAL SIMPSON ABA66Z 6x6 BRACKET WITH 10" J BOLT MIN.
- 18" ROUND INTERIOR FOOTING
- DOUBLE 2X12" BEAM W E
- CONTINUOUS ALTERNATE 2X10 BLOCKING OVER BOTH GIRDERS.
- 2X10 JOISTS RESTING ON 2 X 2X12 GIRDER WITH METAL SIMPSON H1 HURRICANE TIES
- 14" ROUND FOOTING

RAILINGS ON 3 SIDES

ALUMINUM FLASHING AS BUFFER BETWEEN CONCRETE AND PT WOOD

CONCRETE WOOD BUFFER APPROX 6" X 8"

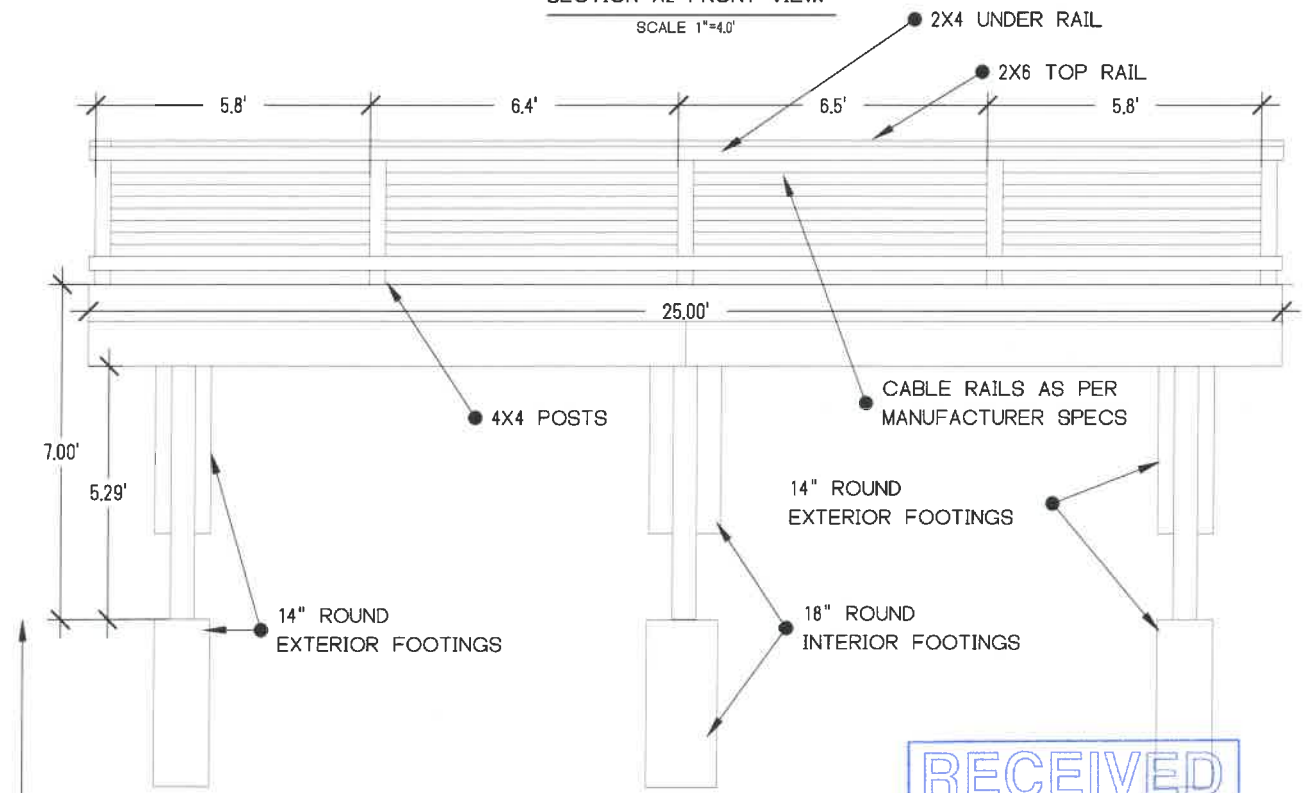
SECTION A1 SIDE VIEW:
SCALE 1"=4.0'



RAILING NOTES: TWO SIDE RAILINGS ARE AS SHOWN ABOVE WITH 4X4 POSTS AND 2X2 RAILINGS.

