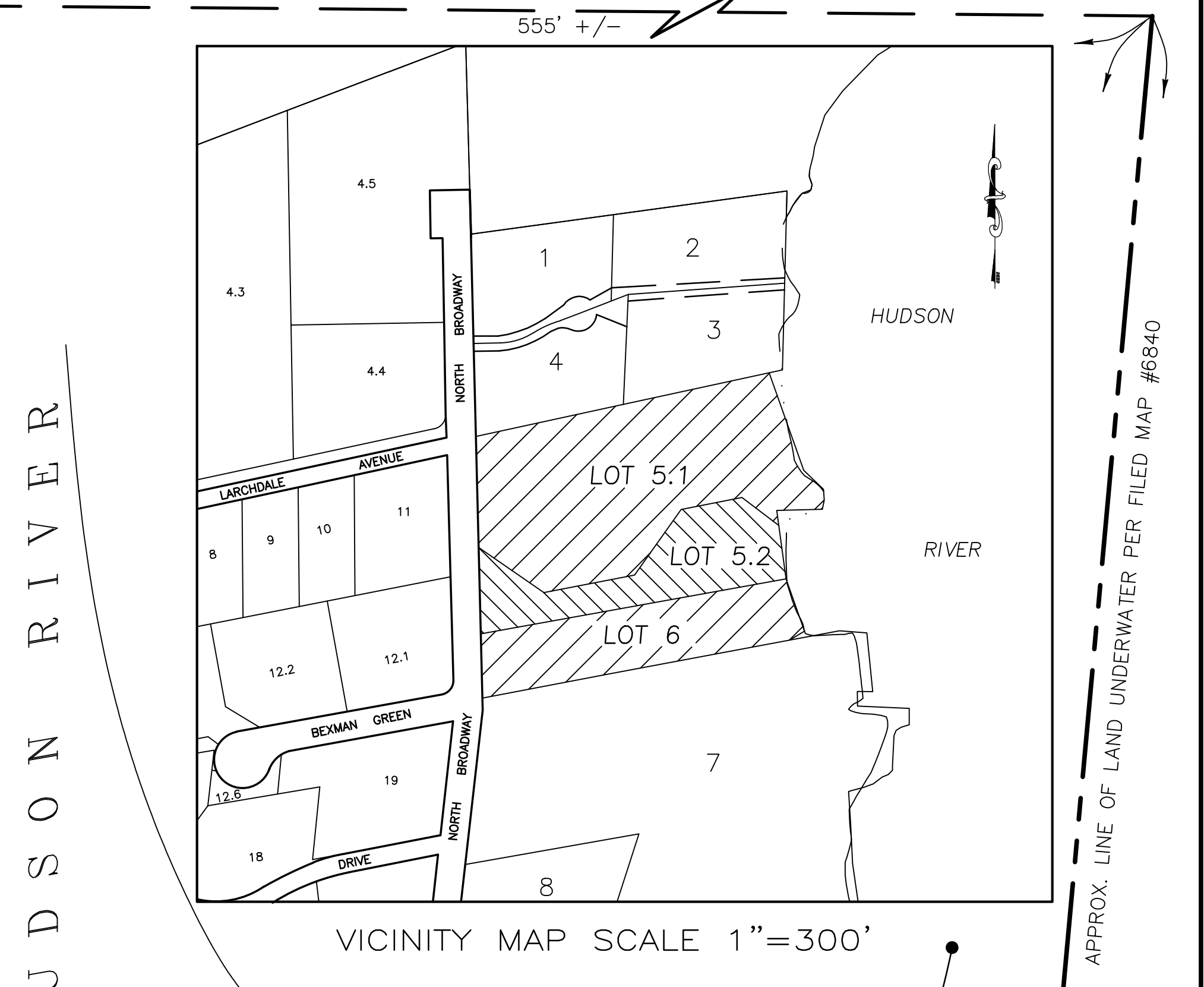
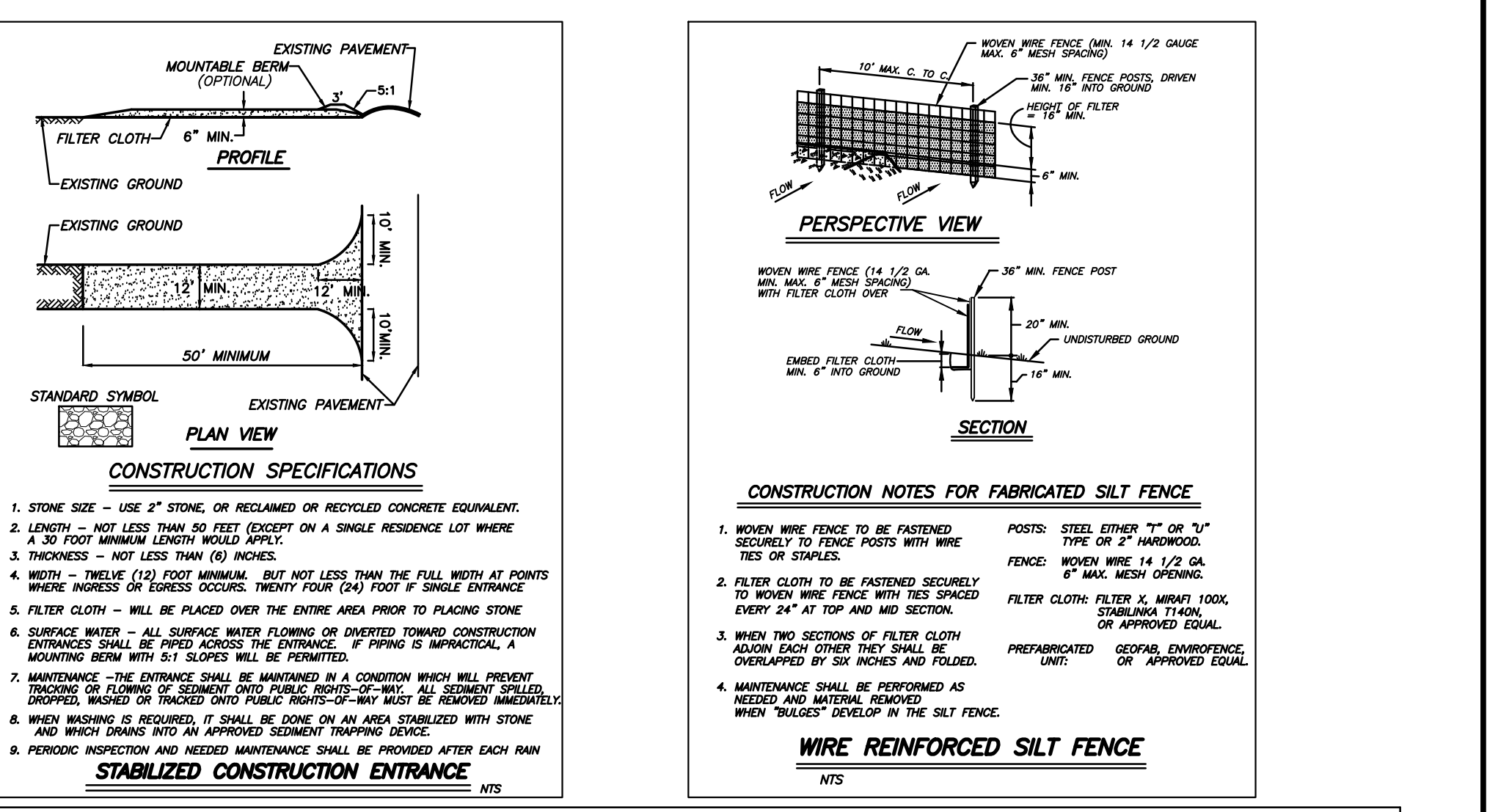


- SURVEY NOTES/REFERENCES:**
- (A) DEED REFERENCE (TAX LOT 5.1); INSTR. #1998-00038606
  - (B) DEED REFERENCE (TAX LOT 5.2); L-4070, P. 435
  - (C) DEED REFERENCE (TAX LOT 6); INSTR #1997-37842
  - MAP REFERENCE: SUBDIVISION PLAN PREPARED FOR DR. WILLIAM D. HARDY JR. ... FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6840 ON SEPT. 27, 1994.
  - MAP REFERENCE: SUBDIVISION FOR RASO, MANN, BESSO & ENGLEMOHR FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6813.
  - "BOUNDARY & TOPOGRAPHIC SURVEY OF PROPERTY, LOT 6, BLOCK 1, SECTION 60.06" BY JOHN E. COLLAZUOL & ASSOC. LAST REV. 4/25/03
  - DEED FOR COTTLES TO LIEFER (TAX LOT 60.06-1-6) IN INSTR ID 1997-37842 DOES NOT CLOSE MATHEMATICALLY. BEARING DIRECTIONS ARE REVERSED; FROM THE POINT OF BEGINNING, THE DESCRIPTION IS INTENDED TO RUN COUNTERCLOCKWISE BUT THE BEARING DIRECTIONS ARE INCORRECT AND INCONSISTENT.
  - DATUM: NAD 29
- TREE LEGEND**
- |    |                       |     |                        |
|----|-----------------------|-----|------------------------|
| 11 | CALIPER IN INCHES     | PP  | POPLAR                 |
| 82 | TREE TYPE (SEE BELOW) | CH  | CHERRY                 |
|    |                       | L   | LOCUST                 |
|    |                       | M   | MAPLE                  |
|    |                       | P   | PINE                   |
|    |                       | W   | WILLOW                 |
|    |                       | JM  | JAP. MAPLE             |
|    |                       | AS  | ASPEN                  |
|    |                       | S   | SUMAC                  |
|    |                       | HB  | HACKBERRY              |
|    |                       | SY  | SYCAMORE               |
|    |                       | X   | SPECIES NOT DETERMINED |
|    |                       | (X) | TREE TO BE REMOVED     |



**LETTERS PATENT REGARDING UNDERWATER RIGHTS PER L.130, P.618**

UNDERWATER AREA CONVEYED TO DOORNBOSCH (FROM LANGERMAN) PER INST. ID 2002-51427 (AND PREVIOUSLY CONVEYED TO LANGERMAN IN 1994 PER L.725 P. 1066) AND ALSO INCLUDED IN UNDERWATER LANDS CONVEYED TO POMA (TAX LOT 60.06-1-5.1) PER INST. ID 1998-38606.



**BULK TABLE**

	GROSS LOT AREA	NET LOT AREA	FRONT SETBACK	SIDE SETBACK (SOUTH)	SIDE SETBACK (NORTH)	REAR SETBACK	STREET FRONTAGE	MAXIMUM BLDG. HT	EXISTING MAX. LOT COVERAGE (TOTAL)	PROPOSED MAX. LOT COVERAGE (TOTAL)	EXISTING MAX. LOT COVERAGE (PRIMARY BLDG)	PROPOSED MAX. LOT COVERAGE (PRIMARY BLDG)
REQUIRED		40,000 SF	35 Ft	30 Ft	30 Ft	30 Ft	150 Ft	35.0'	20% ALLOWED	20% ALLOWED	10% ALLOWED	10% ALLOWED
LOT 5.1	140,911 SF	138,712 SF	214.4'	30.0'	54.1'	189.3'	194.30'	43'±	23.0% ±	24.0% ±	8.7%	NO CHANGE
LOT 5.2	52,260 SF	51,701 SF	N/A	N/A	N/A	N/A	150.00'	N/A	7.9%	13.8% ±	N/A	NO CHANGE
LOT 6	62,376 SF	52,542 SF	159.2'	30.2'	23.9'	266'+	114.58'	29.5'	25.0% ±	25.5% ±	6.7%	NO CHANGE

\* VARIANCE GRANTED BY ZBA 11/18/14  
 \*\* VARIANCE REQUIRED (GRANTED BY ZBA 5/19/20) Δ  
 \*\*\* EXISTING CONDITION-VARIANCE REQUIRED REQUESTED UNDER SEPARATE APPLICATION  
 ⊕ EXISTING NON-CONFORMING CONDITION

**DATE**      **REVISIONS**

05/26/20	PROP. WALL & FENCE, COV'G
03/12/20	REV PER REV OF PERM
12/11/19	GRADING, SEE SHEET 21324
11/25/19	MISC. REV'S

**SITE PLAN OF PROPERTY FOR**  
**645-647-649 NO. BROADWAY**

VILLAGE OF UPPER NYACK  
 ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**  
 LAND SURVEYING LAND PLANNING  
 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901  
 PHONE 845-357-0830 FAX 845-357-0756

TAX LOT # SEE ABOVE  
 AREA SEE ABOVE  
 FILE 21324SITE  
 SCALE 1" = 20'  
 DATE 6/19/19  
 JOB NO. 21324  
 SHEET 1

- LEGEND**
- CB □ FI CATCH BASIN/FIELD INLET
  - DRAIN LINE
  - SANITARY MANHOLE / PIPE
  - EDGE OF PAVEMENT
  - CONCRETE CURB
  - GAS LINE / VALVE
  - WATER LINE / VALVE
  - UTILITY POLE
  - LIGHT POLE
  - OVERHEAD WIRES
  - UNDERGROUND ELECTRIC
  - IRRIGATION CONTROL BOX

- NOTES:**
- OWNERS:  
 TAX LOT 60.06-1-5.1 (#649)  
 649 NORTH BROADWAY LLC  
 C/O SCHNEIDER LAW GROUP  
 150 BROADWAY, SUITE 900  
 NEW YORK, NEW YORK 10038  
 TAX LOT 60.06-1-5.2 (#647)  
 647 NORTH BROADWAY LLC  
 C/O SCHNEIDER LAW GROUP  
 150 BROADWAY, SUITE 900  
 NEW YORK, NEW YORK 10038  
 TAX LOT 60.06-1-6 (#645)  
 645 NORTH BROADWAY LLC  
 C/O SCHNEIDER LAW GROUP  
 150 BROADWAY, SUITE 900  
 NEW YORK, NEW YORK 10038
  - ZONE: R-1
  - ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC) AFFECTED BY THE DEVELOPMENT OF THIS PARCEL SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
  - THE CORNERS OF THE LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
  - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
  - NEW HOUSE SEWER CONNECTION SHALL BE BY GRAVITY SEWER WITH A MIN. SLOPE OF 2.0%.

