

August 18, 2021

Mr. Roy Wanamaker
Building Inspector
Village of Upper Nyack
Upper Nyack, New York

Subject: McCarron Application for Deck
421 Tompkins Avenue

Dear Mr. Wanamaker:

This letter provides a revised response to your comments, sent via e-mail dated June 14, on the subject application. Your comments and our responses are provided below.

1. **Comment:** Show the correct Village for the project.

Response: Revised drawings are provided, which show the correct Village.

2. **Comment:** Obtain a certified Survey in your name, and use it as the basis for a new Site Plan.

Response: We contracted with a surveyor, who prepared a new survey; see attached drawing. Revised deck drawings are attached, which depict the new survey information.

3. **Comment:** Show all Metes and Bounds.

Response: Revised drawings are provided, which show the metes and bounds from the survey.

4. **Comment:** Bulk Table needs to be comprehensive with columns for Required, Existing, and Proposed. Refer to Section 19.1 Table of Lot Areas & Restrictions and Section 19.2 Table of Residence & Dwelling Dimensions.

Response: A comprehensive bulk table, with required columns, is provided on the revised drawings.

5. **Comment:** As the Proposed Deck is designed for a steeply sloping site, Topographic information at 2-foot intervals is required for Application review. Show Topographic information on Site Plan and on Section through the Deck.

Response: Topographic information from the new survey is shown on the revised site plan and the section, and includes 2-foot contours.

6. **Comment:** Note regarding where soil will be placed.

Response: Soil excavated for the footings, will be spread over the existing land between the existing house and the proposed deck. The estimated quantity is 100 cubic feet, spread over



an area of 325 square feet, which is equivalent to about 4 inches of evenly-spread soil. There is a 2- to 4-foot drop in the existing grass area, so this fill material will reduce the slope in this area, which is beneficial for long-term soil erosion.

7. Comment: Show Significant trees.

Response: There are no trees, significant or minor, in the area of the proposed deck. Please see below photo and attached plans.

Area for Deck; upslope of all trees



8. Comment: Show Erosion Control measures.

Response: Silt fence will be installed downslope of the proposed deck to slow down and intercept water, and filter sediment. Seed will be planted on the upland area, where excavated material is placed.

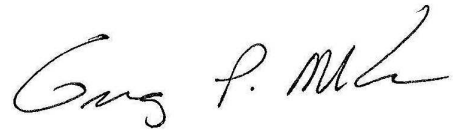
9. Comment: Other relevant items from the Village of Upper Nyack Site Plan Check List that may not be noted above but you feel are applicable.

Response: The proposed deck meets all bulk table requirements, including all setbacks. The project will improve soil erosion on the property, as the grass area between the deck and the house will be filled to a shallower slope, and it will be seeded and maintained. The deck surface will intercept rain from directly impacting the steep slope, and will reduce the impact velocity that can cause erosion.

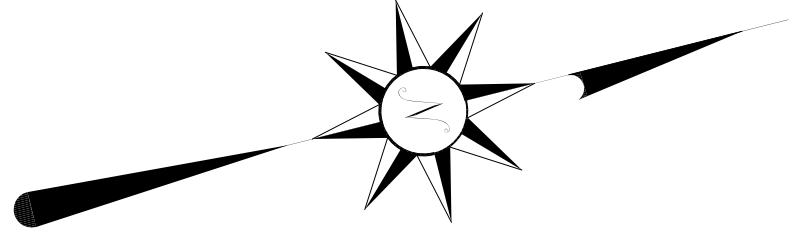
Mr. Roy Wanamaker
August 18, 2021
Page 3

Please call me at 914-588-1368 with any questions.