THE REAR RAILING ON THE HILL SIDE (EAST) WILL BE AS SHOWN BELOW WITH 4X4 POSTS AND CABLE RAILS SPACED @ 3.5" INSTALLED IAW MANUFACTURERS SPECIFICATIONS.

SECTION A2 FRONT VIEW:
SCALE 1"=4.0'



FIELD VERIFY ACTUAL HEIGHT BASED ON FINAL GRADE OF FINISHED FOOTINGS



DATE	REVISION DESCRIPTION
25 June 21	BO COMMENTS
18 Aug 21	UPDATED SURVEY 1983 TO 2021

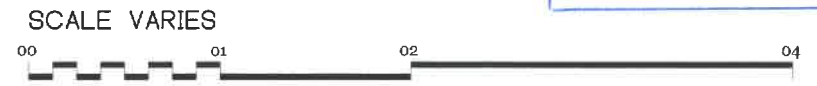


NMJ Caesar, P.E.
LIC. NO. 101354

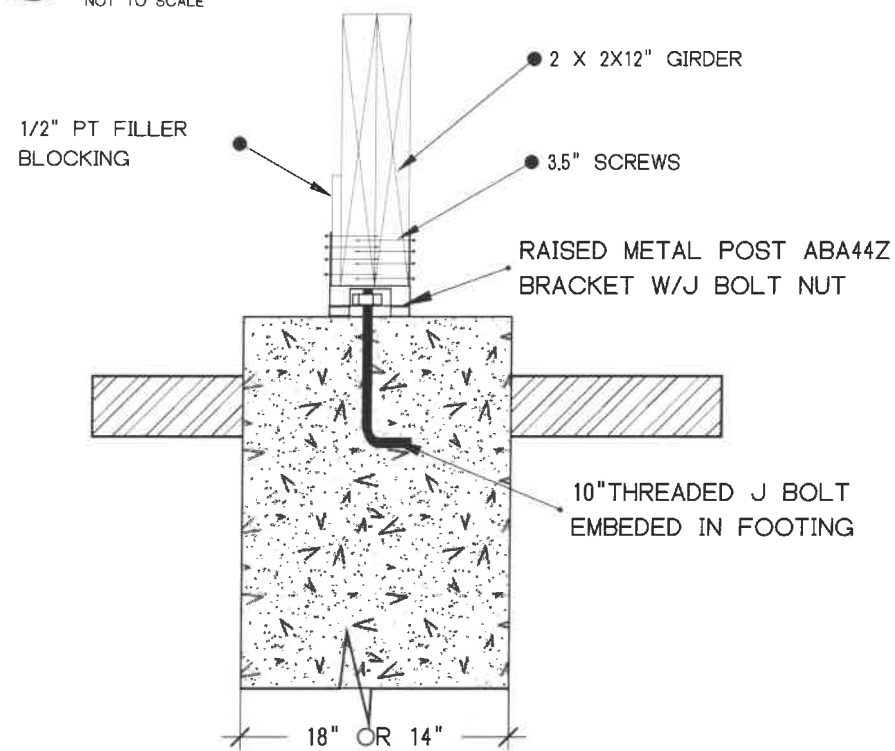
CLIENT: **Greg McCarron**
CLIENT NUMBER: **914.588.1368**
PROJECT ADDRESS: **421 Tompkins Ave. Upper Nyack, NY**

DESIGNED BY: **NMJ Caesar, P.E.**
DATE: **18 Aug 21**
PROJECT: **Exterior Deck**
PROJECT NUM: **P062**