- WATER SUPPLY BY SUEZ WATER NEW YORK.
- SANITARY SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SEPARATION OF TEN FEET.
- SUBJECT TO VILLAGE AND STATE CONSTRUCTION AND UTILITY STANDARDS, AS APPLICABLE.
- THE DEVELOPER SHALL CONFORM TO THE "NEW YORK STATE STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL".
- A COVENANT SHALL BE FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE (TO THE SATISFACTION OF THE VILLAGE ATTORNEY) BINDING THE HOMEOWNERS TO MAINTENANCE OF THE STORMWATER FACILITIES ON RESPECTIVE LOTS.
- PROTECTION OF TREES: NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED, EXCEPT WHERE ENGAGED FOR TREE REMOVAL. NO EQUIPMENT SHALL BE OPERATED WITHIN 80% OF CRITICAL ROOT RADIUS OF ANY TREE PROPOSED TO BE PROTECTED IN THIS ORDINANCE NOR SHALL EQUIPMENT BE OPERATED AT ANY TIME IN SUCH MANNER AS TO BREAK, TEAR, BURST, DECORATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
- DATUM: NAD 29
- EXISTING TREES SHOWN ON THE GRADING PLAN AS TO REMAIN, ARE TO REMAIN UNDISTURBED AND ARE PROTECTED WITH A 6 FOOT HIGH WOODEN FENCE WITH POSTS PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FT. MINIMUM FROM THE TREE TRUNK, ANY EXISTING TREE SHOWN TO REMAIN THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A 4" CALIPER HARDWOOD SHADE TREE AS DIRECTED BY THE LANDSCAPE ARCHITECT. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND AN AREA OF SUCH TREES HAS BEEN REMOVED, A 2 1/2"-3" CALIPER HARDWOOD SHADE TREE SHALL BE PLACED FOR EVERY 200 SF OF AREA DISTURBED.
- ALL TREES SCHEDULED FOR REMOVAL MUST HAVE A VALID VILLAGE OF UPPER NYACK TREE PERMIT PRIOR TO CUTTING OR REMOVAL.
- RETAINING WALL(S) SHALL BE DESIGNED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE VILLAGE FOR REVIEW AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. A LETTER FROM THE NYS PROFESSIONAL ENGINEER CERTIFYING CONSTRUCTION WITH ACCORDANCE WITH DESIGN SHALL BE PROVIDED PRIOR TO CERTIFICATE OF OCCUPANCY.
- THIS PLAN SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL, WITHIN WHICH TIME THE APPLICANT SHALL SECURE A BUILDING PERMIT.



N OR F ENGELMOHR  
SECTION 60.06  
BLOCK 1  
LOT 4

N OR F MAYER  
SECTION 60.06  
BLOCK 1  
LOT 3

#649  
SECTION 60.06  
BLOCK 1  
LOT 5.1  
(FILED MAP #6840)  
LOT #1

#647  
SECTION 60.06  
BLOCK 1  
LOT 5.2  
(FILED MAP #6840)  
LOT #2

#645  
SECTION 60.06  
BLOCK 1  
LOT 6

N OR F WINKEL  
SECTION 60.06  
BLOCK 1  
LOT 7

STATUS OF UNDERWATER PROPERTY  
SUBJECT TO A COMPLETE AND UP TO DATE  
TITLE SEARCH

LETTERS  
PATENT  
REGARDING  
UNDERWATER  
RIGHTS PER  
L.130, P.618

- SURVEY NOTES/REFERENCES:**
- (A) DEED REFERENCE (TAX LOT 5.1); INSTR. #1998-00038606
  - (B) DEED REFERENCE (TAX LOT 5.2); L.4070, P. 435
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  - DEED FOR GOTTLEB TO LEFFER (TAX LOT 60.06-1-6) IN INSTR ID 1997-37842 DOES NOT CLOSE MATHEMATICALLY. BEARING DIRECTIONS ARE REVERSED; FROM THE POINT OF BEGINNING, THE DESCRIPTION IS INTENDED TO RUN COUNTERCLOCKWISE BUT THE BEARING DIRECTIONS ARE INCORRECT AND INCONSISTENT.
  - DATUM: NAD83

NOTE:  
Section 6.6 of the Village of Upper Nyack Zoning Ordinance provides for lot area calculations that reduce the gross area due to steep slopes, rock outcrops, and "land under water" but specifically excludes the application of that section to lots on a subdivision plat that received preliminary approval by the Village Planning Board prior to the adoption of that Local Law #14 (which is dated 12/16/04).

Accordingly, slope deductions have not been applied to Tax Lots 60.06-1-5.1 and 5.2 ("Subdivision Plat Prepared for Dr. William D. Hardy Jr." filed in the Rockland County Clerk's Office in 1994).

**LEGEND**

CB	FI	CATCH BASIN/FIELD INLET
---	---	DRAIN LINE
---	---	SANITARY MANHOLE / PIPE
---	---	EDGE OF PAVEMENT
---	---	CONCRETE CURB
G	G	GAS LINE / VALVE
W	W	WATER LINE / VALVE
U	U	UTILITY POLE
L	L	LIGHT POLE
OHW	UE	OVERHEAD WIRES
ICB	UE	UNDERGROUND ELECTRIC
		IRRIGATION CONTROL BOX

0-19.9% (100% CREDIT)	0-19.9% (100% CREDIT)
20-50% 50% CREDIT	20-50% 50% CREDIT
>50% NO CREDIT	>50% NO CREDIT

**SLOPE CALCULATIONS LOT 6**  
TOTAL AREA = 62,376 SF  
-50% (20-50% SLOPE) = 3,818 SF  
-100% (>50% SLOPE) = 6,016 SF  
-50% AREA BELOW 100 YR FLOOD PLAIN = 919 SF  
NET ZONING AREA = 52,542 SF

	LOT AREAS			
	GROSS AREA	AREA BELOW 100 YEAR FLOOD ELEVATION (50% CREDIT)	AREA DEDUCTION FOR SLOPES	NET ZONING AREA
TAX LOT 60.06-1-5.1	140,811 SF; 3.2348 AC	4398 SF (-2199)	N/A	138,712 SF; 3.1844 AC
TAX LOT 60.06-1-5.2	52,260 SF; 1.1997 AC	1118 SF (-559)	N/A	51,701 SF; 1.1869 AC
TAX LOT 60.06-1-6	62,376 SF; 1.4320 AC	1838 SF (-919)	9,834 SF	52,542 SF; 1.2062 AC

DATE	REVISIONS	EXISTING CONDITIONS & SLOPE REDUCTIONS	TAX LOT # SEE ABOVE
		<b>649 NORTH BROADWAY, LLC</b>	FILED 21324/SLOPE
		VILLAGE OF UPPER NYACK ROCKLAND COUNTY, NEW YORK	SCALE 1" = 20'
		<b>JAY A. GREENWELL, PLS, LLC</b>	DATE 6/19/19
DESIGNED JAC		LAND SURVEYING LAND PLANNING	JOB NO.
DRAWN LJM		85 LAFAYETTE AVENUE, SUFFERN, NEW YORK 10901	21324
CHECKED JAS		PHONE 845-357-0830 FAX 845-357-0756	
APPROVED JAC	JAY A. GREENWELL, PLS NYS LIC. # 49676		

**GENERAL NOTES**

- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE. ALL CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE AFOREMENTIONED CODE.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, IS HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. A COMPLETE COPY OF THIS DOCUMENT IS ON FILE IN THE ARCHITECT'S OFFICE AND MAY BE REVIEWED UPON REQUEST.
- ALL CONTRACTORS ARE TO PROVIDE NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING STATE, LOCAL AND OSHA.
- ALL BONDING AND INSURANCE REQUIREMENTS SHALL BE COORDINATED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION. INSURANCE SHALL INCLUDE, BUT IS NOT LIMITED TO:  
WORKMENS COMPENSATION INSURANCE----- \$500,000.  
COMPREHENSIVE GENERAL LIABILITY INSURANCE---\$1,000,000. COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE - \$1,000,000.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS ARISING FROM THE CONSTRUCTION OF THIS PROJECT.
- ANY ITEMS NOT SPECIFICALLY MENTIONED BUT IS REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE ABSENCE OF AN OWNER-ARCHITECT AGREEMENT FOR CONSTRUCTION ADMINISTRATION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR FIELD COORDINATION OF CONSTRUCTION, REVIEW AND PROCESSING OF SHOP DRAWINGS AND IN GENERAL, CONSTRUCTION ADMINISTRATION.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE CODES.
- CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND ALL FIELD DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION BEFORE BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE START OF WORK SHALL BE EVIDENCE OF FAULTY PREPARATION ON THE PART OF THE CONTRACTOR AND THE COST OF CORRECTION SHALL BE BORNE BY THE CONTRACTOR.
- CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS.
- THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR FILING FOR BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT FOR OWNERS AND ARCHITECTS REVIEW A COMPREHENSIVE CONSTRUCTION SCHEDULE, SHOWING STARTING DATE, COMPLETION DATE, START OF EACH MAJOR PHASE OF WORK, SUCH AS FOUNDATION, FRAMING, WIRING, ETC.
- THESE CONSTRUCTION DRAWINGS AND DOCUMENTS DO NOT ASSIGN WORK TO A SPECIFIC TRADE OR SUBCONTRACTOR. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AMONG HIS SUPPLIERS AND SUBCONTRACTORS AS HE SEES FIT AND ACCORDING TO HIS CONTRACTUAL AGREEMENT WITH HIS SUPPLIERS AND SUBCONTRACTORS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK INDICATED IN THE CONSTRUCTION DRAWINGS AND DOCUMENTS. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

**SITWORK**

- EXCAVATE AS REQUIRED FOR FOUNDATIONS TO UNDISTURBED VIRGIN SOIL.
- TOP SOIL IS TO BE REMOVED AND STORED ON SITE AS DIRECTED BY THE OWNER. OTHER EXCAVATED MATERIAL, IF SUITABLE, MAY BE USED AS BACKFILL IN NON-LOAD BEARING SITUATIONS. EXCESS EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. PROFITS FROM THE SALE OF EXCESS EXCAVATED MATERIAL SHALL BE INCORPORATED INTO THE COST OF EXCAVATION FOR THE BENEFIT OF THE OWNER.
- ASSUMED SOIL BEARING CAPACITY IS 2,000 PSF. ANY EVIDENCE OF ORGANIC MATTER IN THE SOIL OR ANY STRATA OF SOIL THAT APPEARS TO BE QUESTIONABLE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- BACKFILL MATERIAL SHALL BE CLEAN, WELL GRADED GRAVEL WITHOUT ANY ORGANIC MATERIAL OR DEBRIS AND SHALL NOT BE FROZEN.
- COMPACTION OF BACKFILL UNDER FOOTINGS SHALL BE IN 8" LIFTS AND ACHIEVE A DENSITY OF 98%, AS TESTED BY A TESTING LAB.
- BOTTOM OF FOOTINGS SHALL BE MINIMUM OF 3'-0" BELOW GRADE, OR DEEPER, IF CALLED FOR IN THE BUILDING CODE. CONTRACTOR SHALL CHECK WITH THE LOCAL BUILDING DEPARTMENT FOR LOCAL REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE SHORING OR BRACING IN ACCORDANCE WITH OSHA REQUIREMENTS. CARE SHALL BE TAKEN TO AVOID UNDERMINING ADJACENT EXISTING STRUCTURES. UNDERPINNING OF EXISTING STRUCTURES SHALL ONLY BE DONE WITH AN UNDERPINNING PLAN DESIGNED BY A STRUCTURAL ENGINEER, SIGNED AND SEALED AND FILED WITH THE LOCAL BUILDING DEPARTMENT.

**ELECTRICAL**

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, NFPA 70, LATEST EDITION.
- ALL LIGHT FIXTURES, APPLIANCES, EQUIPMENT AND DEVICES SHALL BE UL LISTED FOR ITS INTENDED USE.
- ARC FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE REQUIRED FOR ALL NEWLY INSTALLED (NOT REPLACEMENT) BRANCH CIRCUITS IN DWELLING UNITS.

**SOIL EROSION**

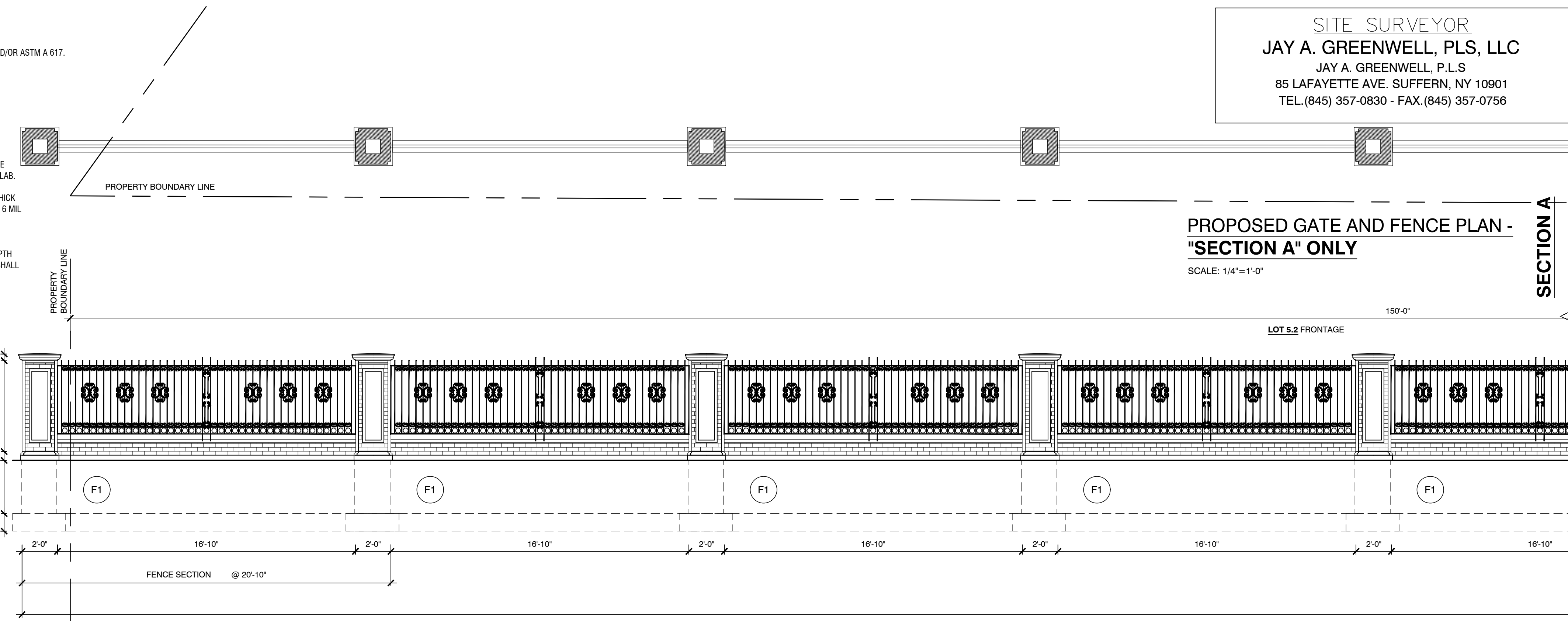
- ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT SOIL EROSION FROM OCCURRING. SOIL RUNOFF FROM THE SITE SHALL BE PREVENTED.

**MASONRY**

- UNLESS NOTED OTHERWISE, FOUNDATION WALLS SHALL BE GRADE "N" HOLLOW LOAD BEARING CONCRETE MASONRY UNITS COMPLYING WITH ASTM C 90.
- MORTAR SHALL CONFORM TO ASTM C 270, TYPE "M".
- UNLESS NOTED OTHERWISE, PROVIDE RUNNING BOND WITH VERTICAL JOINTS LOCATED AT CENTER OF MASONRY UNITS ABOVE AND BELOW.
- LAY UP CONCRETE MASONRY UNITS WITH FULL BED AND HEAD JOINTS. FOR STARTER COURSES ON SLABS OR FOOTINGS, SPREAD OUT FULL MORTAR BED INCLUDING AREAS UNDER CELLS.
- TOOL ALL JOINTS TO A DENSE, SMOOTH CONCAVE JOINT.
- UNLESS NOTED OTHERWISE, INSTALL HORIZONTAL JOINT REINFORCEMENT EVERY 16" O.C. VERTICALLY.