Sincerely,

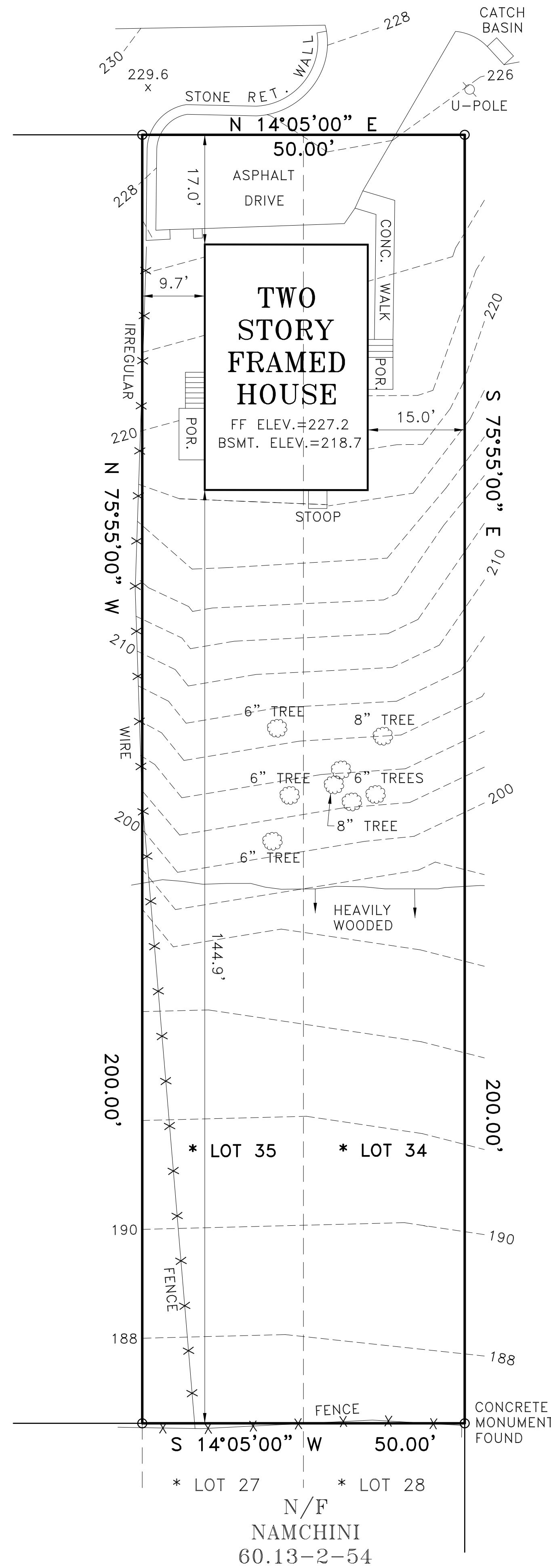
A handwritten signature in black ink, appearing to read "Greg P. McCarron". The signature is fluid and cursive, with the first name "Greg" being the most prominent.

Greg McCarron



LOT AREA
 10,000.00 S.F.
 OR
 0.23 ACRES

TOMPKINS AVENUE



N/F
 BRANDT
 60.13-2-43
 * LOT 36

OAK STREET
 (UNIMPROVED)

N/F
 NAMCHINI
 60.13-2-54

GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED INSTRUMENT #2021-11760 RECORDED IN THE ROCKLAND COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- * 7. REFERENCE: 'AMENDED SUBDIVISION MAP OF PART OF SECTION "A"...NYACK LAND CO.' FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JANUARY 3, 1930 AS MAP #830 IN BOOK 32 AT PAGE 707.
8. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
9. ELEVATION DATUM BASED UPON APPROXIMATE USGS.

W.E. James
 Engineering
 and
 Land Surveying, PLLC
 8 CHEANDA LANE
 WALKKILL, NEW YORK 12589
 PHONE: (845) 566-6522 FAX: (845) 566-6525
 EMAIL: WEJames@optonline.net
 www.wejamesassociates.com

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON: AUGUST 10, 2021

CERTIFIED ONLY TO:
 1. GREGORY PAUL McCARRON AND CYNTHIA McCARRON

William E. James
WILLIAM E. JAMES, P.E., P.L.S.
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050506