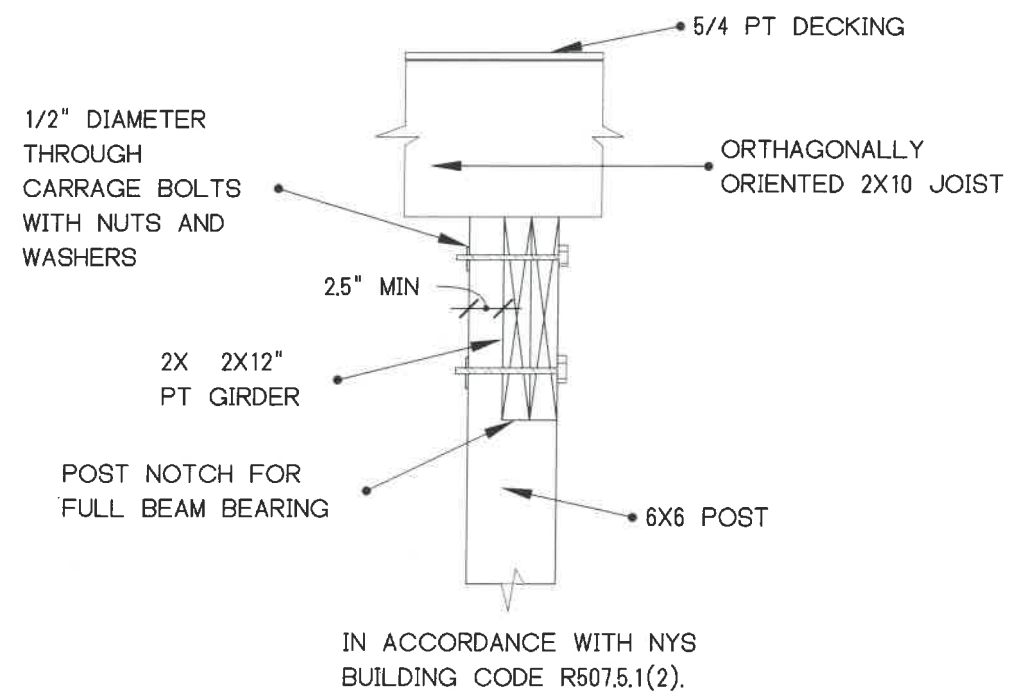
COMPANY: **CAESAR ENGINEERING D.P.C.**
CONTACT: **845.391.0148**
ADDRESS: **contact@caesarengineering.work 367 WINDSOR HWY #411 NEW WINDSOR, NY, 12553**



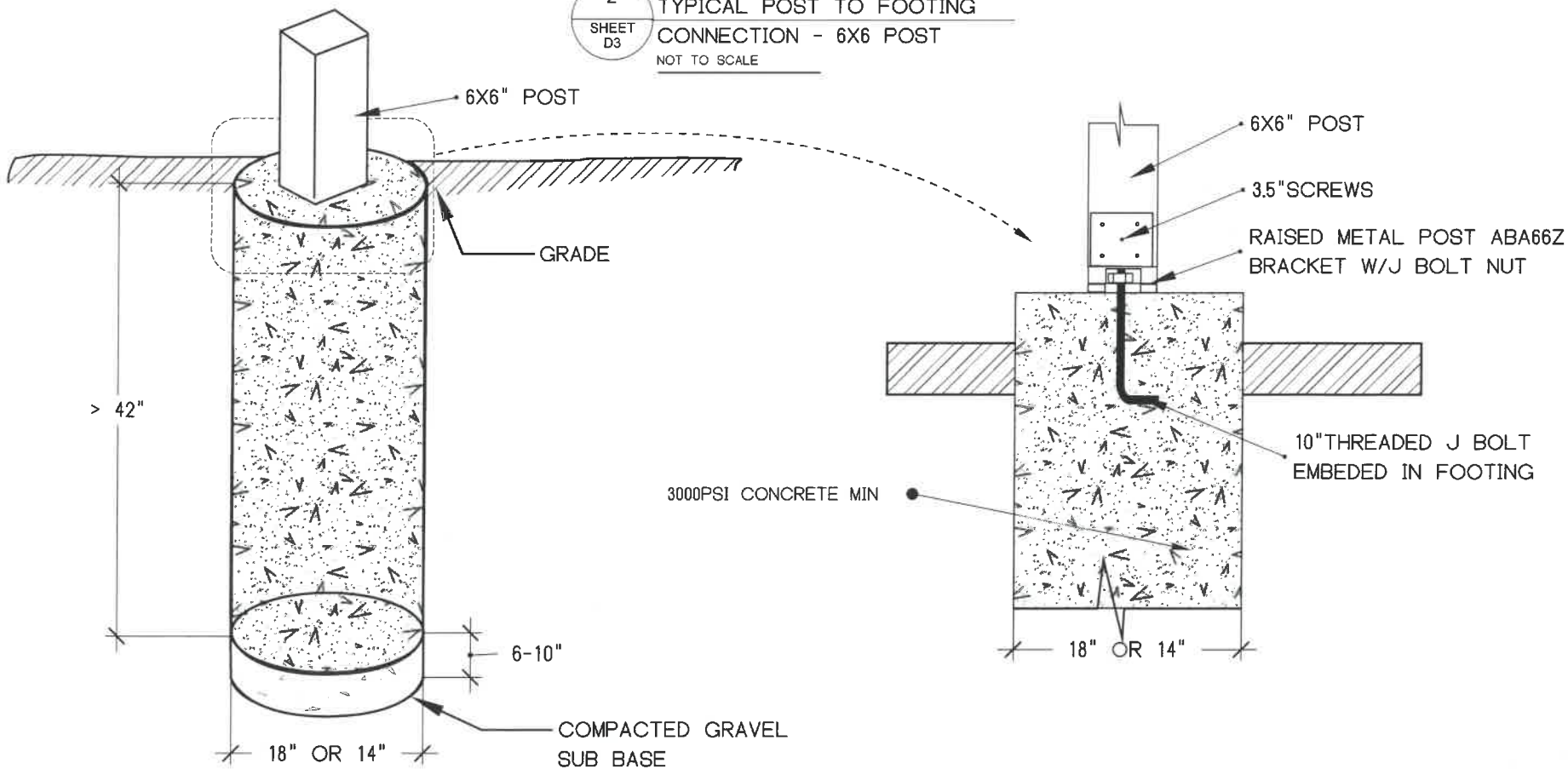
1 GIRDER TO FOOTING DIRECT CONNECTION
SHEET D3
NOT TO SCALE