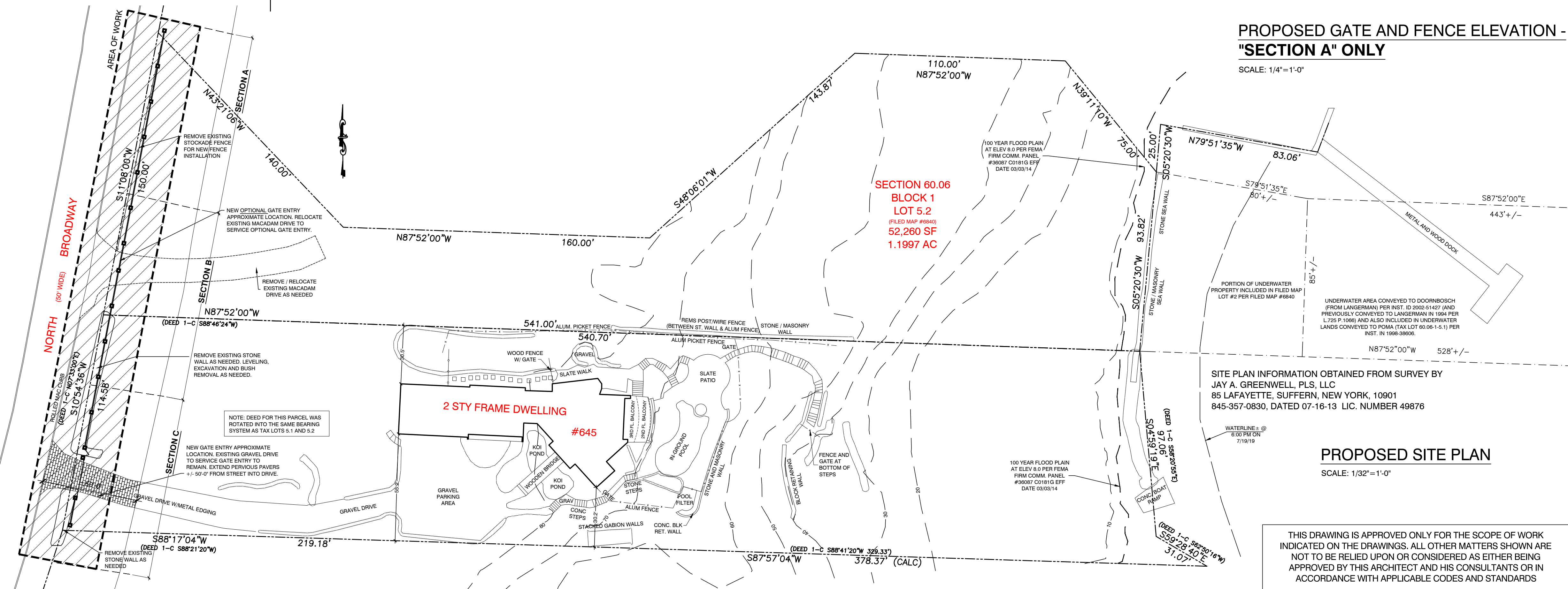
**CONCRETE**

- ALL CONCRETE WORK IS DESIGNED ON THE BASIS OF "STRENGTH DESIGN" IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". ALL CONCRETE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318.
- CONCRETE WORK SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 211.1, "RECOMMENDED PRACTICES FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE", TO PRODUCE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, UNLESS NOTED OTHERWISE.
- NO WATER SHALL BE ADDED TO THE CONCRETE MIX AT THE JOB SITE WITHOUT THE APPROVAL OF THE ENGINEER.
- ALL AGGREGATE SHALL CONFORM TO ASTM C-33.
- ADMIXTURES MAY BE USED ONLY AFTER THE REVIEW AND APPROVAL BY THE ARCHITECT.
- CONCRETE COVER FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318, AND SHALL BE, MINIMALLY, AS LISTED BELOW:  
A. SLABS - 3/4"  
B. UNFORMED CONCRETE BELOW GRADE - 3"  
C. FORMED CONCRETE BELOW GRADE - 2"
- ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A 615 AND/OR ASTM A 617.
- ALL REINFORCING STEEL SHALL:  
A. COMPLY WITH ASTM A 615 AND/OR ASTM A 617  
B. BE GRADE 60  
C. BE SPLICED IN ACCORDANCE WITH ACI 318  
D. BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS, IN ACCORDANCE WITH ACI 318 AND ACI 301.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND BE POSITIONED SO AS TO BE IN THE CENTER OF DEPTH OF THE SLAB.
- CONCRETE SLABS SHALL BE, UNLESS OTHERWISE NOTED, 4" THICK WITH 6X6-W1-4XW1.4 (6X6-10X10) WELDED WIRE FABRIC ON 6 MIL THICK POLYETHYLENE SHEET ON 4" COMPACTED GRAVEL OR CRUSHED STONE.
- JOINTS SHALL OCCUR A MAXIMUM OF 3 TIMES IN FEET THE DEPTH OF THE CONCRETE SLAB IN INCHES. FOR EXAMPLE, 4" SLAB SHALL HAVE JOINTS 12" ON CENTER MAXIMUM.



**PROPOSED GATE AND FENCE PLAN - "SECTION A" ONLY**  
SCALE: 1/4"=1'-0"

**PROPOSED GATE AND FENCE ELEVATION - "SECTION A" ONLY**  
SCALE: 1/4"=1'-0"



**PROPOSED SITE PLAN**  
SCALE: 1/32"=1'-0"

THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS

**ARCHITECT**  
**T.M. RYBAK AND ASSOCIATES, P.C.**  
TOMASZ RYBAK, AIA  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-0473 - FAX.(201) 460-0931

**CONTRACTOR**  
**BOILING SPRINGS GROUP, INC.**  
ANDREW MICHALSKI  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-8339 - FAX.(201) 460-0931

**SITE SURVEYOR**  
**JAY A. GREENWELL, PLS, LLC**  
JAY A. GREENWELL, P.L.S  
85 LAFAYETTE AVE. SUFFERN, NY 10901  
TEL.(845) 357-0830 - FAX.(845) 357-0756



T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

**REVISIONS:**

REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	02.21.2020
1	BUILDING INSPECTOR COMMENTS	02.27.2020
2	BUILDING INSPECTOR COMMENTS	03.23.2020
3	BUILDING INSPECTOR COMMENTS	05.26.2020

**NEW PERIMETER FENCE  
RIVERCLIFF  
645 & 647 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 5.2 & 6**

DWG. TITLE:  
**PERIMETER FENCE ELEVATION,  
PLAN, AND DETAILS  
SHEET 1 OF 2**

ARCHITECTURAL LICENSE NUMBERS:  
**NY 019357-1**  
CT 07984 MO 007521  
DE 000520 NH 3078  
DC ARCH 101043 NJ 21A00902900  
IL 001-015551 NY 019357-1  
KS 4533 OH 1610019  
MD 7823 PA RA 010849-B  
MA 8887 WI 11838-5  
MI 1301040380



TOMASZ M. RYBAK, AIA - ARCHITECT

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DATE: 02.08.20  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO: 17-007  
CHK. BY: TMR

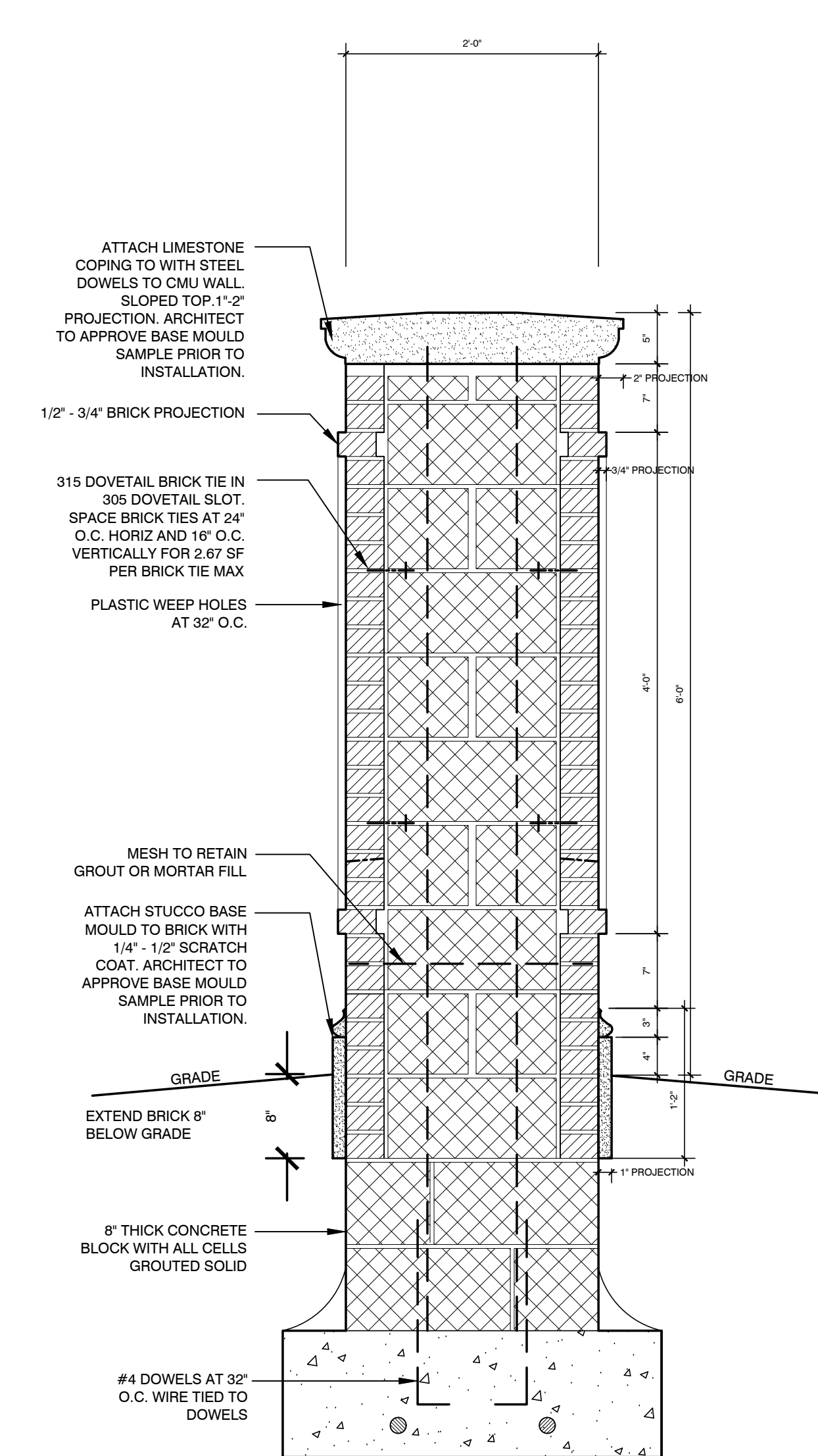
DWG. NO.  
**S-100.00**  
1 OF 2



T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

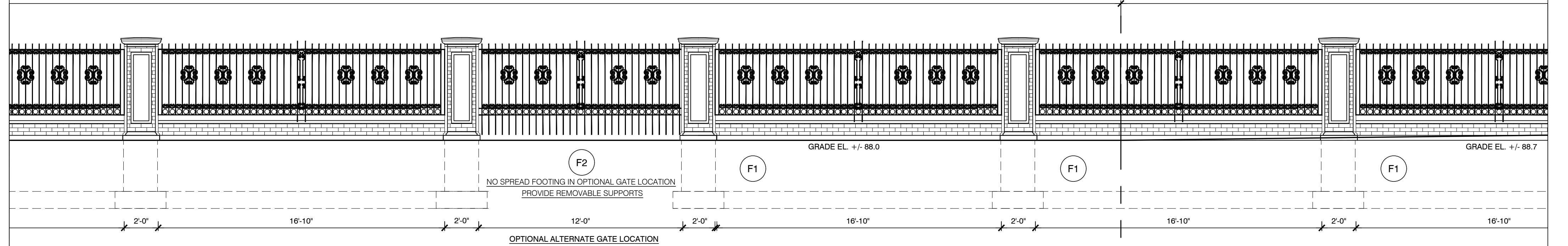
REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	02.21.2020
1	BUILDING INSPECTOR COMMENTS	02.27.2020
2	BUILDING INSPECTOR COMMENTS	03.23.2020
3	BUILDING INSPECTOR COMMENTS	05.26.2020



TYPICAL POST FOUNDATION WITH BRICK SHELF  
 SCALE: NTS

SECTION A  
 (REFER TO PROPOSED SITE PLAN)

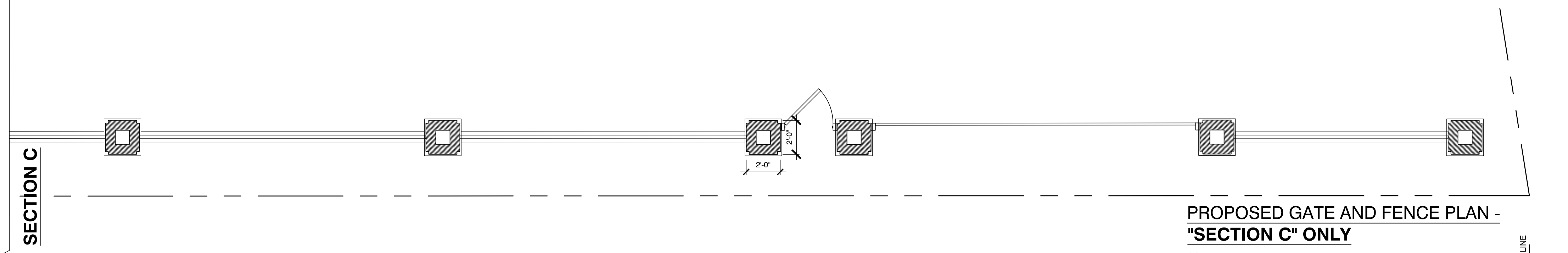
SECTION B



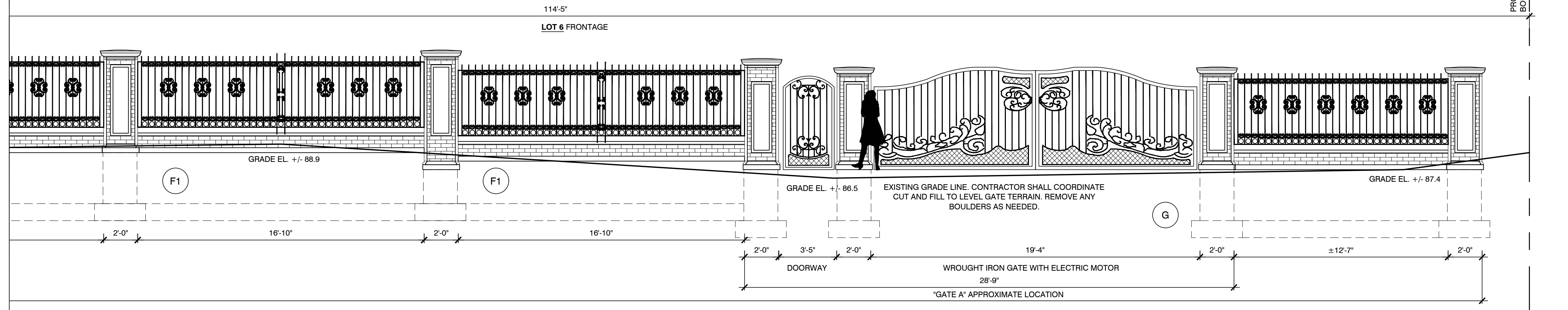
PROPOSED GATE AND FENCE PLAN - "SECTION B" ONLY  
 SCALE: 1/4"=1'-0"