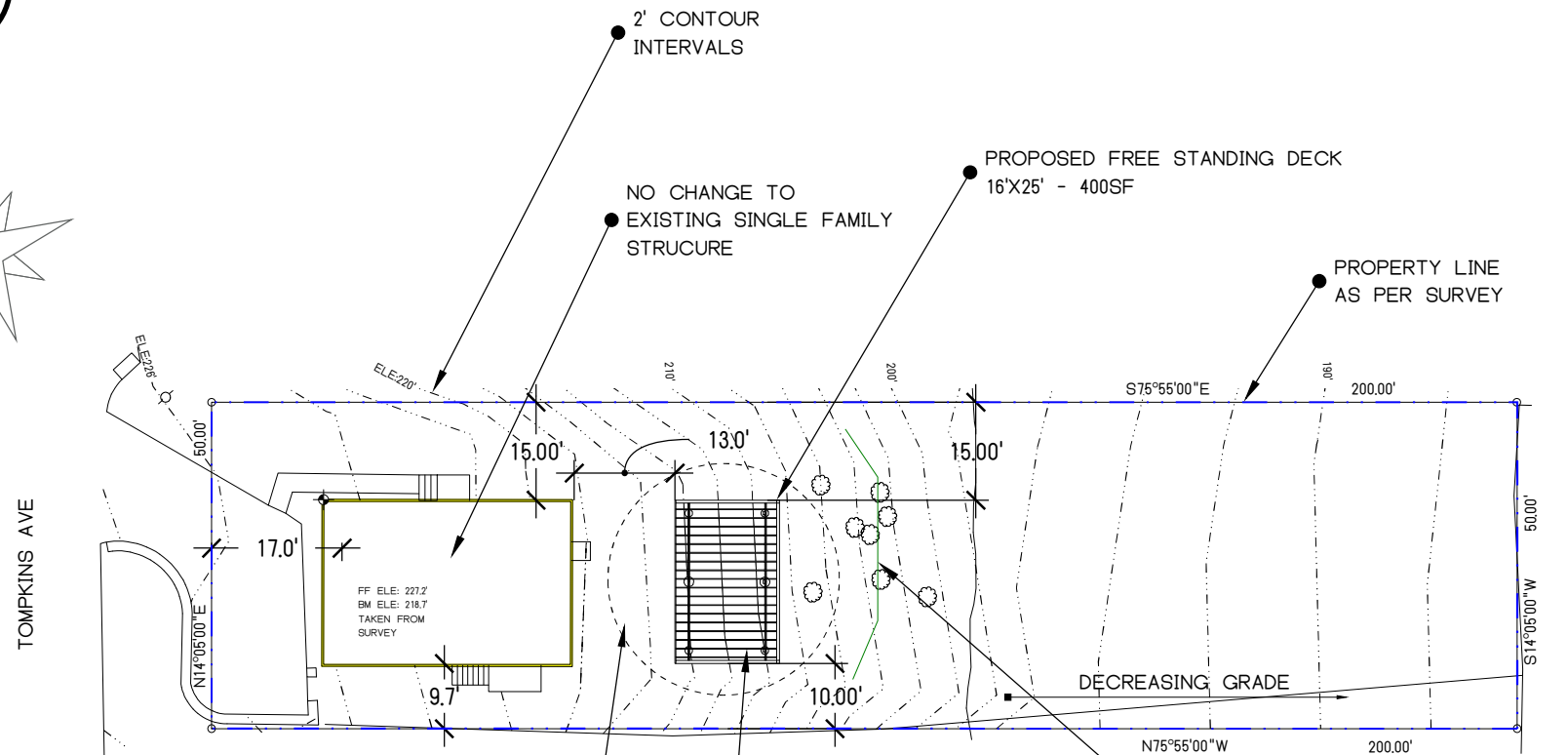
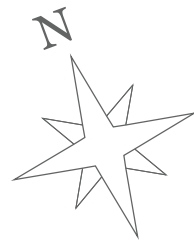
PROJECT TITLE:
 SURVEY PREPARED FOR
Gregory Paul McCarron
 &
Cynthia McCarron