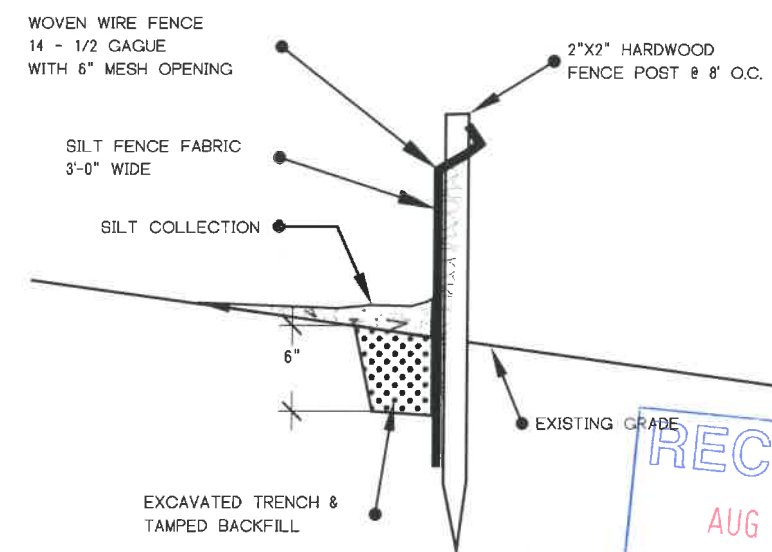
3 TYPICAL NOTCHED POST TO BEAM CONNECTION
SHEET D3



2 TYPICAL POST TO FOOTING CONNECTION - 6X6 POST
SHEET D3
NOT TO SCALE



4 SILT FENCE
SHEET D3



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AUG 26 2021
VILLAGE OF UPPER NYACK