SECTION B  
 (REFER TO PROPOSED SITE PLAN)

SECTION C



PROPOSED GATE AND FENCE PLAN - "SECTION C" ONLY  
 SCALE: 1/4"=1'-0"



PROPOSED GATE AND FENCE ELEVATION - "SECTION C" ONLY  
 SCALE: 1/4"=1'-0"

NEW PERIMETER FENCE  
 RIVERCLIFF  
 645 & 647 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 5.2 & 6

DWG. TITLE:  
 PERIMETER FENCE ELEVATION,  
 PLAN, AND DETAILS  
 SHEET 2 OF 2

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 0010155571 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA 010849-B  
 MA 8887 WI 11936-5  
 MI 1301040380

NJ PROFESSIONAL PLANNER: 33L00035400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00028700



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 DWN. BY: GH CHK. BY: TMR

DWG. NO. S-101.00  
 2 OF 2

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**RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6**

DWG. TITLE: **SITE PLAN -  
 3 LOTS WITH PROPOSED GARDEN**

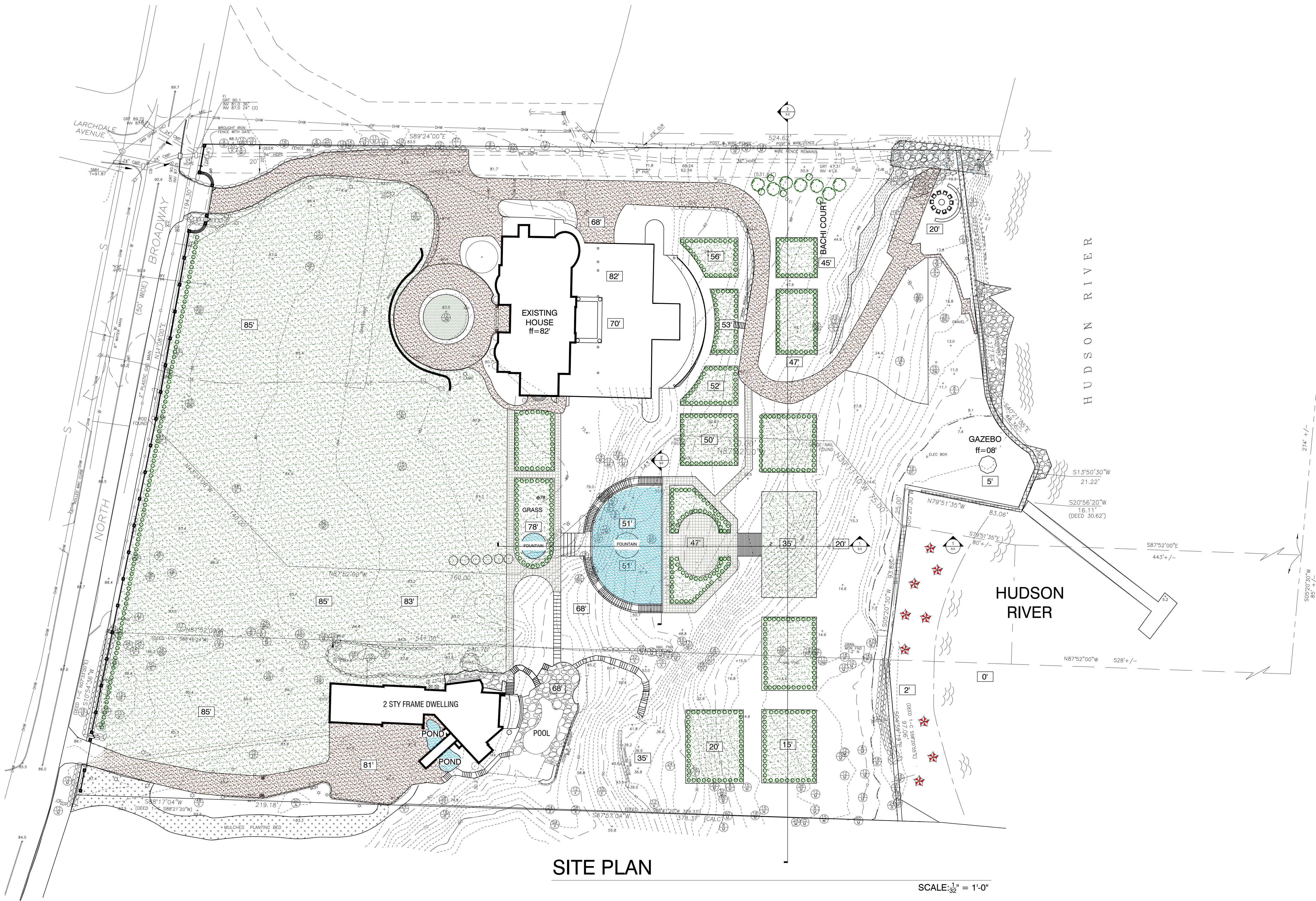
ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MN 26586  
 DE 0005320 MO 007521  
 DC ARCH 01043 NH 30078  
 IL 001-015551 NJ 21A00629000  
 KS 4533 NY 019357-1  
 MD 7823 OH 1616619  
 MA 8687 PA RA 01049-B  
 MI 1301040380 WI 11836-5  
 NJ PROFESSIONAL PLANNER: 33L00035400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D00026700

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 THE FULL EXTENT OF THE LAW.

DATE: 09.12.2019 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: TMR  
 LH

DWG. NO. **A-001**

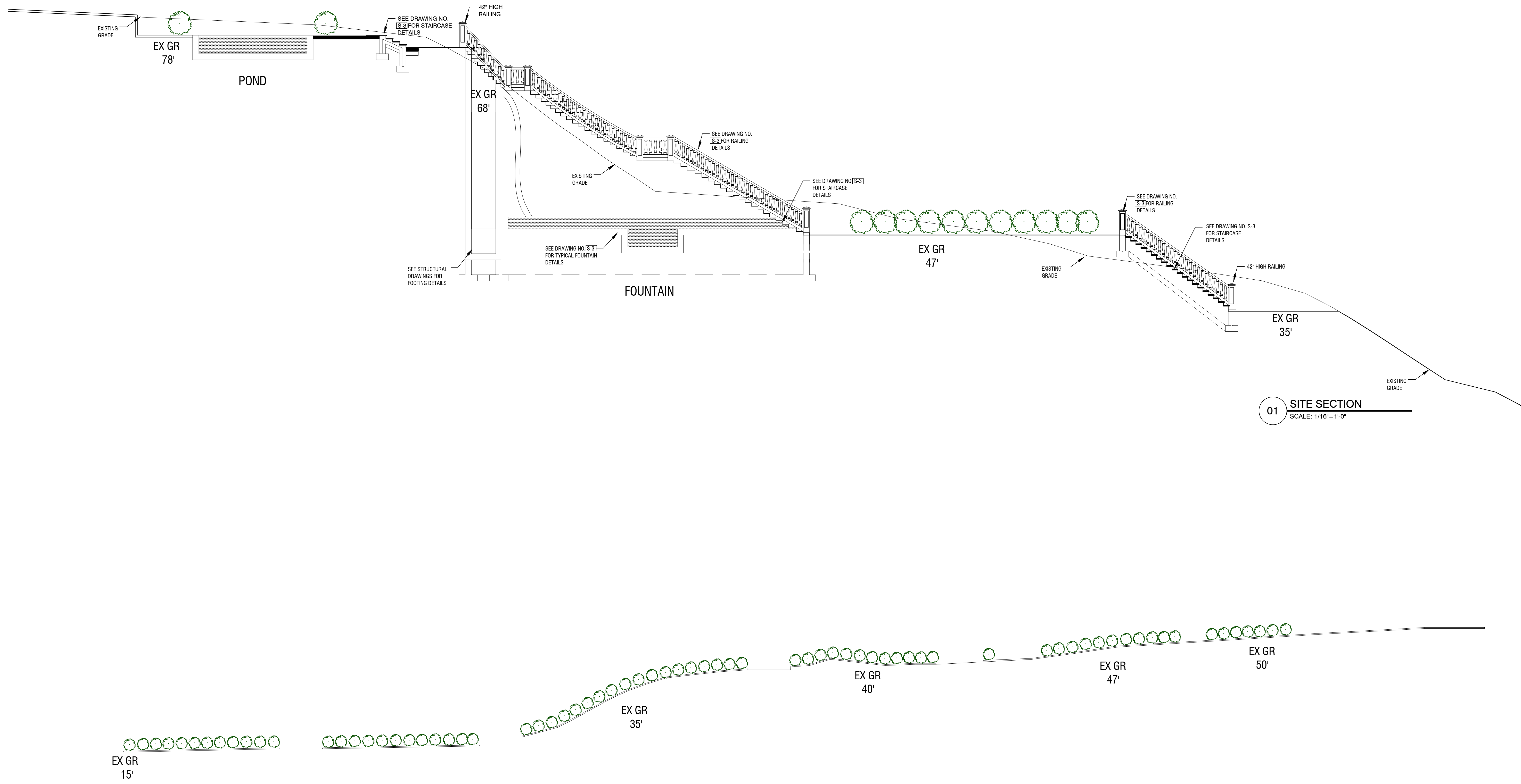


## SITE PLAN

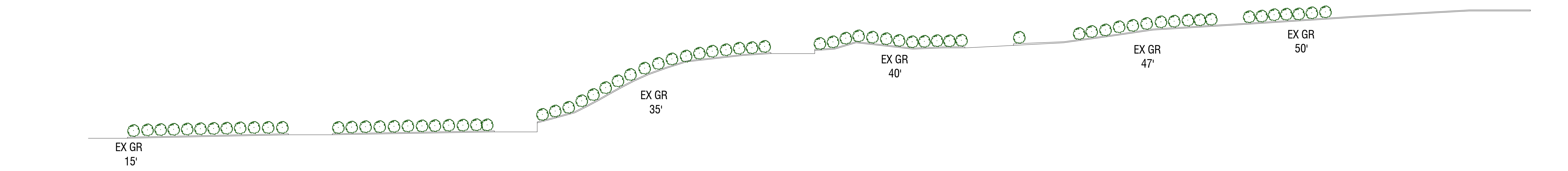
SCALE: 1/32" = 1'-0"

SITE PLAN INFORMATION OBTAINED FROM SURVEY  
 BY  
 JAY A. GREENWELL, PLS, LLC  
 85 LAFAYETTE, SUFFERN, NEW YORK, 10901  
 845-357-0830, DATED 07-16-13 LIC. NUMBER 49876

SURVEYOR SHALL ESTABLISH CONTROL POINTS  
 TO INSURE ALL CONSTRUCTION TAKES PLACE  
 WITHIN ALLOWABLE BOUNDRIES AND  
 SETBACKS



01 SITE SECTION  
 SCALE: 1/16"=1'-0"



02 SITE SECTION  
 SCALE: 1/16"=1'-0"

RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 SITE SECTIONS-  
 3 LOTS WITH PROPOSED GARDEN

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MN 26586  
 DE 0005300 MO 007521  
 DC ARCH 01043 NH 3078  
 IL 001-015551 NJ 21A00062900  
 KS 4533 NY 019357-1  
 MD 7823 OH 1616619  
 MA 8687 PA RA-010849-B  
 MI 1301040380 WI 11836-5  
 NJ PROFESSIONAL PLANNER: 33L00035400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D00026700

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DATE: 09.12.2019 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: LH CHK. BY: TMR

DWG. NO.  
**A-002**

**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**SITE SECTION-  
 3 LOTS WITH PROPOSED GARDEN**

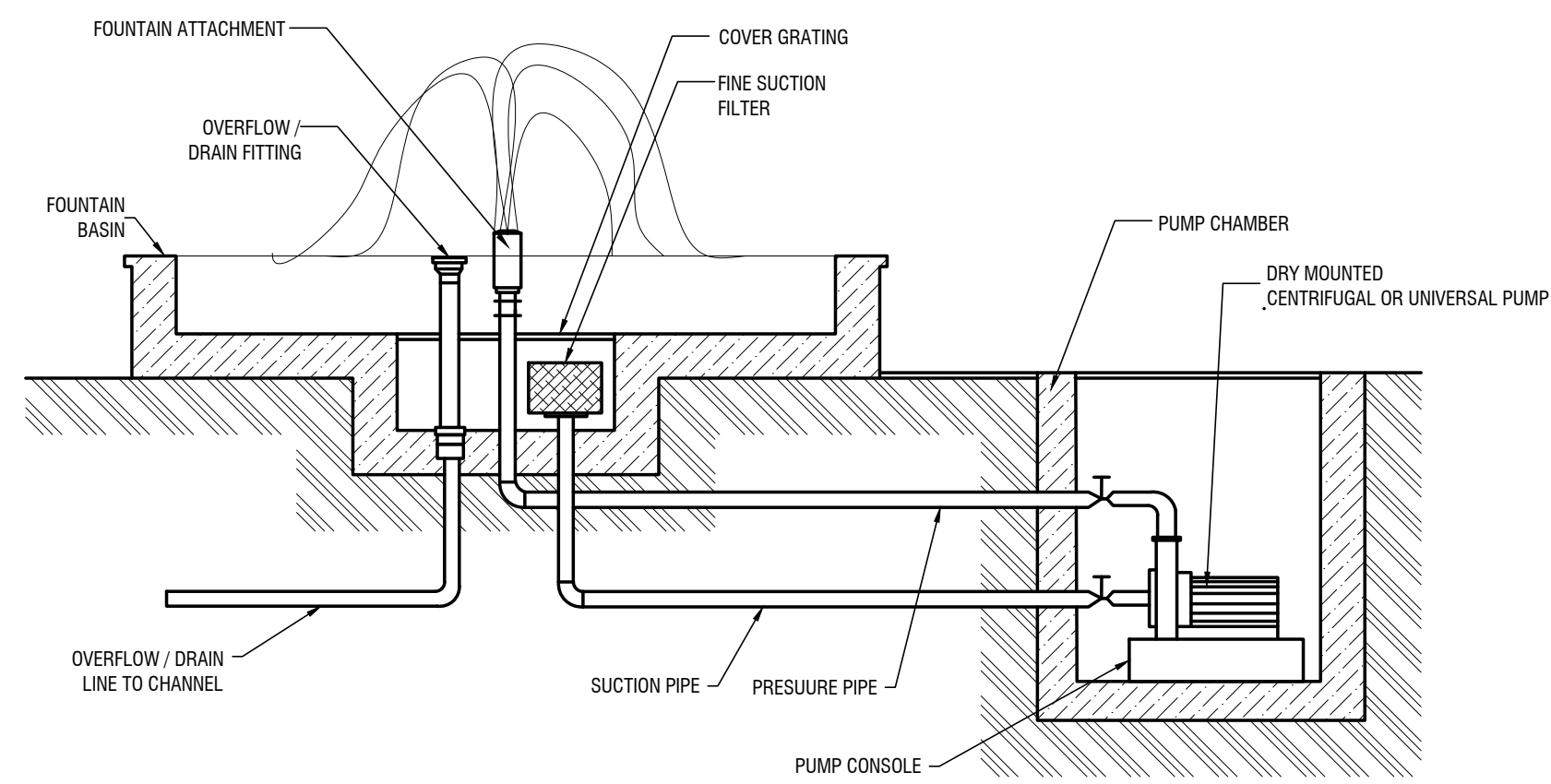
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 KS 4533 NY 019357-1  
 MD 7823 OH 1616619  
 MA 8687 PA RA-010849-B  
 MI 1301040380 WI 11836-5  
 NJ PROFESSIONAL PLANNER: 33L00035400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D00026700