TAX MAP SECTION 60.13, BLOCK 2, LOT 42
 VILLAGE OF UPPER NYACK-TOWN OF CLARKSTOWN
 ROCKLAND COUNTY, NEW YORK

SCALE: 1" = 20'	DATE: AUGUST 16, 2021	SHEET NO: 1 OF 1
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PROJECT CAD REFERENCE:
 ROCKLAND COUNTY/VILLAGE OF UPPER NYACK/TOMPKINS AVENUE/McCARRON.DWG

D1 EXISTING SITE



EXCAVATED SOIL DURING THE CONSTRUCTION WILL BE SPREAD ON EXISTING LAWN AREA AND TREATED WITH SEED AND HAY TO PREVENT EROSION

NO TREES EXIST WITHIN THE FOOTPRINT OF THE PROPOSED DECK.

SILT FENCE INSTALLED DOWNSLOPE OF THE PROPOSED DECK CONSTRUCTION IAW DETAIL 4.

NOTES:

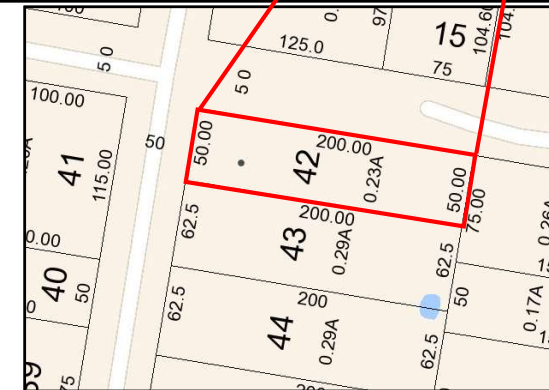
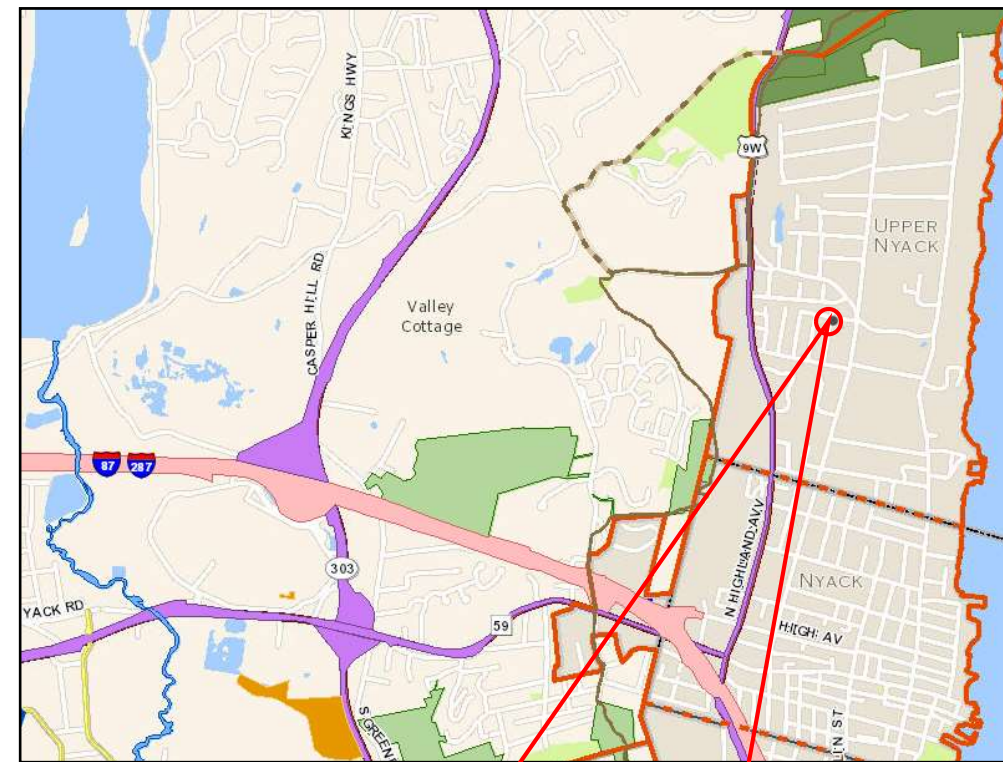
- PROPERTY OWNER WISHES TO INSTALL A 16' X 25' TIMBER FRAMED DECK STRUCTURE AS SHOWN ABOVE.
- THIS DECK WILL BE FREE STANDING AND NOT ATTACHED TO THE HOUSE. IT WILL SERVE AS A STANDING PLATFORM TO PROVIDE USABLE AREA OUT OF AN EXISTING STEEP SLOPE.
- DECK WILL BE PLACED WITHIN PROPOSED SETBACKS IN ACCORDANCE WITH MUNICIPAL CODES.