DATE	REVISION DESCRIPTION	REV #
25 June 21	18D COMMENTS	1
18 Aug 21	UPDATED SURVEY 1983 TO 2021	2



DATE: 18 AUG 21
 CLIENT: Greg McCarron
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DESIGNED BY: NMJ Caesar, P.E.
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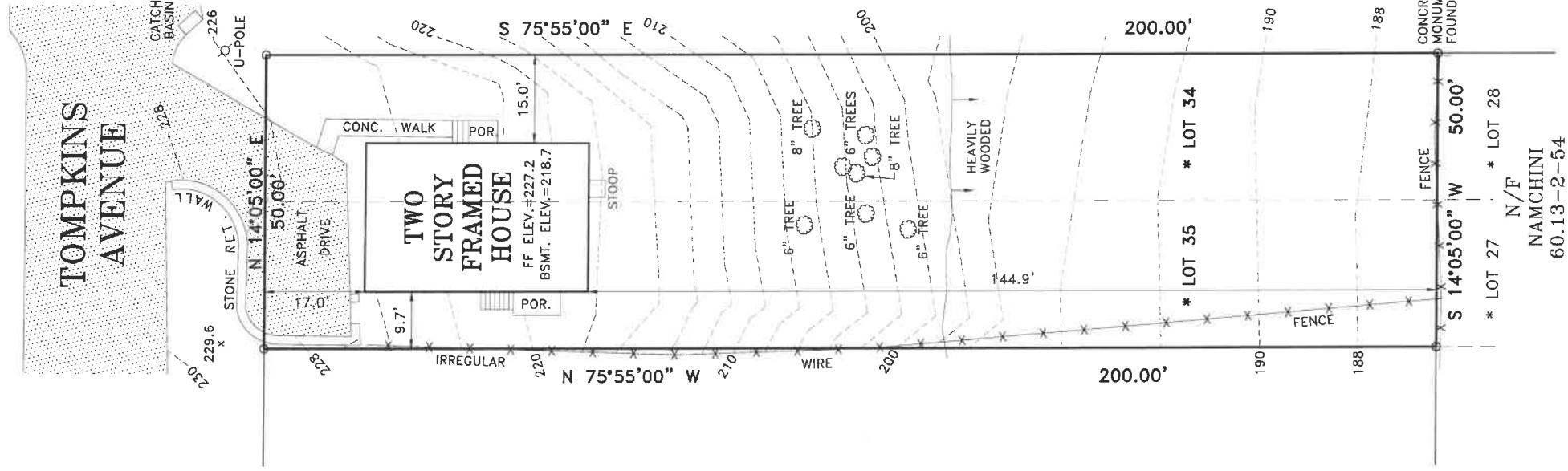
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 ADDRESS: 367 WINDSOR HWY #411 NEW WINDSOR, NY, 12553

SHEET IDENTIFICATION
D3
 DETAILS





LOT AREA
10,000.00 S.F.
 OR
0.23 ACRES



OAK STREET
 (UNIMPROVED)

N/F
 BRANDT
 60.13-2-43
 * LOT 36

N/F
 NAMCHINI
 60.13-2-54

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED INSTRUMENT #2021-11760 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- * 7. REFERENCE: 'AMENDED SUBDIVISION MAP OF PART OF SECTION "A", NYACK LAND CO.' FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JANUARY 3, 1930 AS MAP #830 IN BOOK 32 AT PAGE 707.
8. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
9. ELEVATION DATUM BASED UPON APPROXIMATE USGS.

W.E. James



8 CHEANDA LANE
 WALKILL, NEW YORK 12589
 PHONE: (845) 566-6622 FAX: (845) 566-6625
 EMAIL: WEJames@optonline.net
 www.wejamesassociates.com

SOME OF THE SURVEY MAP NOT BEARING THE SAID SURVEYOR'S EMBOSSED SEAL INDICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY WAS MADE AND NOT TO ANY OTHER PARTY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL PARTIES.
 I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON AUGUST 10, 2021.

CERTIFIED ONLY TO:

1. GREGORY PAUL MCCARRON AND CYNTHIA MCCARRON

PROJECT TITLE:
 SURVEY PREPARED FOR
Gregory Paul McCarron
 &
Cynthia McCarron

TAX MAP SECTION 60.13, BLOCK 2, LOT 42
 VILLAGE OF UPPER NYACK-TOWN OF CLARKSTOWN
 ROCKLAND COUNTY, NEW YORK

SCALE: 1" = 20'
 DATE: AUGUST 16, 2021
 SHEET NO: 1 OF 1
 PROJECT CAD REFERENCE:
 ROCKLAND COUNTY/VILLAGE OF UPPER NYACK/TOWNING AGENCY/MCCARRON.DWG

William E. James
 WILLIAM E. JAMES, P.E., P.L.S.
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

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AUG 26 2021

VILLAGE OF UPPER NYACK