TOMASZ M. RYBAK, AIA - ARCHITECT

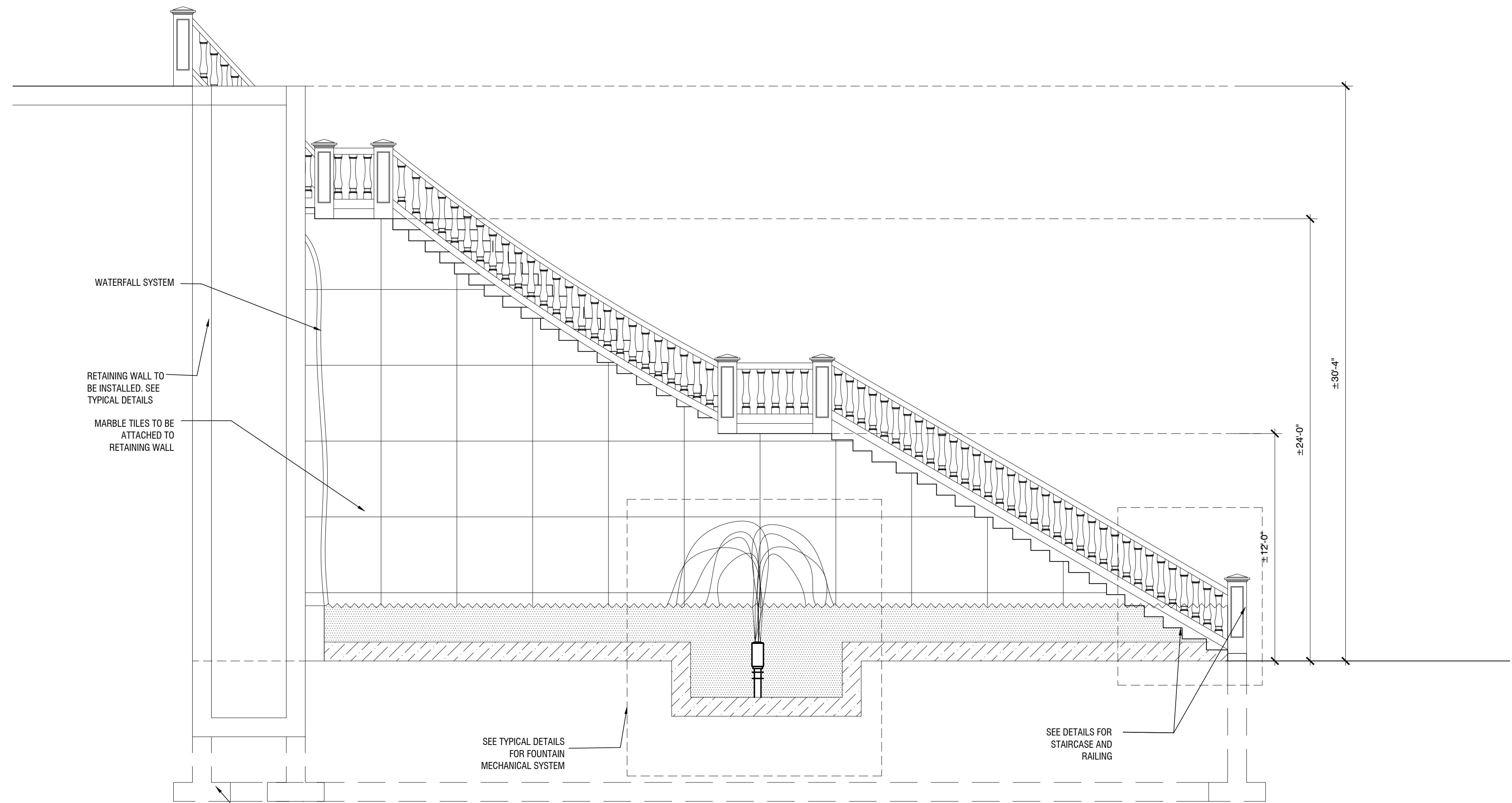
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DATE: 09.12.2019 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: LH CHK. BY: TMR

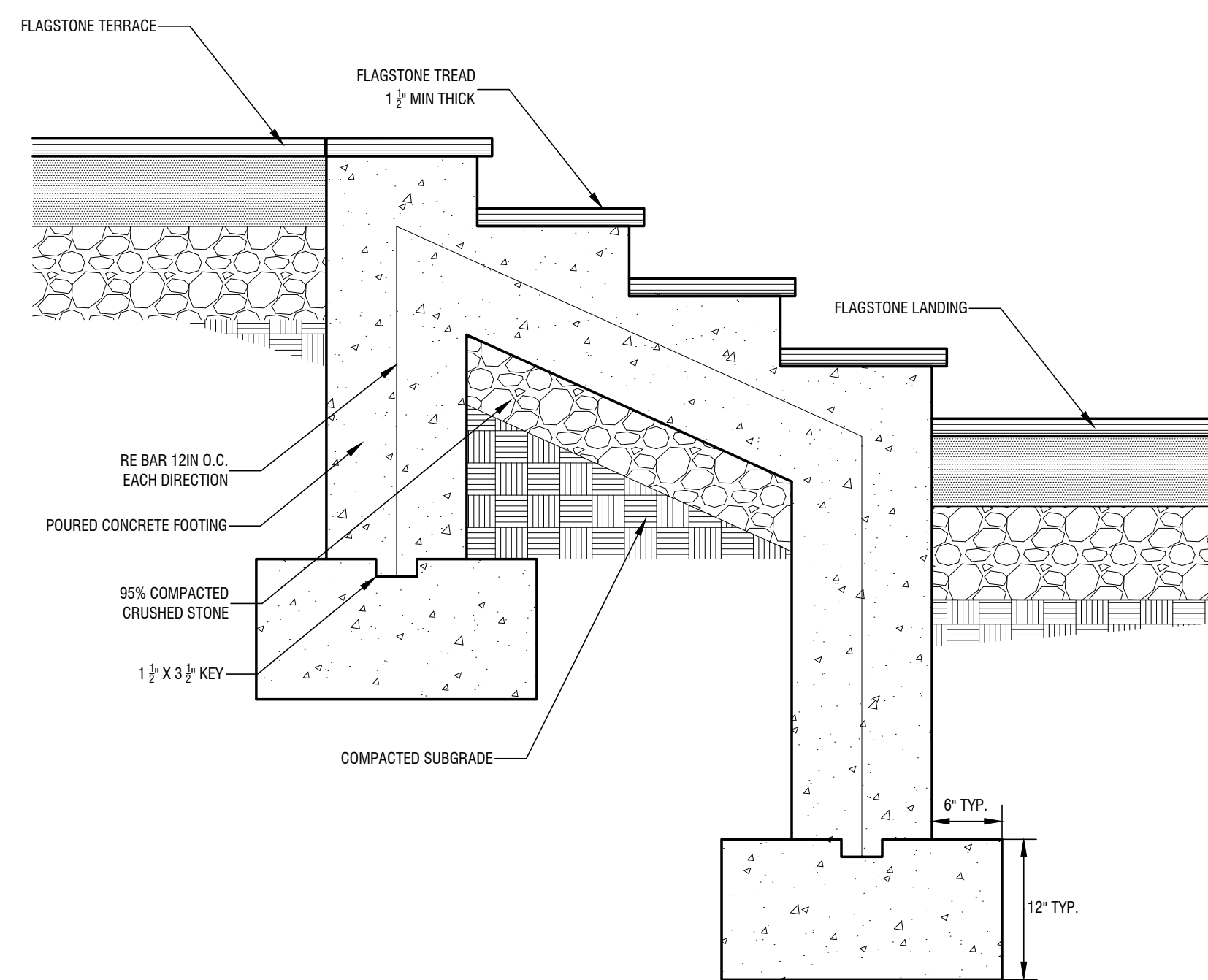
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**A-003**



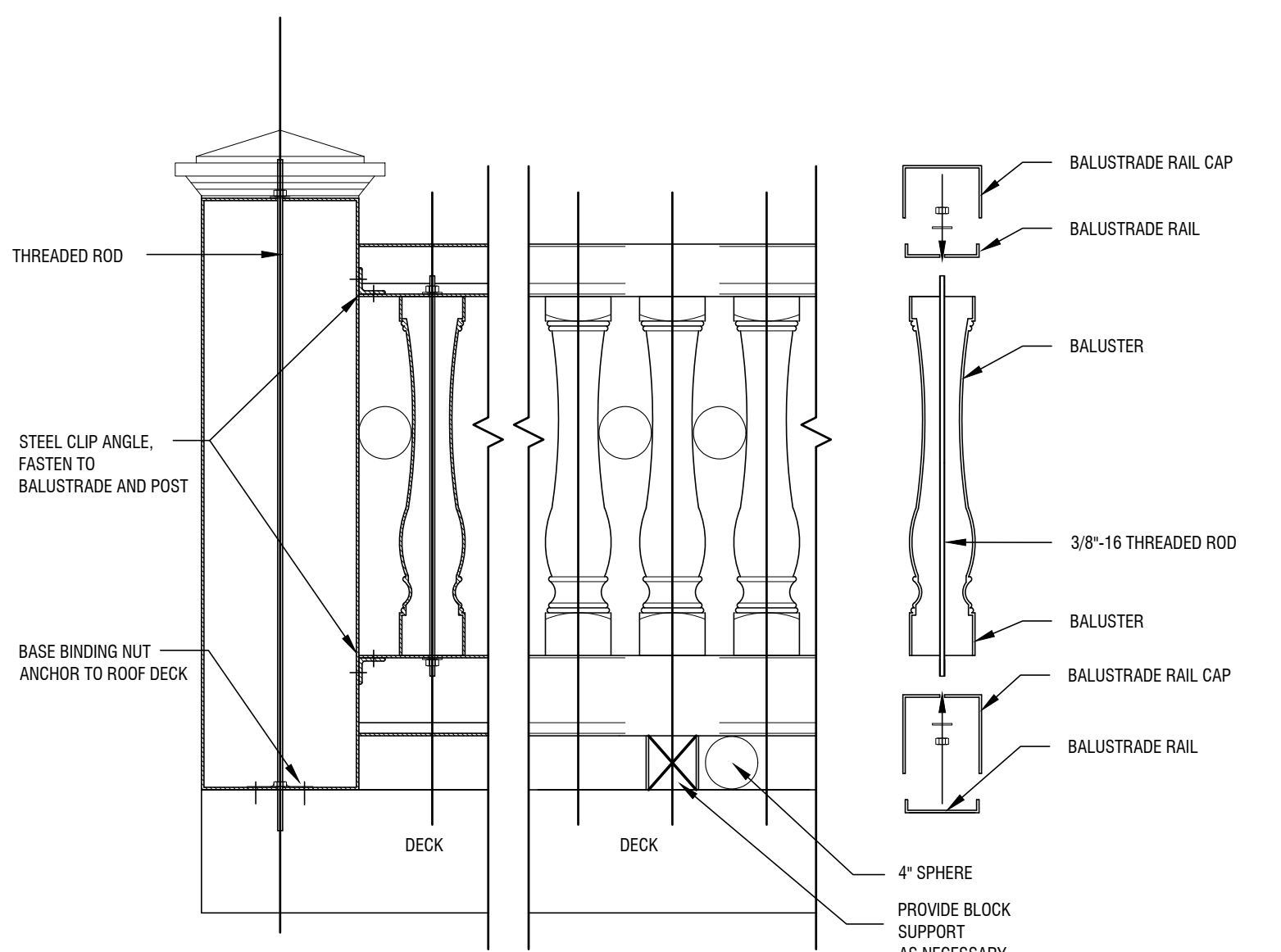
**A TYP. FOUNTAIN DETAIL**  
 SCALE: 1/4"=1'-0"



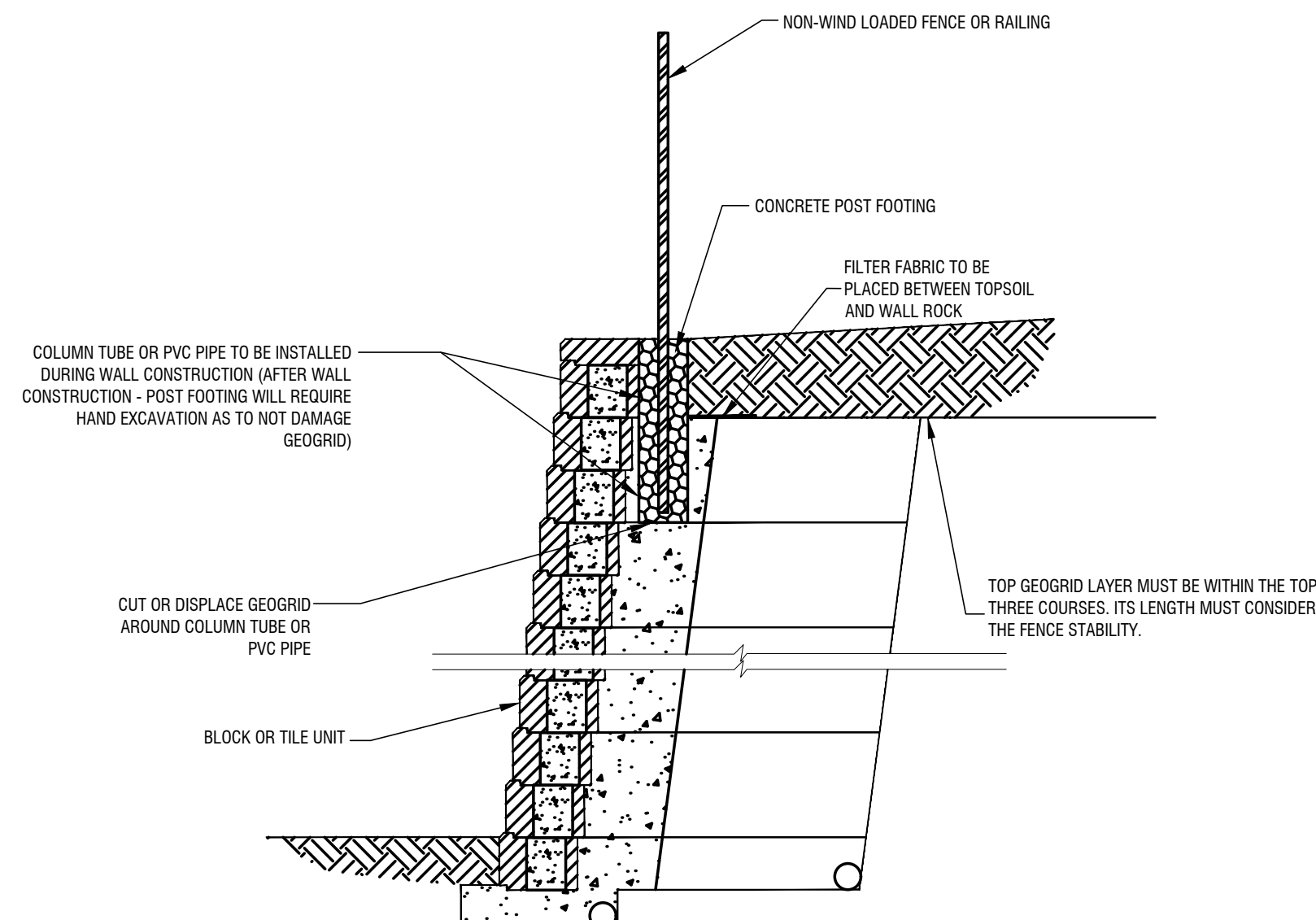
**01 FOUNTAIN SIDE SECTION**  
 SCALE: 1/4"=1'-0"