ZONING DISTRICT R-5
BULK TABLE REQUIREMENTS AS APPLICABLE:

ITEM	MIN/MAX	EXISTING	PROPOSED
MIN LOT AREA	7,500 SF	10,000 SF	NO CHANGE- 10,000 SF
MIN STREET FRONTAGE	75'	50'	NO CHANGE- 50'
FRONT YD	15' MIN	17'	NO CHANGE- 17'
SIDE YDS	10' MIN	9.7'/15'	NO CHANGE- 9.7'/15'
REAR YARD	10' MIN	144.9'	NO CHANGE- 144.9'
MIN FLOOR AREA (2 FLOOR BLDGS)	600SF / 600SF	1600 SF TOTAL	NO CHANGE- 1600 SF
MAX STRUCTURE HT	35'	<35'	NO CHANGE- <35'
LOT COVERAGE OF BLDGS & STRUCTURES	40% MAX	10.3%	14.3% (+400SF DECK)
LOT COVERAGE OF PRIMARY BLDG	20% MAX	10.3%	NO CHANGE- 10.3%

THE PROPOSED DECK FITS WITHIN ALL APPLICABLE ZONING DISTRICT SETBACKS REQUIRED.

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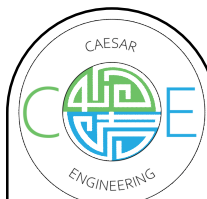
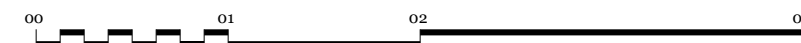
ADDRESS: 421 TOMPKINS AVE
UPPER NYACK, NY, 10960

NOTES: SURVEY DATA WAS TRANSCRIBED FROM A PROPERTY SURVEY THAT WAS SUPPLIED BY THE OWNER. THIS SURVEY WAS PERFORMED BY A LICENSED LAND SURVEYOR REGISTERED AND ACTIVE IN NEW YORK STATE AT THE TIME OF THE SURVEY. THIS PROPERTY SURVEY WAS REPLICATED AND ASSUMPTIONS MADE FROM THIS SURVEY HAVE DIRECT REFLECTIONS IN THIS DESIGN. TOPOGRAPHIC DATA DIRECTLY FROM THE PROPERTY SURVEY PROVIDED BY THE OWNER.
SURVEY PERFORMED ON DATE: 16 AUG 2021
SURVEY PERFORMED BY: WILLIAM E. JAMES P.E., P.L.S #050506

WARNING: IT IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW SECTION 7209.2

ONLY MAPS WITH EMBOSSED, TRUE INK, OR ELECTRONICALLY VERIFIED & SIGNED SEALS WITH THE SIGNATURE AND DATE OF THE PROFESSIONAL ENGINEER ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT EMBOSSED, TRUE INK, OR ELECTRONICALLY VERIFIED & SIGNED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND OR CHANGES.