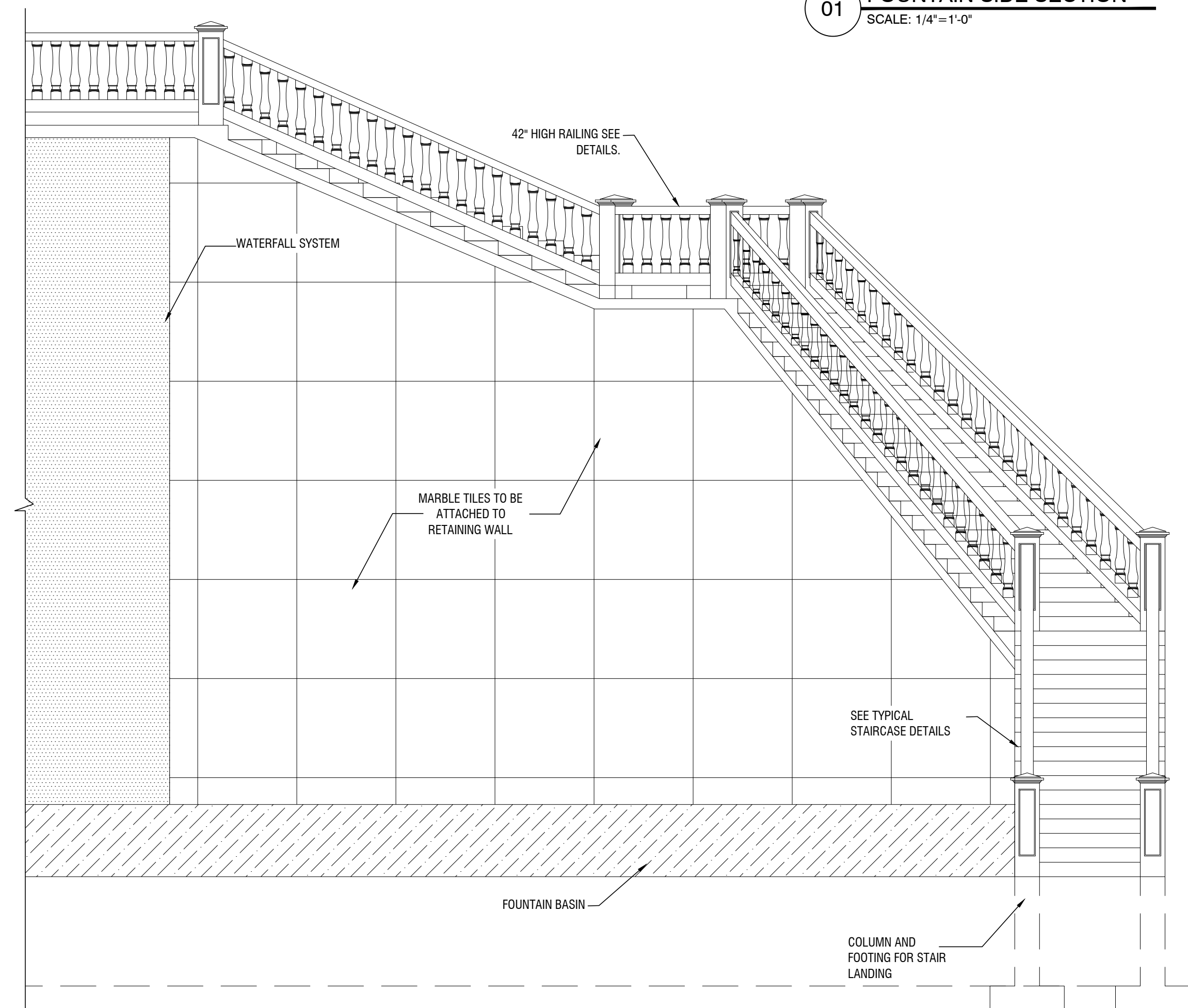
**B TYP. STAIRCASE DETAIL**  
 SCALE: 1"=1'-0"



**C TYP. RAILING DETAIL**  
 SCALE: 1"=1'-0"



**D TYP. RETAINING WALL DETAIL**  
 SCALE: 1"=1'-0"



**02 FOUNTAIN FRONT SECTION**  
 SCALE: 1/4"=1'-0"







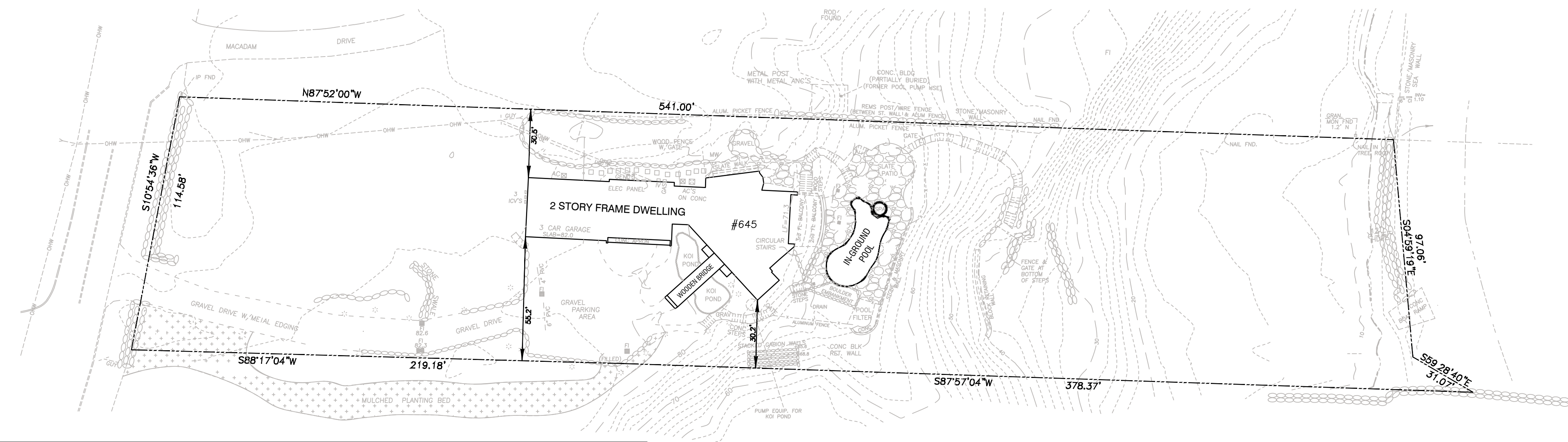






# RENOVATION & ALTERATION GUEST HOUSE

645 N. BROADWAY | UPPER NYACK, NY  
ROCKLAND COUNTY  
SECTION 60.06 BLOCK 1, LOT 6



SITE PLAN INFORMATION OBTAINED FROM SURVEY BY  
JAY A. GREENWELL, PLS, LLC  
85 LAFAYETTE, SUFFERN, NEW YORK, 10901  
845-357-0830, DATED 07-16-13 LIC. NUMBER 49876

**KEY PLAN**  
SCALE: 1/32"=1'-0"

CONTRACTOR MUST TAKE ALL STEPS NECESSARY TO HAVE THE  
FIRE ALARM SYSTEM AND SECURITY ALARM SYSTEM REMAIN IN  
OPERATION DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT  
DAMAGE TO BUILDING DURING DEMOLITION. PROVIDE SHORING  
AND SUPPORT TO BUILDING STRUCTURE PRIOR TO ANY  
DEMOLITION OF LOAD BEARING WALLS

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**ARCHITECT**  
T.M. RYBAK AND ASSOCIATES, P.C.  
TOMASZ RYBAK, AIA  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-0473 - FAX.(201) 460-0931



T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

ARCHITECTURAL LIST OF DRAWINGS		
PAGE #	DESCRIPTION	REVISIONS
T-101.00	TITLE SHEET, BUILDING INFO & KEY PLAN	
G-101.00	GENERAL NOTES	
DM-100.00	DEMOLITION PLAN AND NOTES - BASEMENT	
DM-101.00	DEMOLITION PLAN AND NOTES - FIRST FLOOR	
DM-102.00	DEMOLITION PLAN AND NOTES - SECOND FLOOR	
A-100.00	CONSTRUCTION PLAN AND NOTES - BASEMENT	
A-101.00	CONSTRUCTION PLAN AND NOTES - FIRST FLOOR	
A-102.00	CONSTRUCTION PLAN AND NOTES - SECOND FLOOR	
A-103.00	CONSTRUCTION PLAN AND NOTES - ROOF PLAN	
A-200.00	REFLECTED CEILING PLAN AND NOTES - BASEMENT	
A-201.00	REFLECTED CEILING PLAN AND NOTES - FIRST FLOOR	
A-202.00	REFLECTED CEILING PLAN AND NOTES - SECOND FLOOR	
A-301.00	PROPOSED ELEVATIONS - SHEET 1 OF 2	
A-302.00	PROPOSED ELEVATIONS - SHEET 2 OF 2	
A-400.00	PROPOSED BUILDING SECTIONS	
A-401.00	WINDOW AND DOOR SCHEDULES	
A-402.00	PLUMBING RISER DIAGRAMS AND WALL SECTIONS	
A-501.00	PROPOSED MILLWORK - SHEET 1 OF 3	
A-502.00	PROPOSED MILLWORK - SHEET 2 OF 3	
A-503.00	PROPOSED MILLWORK - SHEET 3 OF 3	
A-600.00	FINISH PLAN AND NOTES - BASEMENT	
A-601.00	FINISH PLAN AND NOTES - FIRST FLOOR	
A-602.00	FINISH PLAN AND NOTES - SECOND FLOOR	

**REVISIONS:**  
REV # DESCRIPTION DATE  
SUBMITTED FOR FILING 01.06.2020

**CONTRACTOR**  
BOILING SPRINGS GROUP, INC.  
ANDREW MICHALSKI  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-8339 - FAX.(201) 460-0931

**SITE SURVEYOR**  
JAY A. GREENWELL, PLS, LLC  
JAY A. GREENWELL, P.L.S  
85 LAFAYETTE AVE. SUFFERN, NY 10901  
TEL.(845) 357-0830 - FAX.(845) 357-0756

**ENERGY CONSULTANT**  
ENERGY EFFICIENCY CONSULTANTS, LLC.  
MIKE HICKS  
10 CARLANN LANE VALLEY COTTAGE, NY 10989  
TEL.(845) 271-9385 - FAX.(845) 267-8280

BUILDING DATA			
STREET ADDRESS:	645 NORTH BROADWAY UPPER NYACK, NY 10960		
SECTION:	60.06		
BLOCK:	1		
LOT:	6		
CROSS STREET:	LARCHDALE AVENUE		
MAP:	6840		
ZONE:	R-1 - RESIDENCE (40,000 SF)		
JOB TYPE:	RENOVATION AND ALTERATION		
USE GROUP:	R-3 - ONE & TWO FAMILY		
CONSTRUCTION TYPE:	SB		
No. OF STORIES:	2 STORIES AND FINISHED BASEMENT		
BUILDING HEIGHT:	+/- 28'-0"		
FIRE SUPPRESSION:	NOT REQUIRED		
FIRE ALARM SYSTEM:	NOT REQUIRED		
BUILDING AREA			
FLOOR	EXISTING	ADDITION	TOTAL
BASEMENT AREA:	1,700 SF		NO CHANGE
1ST FLOOR AREA:	3,700 SF		
2ND FLOOR AREA:	2,600 SF		
SCOPE OF WORK			
CONTRACT AREA:	8,000 SF		
HEIGHT OF CONTRACT AREA:	+/- 28'-0"		
CONTRACT AREA VOLUME:	224,000 CF		

**APPLICABLE CODES- NEW YORK STATE**

- THE PROPOSED WORK DOES NOT CREATE NOR DOES IT EXTEND ANY NON-COMPLIANCE TO THE BUILDING CODES OF NEW YORK STATE.
- THE APPLICABLE NEW YORK STATE CODES ARE:
  - 2015 BUILDING CODE
  - 2015 RESIDENTIAL CODE
  - 2015 EXISTING BUILDING CODE
  - 2015 FIRE CODE
  - 2015 PLUMBING CODE
  - 2015 MECHANICAL CODE
  - 2015 FUEL GAS CODE
  - 2015 ENERGY CONSERVATION CONSTRUCTION CODE

RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
TITLE SHEET, BUILDING INFO  
& KEY PLAN

ARCHITECTURAL LICENSE NUMBERS:  
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CT 07984 MO 007521  
DE 000520 NH 3076  
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MA 8887 WI 11838-5  
MI 1301040380



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CHK. BY: TMR

DWG. NO.  
**T-101.00**  
1 OF 23



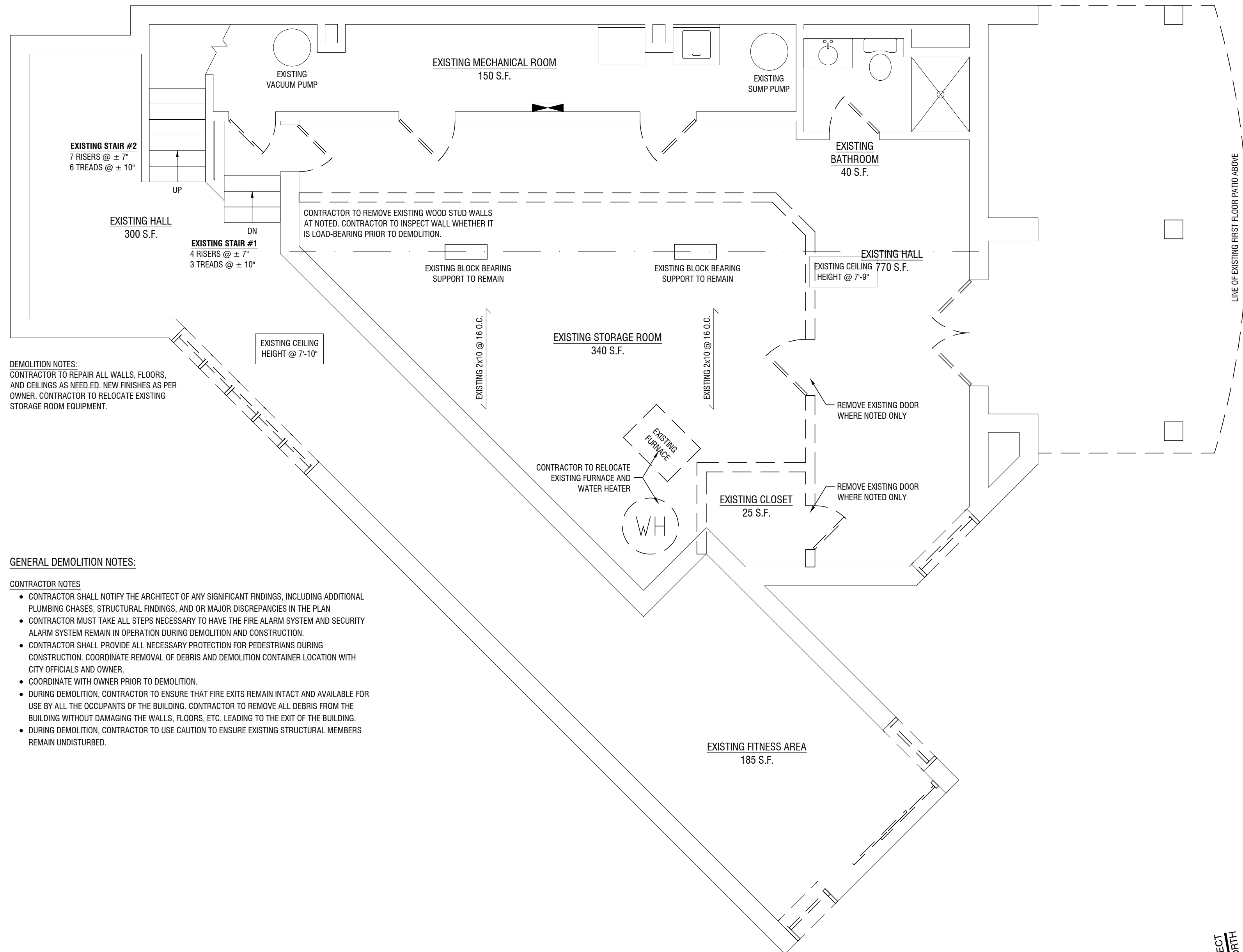


T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:  
REV # DESCRIPTION DATE:  
SUBMITTED FOR FILING 01.06.2020

**DIVISION 02 - EXISTING CONDITIONS**  
**02.4119 SELECTIVE DEMOLITION**

- THIS SECTION REQUIRES THE SELECTIVE REMOVAL & THE SUBSEQUENT LEGAL OFFSITE DISPOSAL OF PORTIONS OF THE EXISTING BUILDING INDICATED ON DRAWINGS & AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- RELOCATE PIPES, DUCTS CONDUITS & OTHER MECHANICAL & ELECTRICAL ITEMS AS REQUIRED & AS INDICATED ON ARCHITECTURAL & ENGINEERING DRAWINGS TO COMPLETE THE WORK OF THIS CONTRACT.
- SUBMIT SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR SELECTIVE DEMOLITION WORK TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO START OF WORK. INCLUDE COORDINATION FOR SHUT OFF, CAPPING & CONTINUATION OF UTILITY SERVICES AS REQUIRED TOGETHER WITH DETAILS FOR DUST & NOISE CONTROL PROTECTION.
- PROVIDE DETAILED SEQUENCE OF DEMOLITION & REMOVAL WORK TO ENSURE UNINTERRUPTED PROGRESS OF OWNER'S ON-SITE OPERATIONS.
- CONDUCT SELECTIVE DEMOLITION WORK IN A MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS. PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER OF DEMOLITION ACTIVITIES.
- CONDITION OF STRUCTURE: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- CONDITIONS EXISTING AT TIME OF INSPECTIONS FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER INsofar AS PRACTICABLE. HOWEVER, MINOR VARIATIONS WITHIN STRUCTURE MAY OCCUR BY OWNER'S REMOVAL & SALVAGE OPERATIONS PRIOR TO START OF SELECTIVE DEMOLITION.
- PROTECTIONS: PROVIDE TEMPORARY BARRICADES & OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL & GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.
- FLAME CUTTING: THE USE OF CUTTING TORCHES OR OPEN FLAME TO REMOVE MATERIALS FROM THE BUILDING IS NOT PERMITTED.
- MAINTAIN FIRE PROTECTION SERVICES DURING SELECTIVE DEMOLITION OPERATIONS.
- CEASE OPERATIONS & NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
- COVER & PROTECT FURNITURE, EQUIPMENT & FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
- WHERE SELECTIVE DEMOLITION OCCURS IMMEDIATELY ADJACENT TO OCCUPIED PORTIONS OF THE BUILDING, CONSTRUCT DUST PROOF PARTITIONS OF MINIMUM 4 INCH STUDS, 5/8 INCH DRYWALL (JOINTS TAPED) ON THE OCCUPIED SIDE, 1/2 INCH FIRE RETARDANT PLYWOOD ON DEMOLITION SIDE. FILL PARTITION CAVITY WITH SOUND ATTENUATION BLANKET INSULATION.
- PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO OCCUPIED AREAS OF BUILDING.
- PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS NECESSARY DURING CHANGEOVER.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE & MEASURE BOTH NATURE & EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM OWNER'S REPRESENTATIVE, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT UNDUKE DELAY.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT & DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS & LEAVE INTERIOR AREAS BROOM CLEAN.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN ELEMENTS OF CONSTRUCTION & SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.



**DEMOLITION NOTES:**  
CONTRACTOR TO REPAIR ALL WALLS, FLOORS, AND CEILINGS AS NEEDED. NEW FINISHES AS PER OWNER. CONTRACTOR TO RELOCATE EXISTING STORAGE ROOM EQUIPMENT.

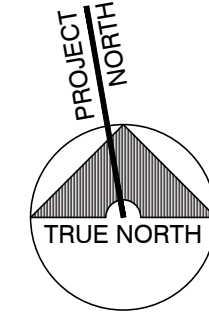
**GENERAL DEMOLITION NOTES:**

- CONTRACTOR NOTES**
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY SIGNIFICANT FINDINGS, INCLUDING ADDITIONAL PLUMBING CHASES, STRUCTURAL FINDINGS, AND OR MAJOR DISCREPANCIES IN THE PLAN.
  - CONTRACTOR MUST TAKE ALL STEPS NECESSARY TO HAVE THE FIRE ALARM SYSTEM AND SECURITY ALARM SYSTEM REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR PEDESTRIANS DURING CONSTRUCTION. COORDINATE REMOVAL OF DEBRIS AND DEMOLITION CONTAINER LOCATION WITH CITY OFFICIALS AND OWNER.
  - COORDINATE WITH OWNER PRIOR TO DEMOLITION.
  - DURING DEMOLITION, CONTRACTOR TO ENSURE THAT FIRE EXITS REMAIN INTACT AND AVAILABLE FOR USE BY ALL THE OCCUPANTS OF THE BUILDING. CONTRACTOR TO REMOVE ALL DEBRIS FROM THE BUILDING WITHOUT DAMAGING THE WALLS, FLOORS, ETC. LEADING TO THE EXIT OF THE BUILDING.
  - DURING DEMOLITION, CONTRACTOR TO USE CAUTION TO ENSURE EXISTING STRUCTURAL MEMBERS REMAIN UNDISTURBED.

**DEMOLITION LEGEND**

- EXISTING PARTITION TO REMAIN. PATCH & REFINISH ALL SURFACES DISTURBED OR DAMAGED AS A RESULT OF THIS CONTRACT.
- WALL, FINISH MATERIAL OR ITEM TO BE REMOVED.

**0 DEMOLITION PLAN - BASEMENT**  
SCALE: 1/4"=1'-0"



**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

**DEMOLITION PLAN AND NOTES - BASEMENT**

**ARCHITECTURAL LICENSE NUMBERS:**

NY 019357-1  
CT 07984 MD 007521  
DE 0005320 NH 3078  
DC ARC101043 NJ 21A00962900  
IL 001-015551 NY 015557-1  
KS 4533 OH 1616619  
MO 7823 PA RA.010849-B  
MA 8897 WI 11936-5  
MI 1301040380

NJ PROFESSIONAL PLANNER: 33L000355400  
NJ CERTIFIED INTERIOR DESIGNER: 21D000026700



TOMASZ M. RYBAK, AIA - ARCHITECT

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DATE: 09.12.19 JOB NO. 17-007  
SCALE: AS NOTED  
DWN. BY: GH CHK. BY: TMR

DWG. NO. **DM-100.00**

3 OF 23

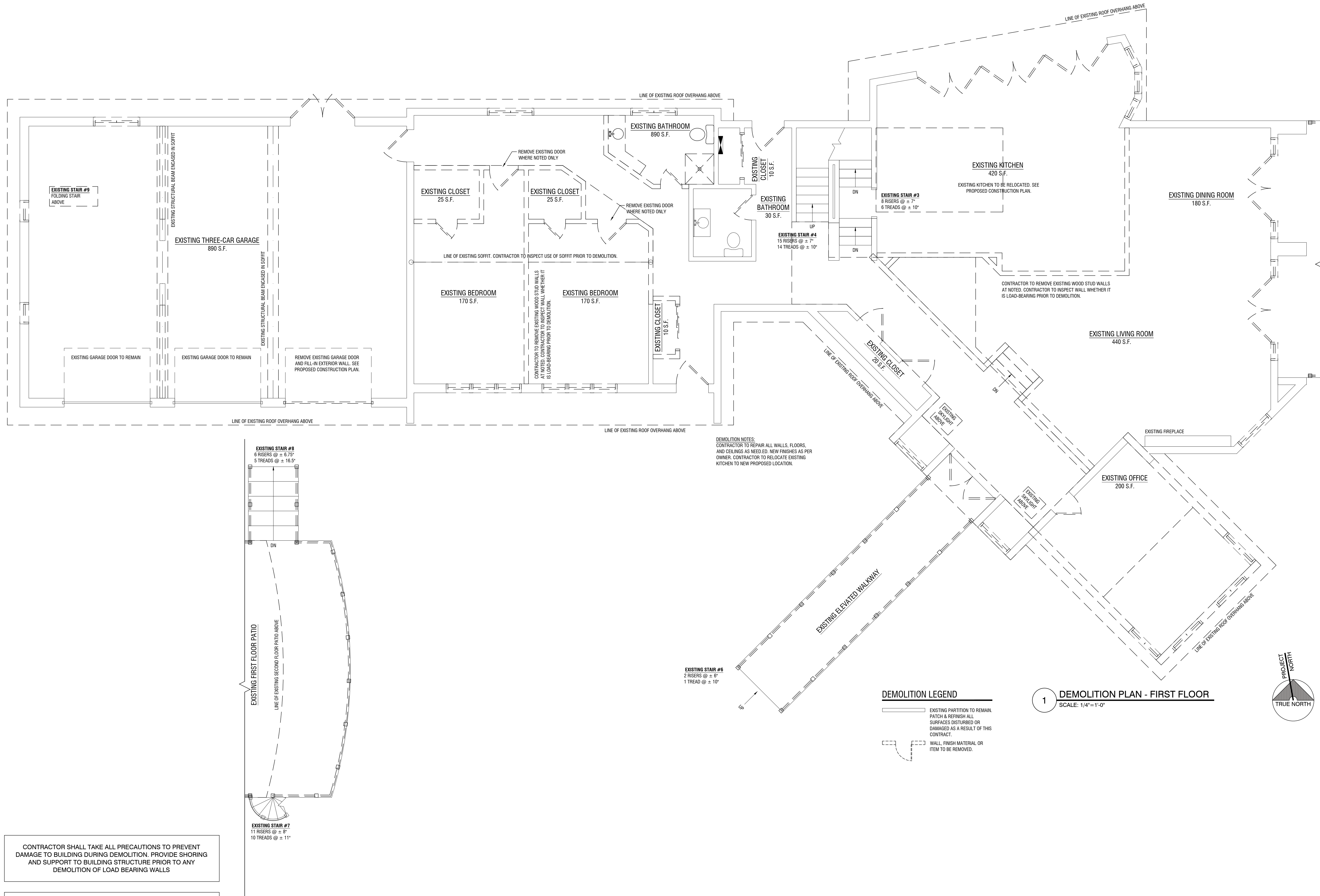
CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT DAMAGE TO BUILDING DURING DEMOLITION. PROVIDE SHORING AND SUPPORT TO BUILDING STRUCTURE PRIOR TO ANY DEMOLITION OF LOAD BEARING WALLS

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T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

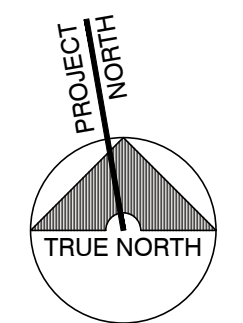
REVISIONS:  
 REV # DESCRIPTION DATE  
 SUBMITTED FOR FILING 01.06.2020



**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 DEMOLITION PLAN AND NOTES -  
 FIRST FLOOR

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015551 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA.010849-B  
 MA 8887 WI 11936-5  
 MI 1301040380  
 NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D000028700



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DATE: 09.12.19 JOB NO. 17-007  
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 DWN. BY: GH CHK. BY: TMR

DWG. NO. DM-101.00  
 4 OF 23

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 AND SUPPORT TO BUILDING STRUCTURE PRIOR TO ANY  
 DEMOLITION OF LOAD BEARING WALLS