SCALE: 1" = 29'



DATE	REVISION DESCRIPTION	REV #
25 June 21	IBD COMMENTS	1
18 Aug 21	UPDATED SURVEY 1993 TO 2021	2

DATE: 18 AUG 21



NMJ CAESAR, P.E.
L.I.C. NO. 101354

CLIENT: **Greg McCarron**
CLIENT NUMBER: **914.588.1368**
PROJECT ADDRESS: **421 Tompkins Ave. Upper Nyack, NY**

DESIGNED BY: **NMJ Caesar, P.E.**
DATE: **18 Aug 21**
PROJECT: **Exterior Deck**
PROJECT NUM: **P062**

COMPANY: **CAESAR ENGINEERING D.P.C.**
CONTACT: **845.391.0148**
contact@caesarengineering.work
ADDRESS: **367 WINDSOR HWY #411 NEW WINDSOR, NY, 12553**

SHEET IDENTIFICATION

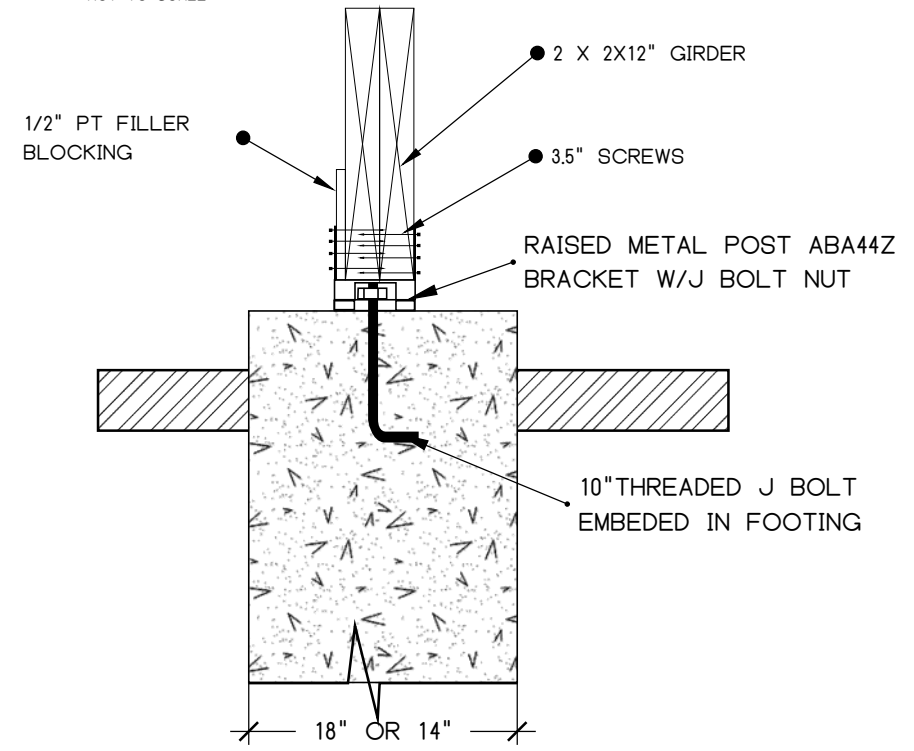
D1
EXISTING SITE



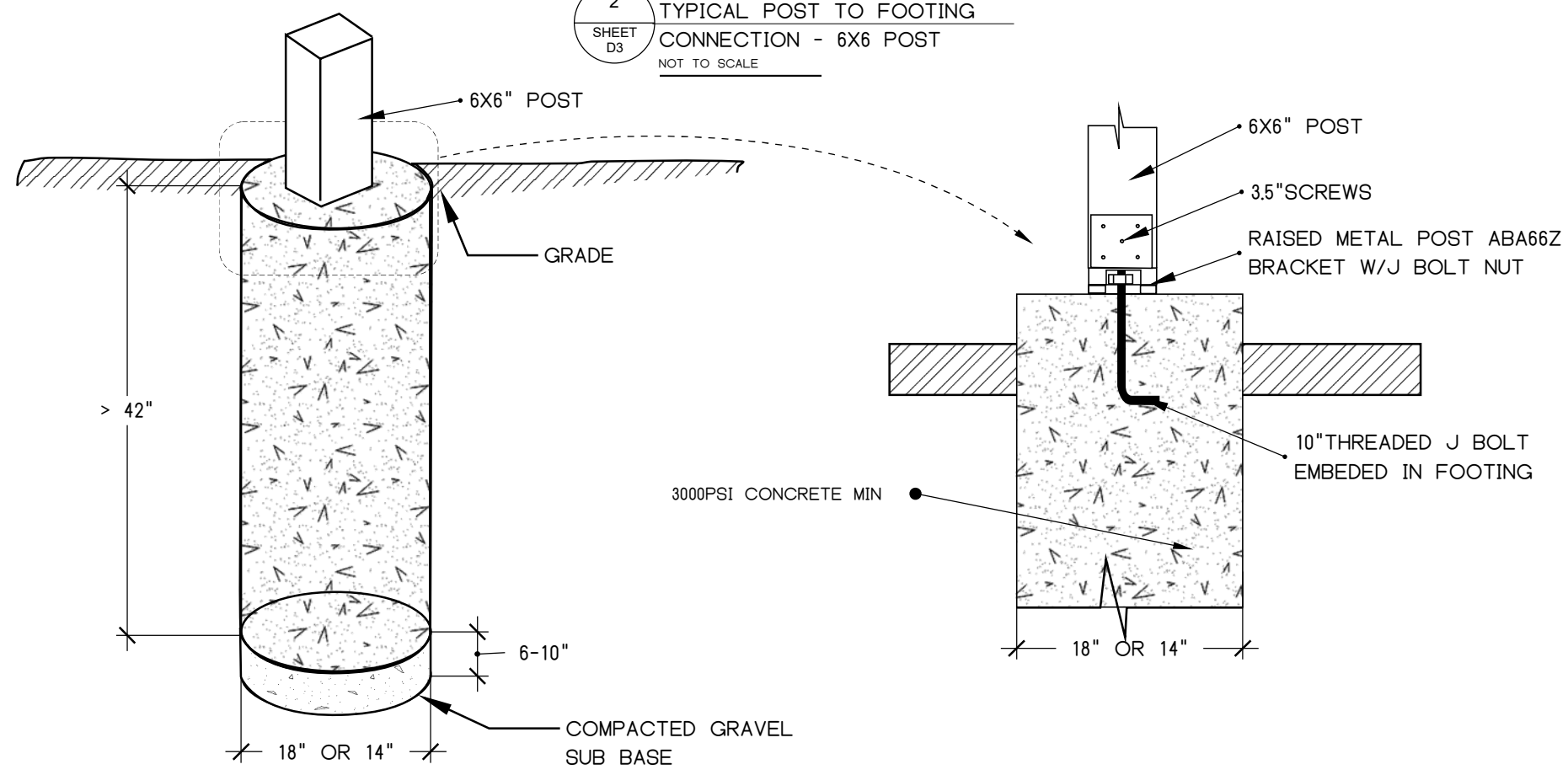
Know what's below.
Call before you dig.

D3 CONSTRUCTION DETAILS

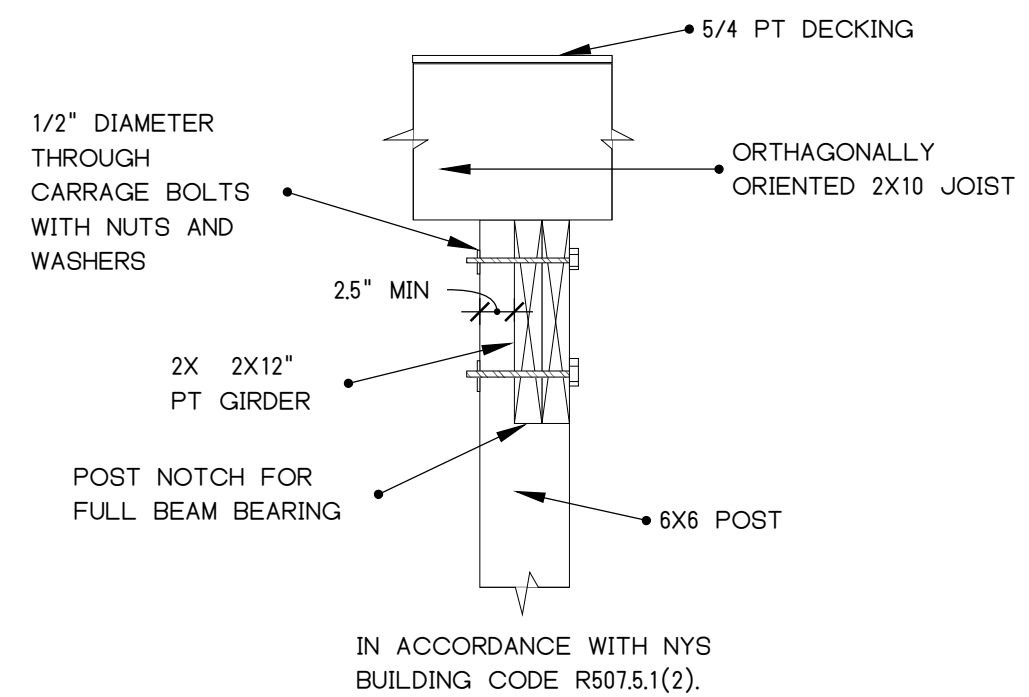
1 GIRDER TO FOOTING DIRECT CONNECTION
SHEET D3
NOT TO SCALE



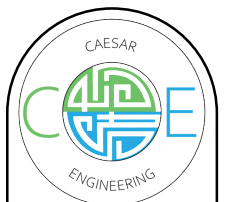
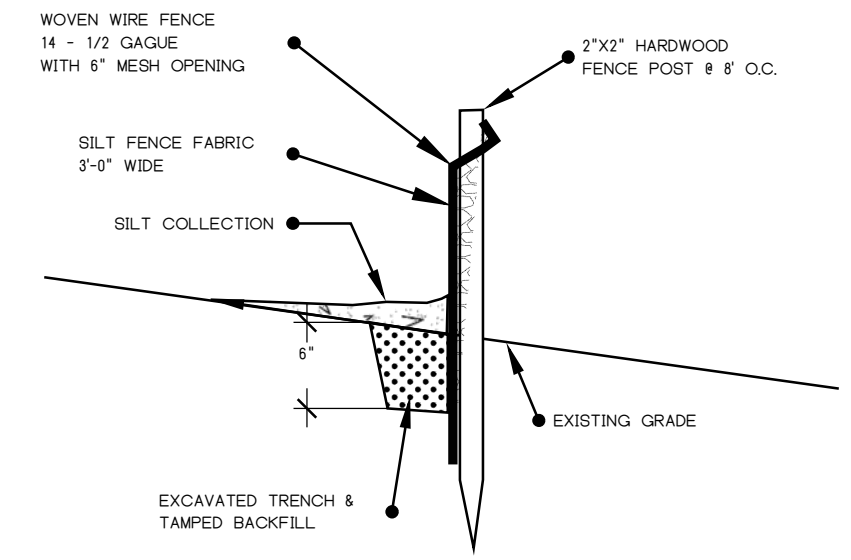
2 TYPICAL POST TO FOOTING CONNECTION - 6X6 POST
SHEET D3
NOT TO SCALE



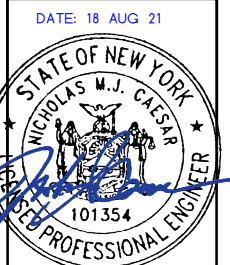
3 TYPICAL NOTCHED POST TO BEAM CONNECTION
SHEET D3



4 SILT FENCE
SHEET D3



DATE	REVISION DESCRIPTION	REV #
25 June 21	BD COMMENTS	1
18 AUG 21	UPDATED SURVEY 1983 TO 2021	2



DATE: 18 AUG 21
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L.I.C. NO. 101354

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SHEET IDENTIFICATION
D3
DETAILS