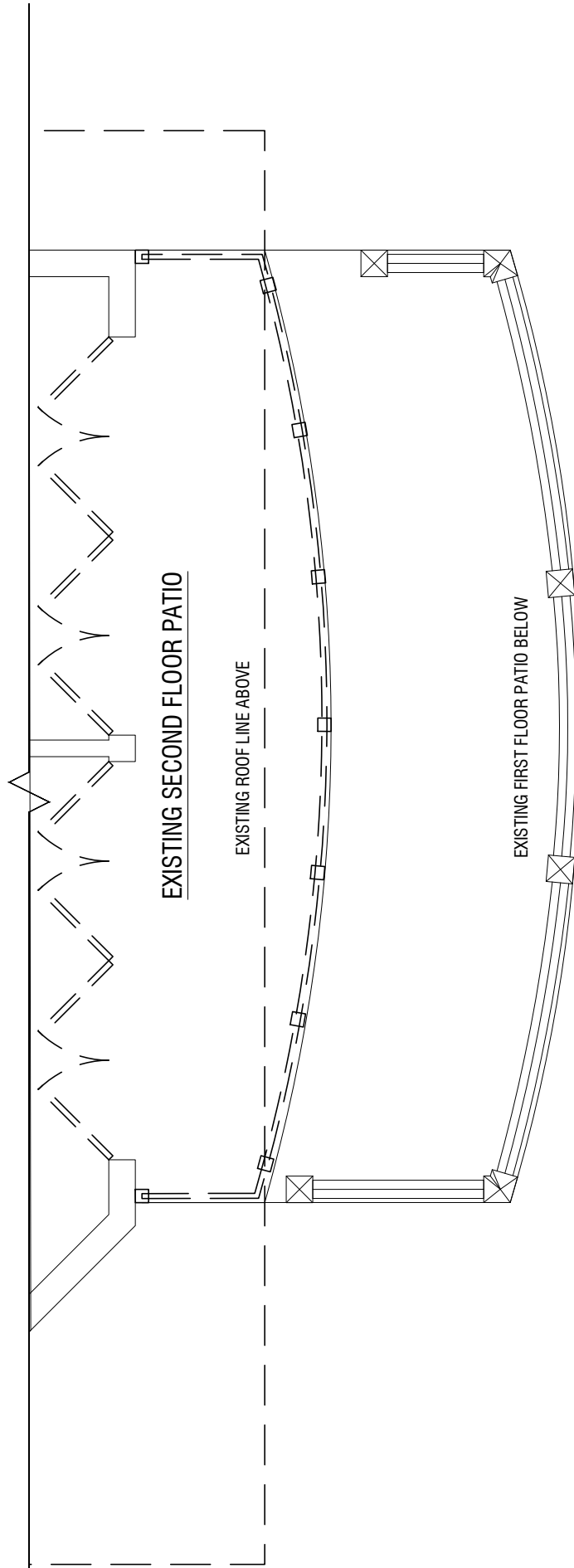
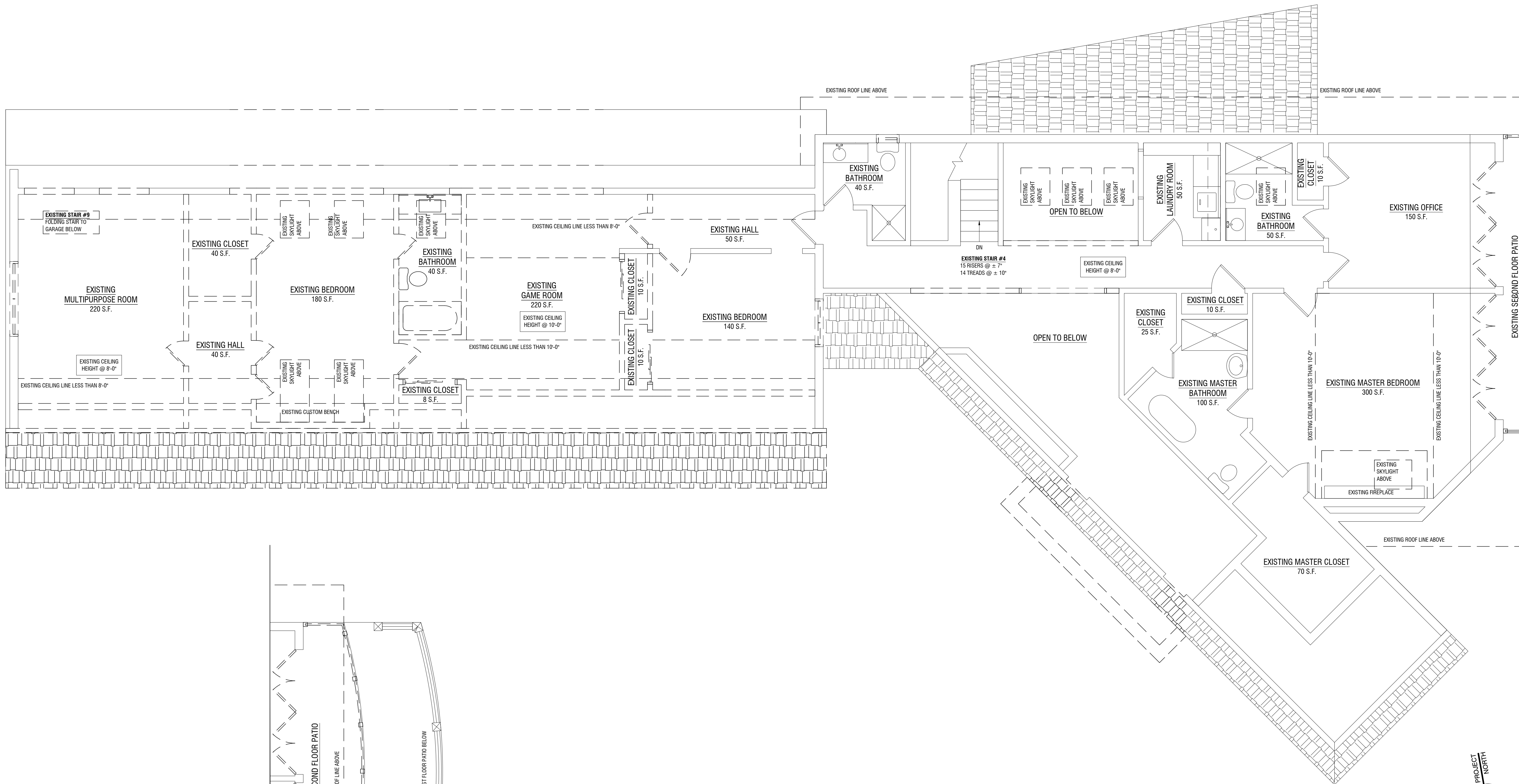
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**1A DEMOLITION PLAN - FIRST FLOOR PATIO**  
 SCALE: 1/4"=1'-0"

**1 DEMOLITION PLAN - FIRST FLOOR**  
 SCALE: 1/4"=1'-0"

**DEMOLITION LEGEND**  
 ——— EXISTING PARTITION TO REMAIN.  
 PATCH & REFINISH ALL  
 SURFACES DISTURBED OR  
 DAMAGED AS A RESULT OF THIS  
 CONTRACT.  
 - - - - - WALL, FINISH MATERIAL OR  
 ITEM TO BE REMOVED.





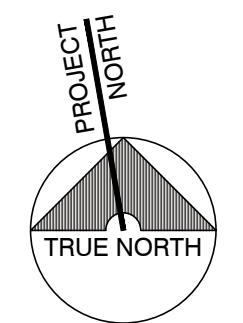
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**DEMOLITION LEGEND**

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- WALL, FINISH MATERIAL OR ITEM TO BE REMOVED.

**2 DEMOLITION PLAN - SECOND FLOOR**  
SCALE: 1/4"=1'-0"



**RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
**DEMOLITION PLAN AND NOTES -  
SECOND FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A00962900
IL 001-0155571	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 8887	WI 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L000355400  
NJ CERTIFIED INTERIOR DESIGNER: 21ID00026700



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DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

DWG. NO.  
**DM-102.00**  
5 OF 23



T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020

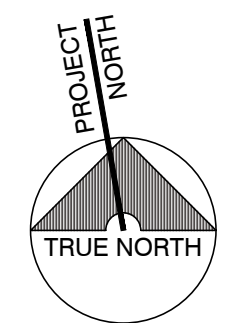
**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
CONSTRUCTION PLAN AND NOTES -  
BASEMENT

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07984	MD 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A00962900
IL 001-0155571	NY 019357-1
KS 4533	OH 1616619
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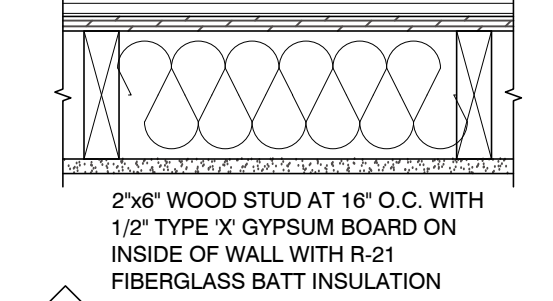
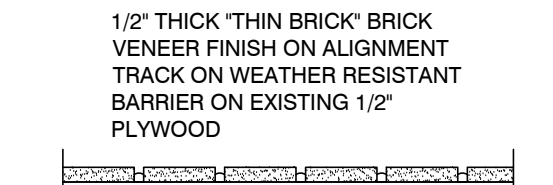
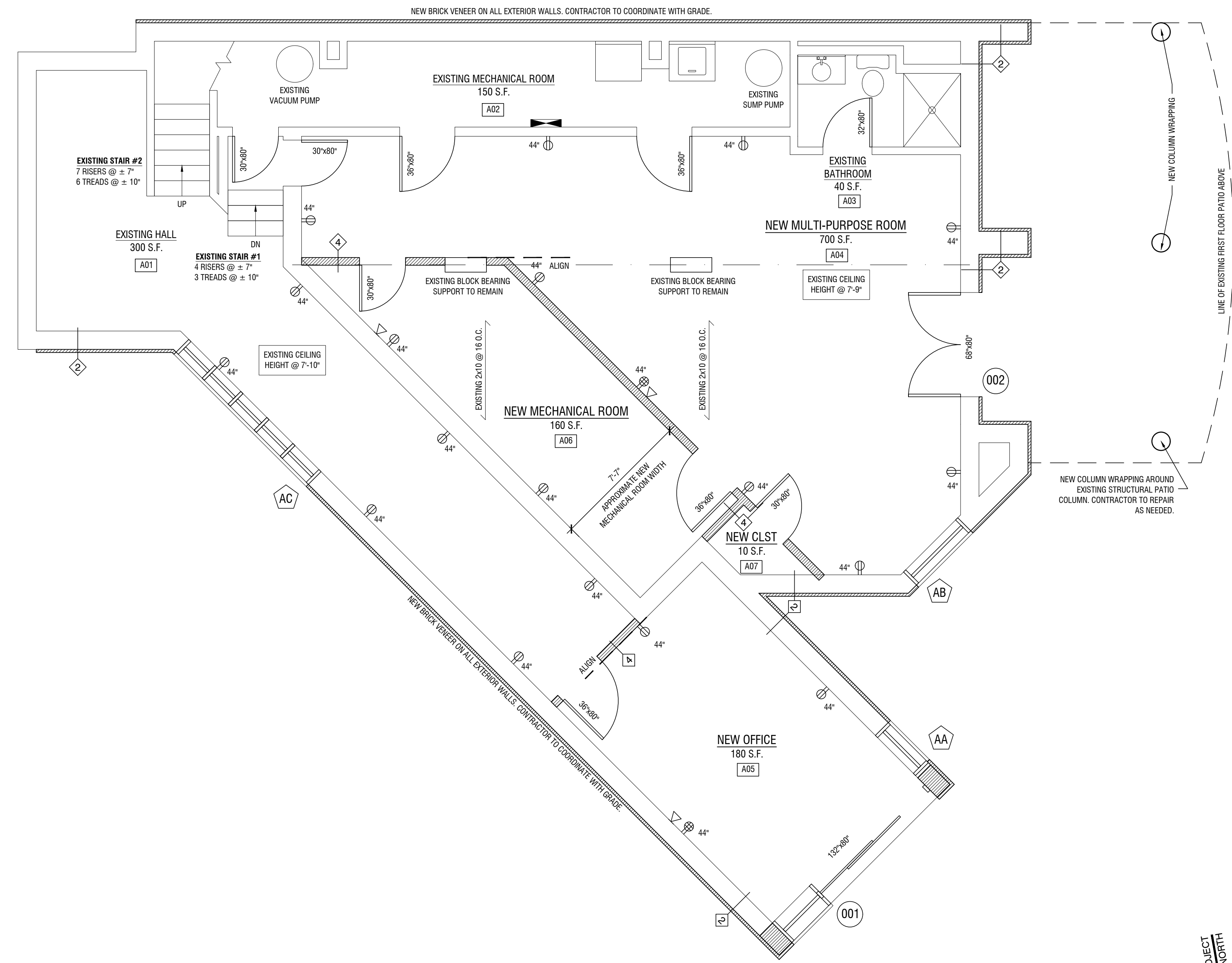


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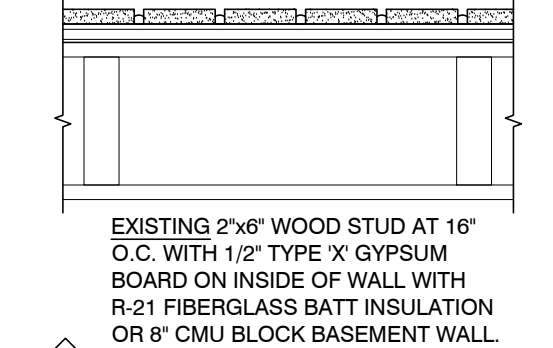
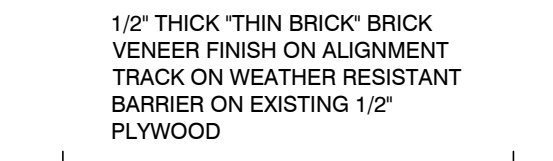
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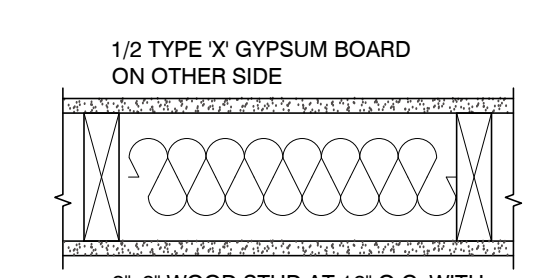
DWG. NO. **A-100.00**  
6 OF 23



**1 EXTERIOR WALL TYPE TYPICAL**



**4 INTERIOR WALL TYPE TYPICAL**



**5 INTERIOR WALL TYPE (FURRING WALL)**

NOTE: FOR BASEMENT ONLY USE 20 GAUGE METAL STUD AT 16" O.C.

**ANNOTATION LEGEND**

- ## SECTION MARK
- A-XXX BLOCK REFERENCE
- ## PAGE NUMBER (IF ON DIFFERENT PAGE)
- ### ELEVATION VIEW MARK
- E. EXISTING ITEM
- # REVISION NUMBER
- BREAK LINE
- BREAK LINE-PIPE
- ±0'-0" SITE ELEVATION LABEL

**ELECTRICAL LEGEND**

- ⊖ DUPLEX ELECTRICAL RECEPTACLE
- ⊖ GFCI DUPLEX ELECTRICAL RECEPTACLE WITH GROUND FAULT PROTECTION
- ⊖ QUAD ELECTRICAL RECEPTACLE
- ⊖ ALL ELECTRICAL RECEPTACLES ON COUNTER TOP SHALL BE GFI AND MOUNTED ABOVE BACKSPASH. COORDINATE HEIGHT WITH OWNER
- ⊖ TELEPHONE, DATA, AND/OR HDMI WALL RECEPTACLE. CONTRACTOR TO COORDINATE RECEPTACLE TYPE AND LOCATION WITH OWNER.
- ⊖ ELECTRICAL PANEL LOCATION

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WOOD DOOR AND FRAME WITH SIZE INDICATED. SEE PLANS FOR DOOR LOCATIONS. CONTRACTOR TO V.I.F.
- NEW EXTERIOR DOOR. SEE DOOR SCHEDULE. CONTRACTOR TO V.I.F.
- NEW WINDOW. SEE WINDOW SCHEDULE FOR WINDOW SIZES. CONTRACTOR TO V.I.F.
- NEW WALL. SEE WALL TYPE.

**0 CONSTRUCTION PLAN - BASEMENT**  
SCALE: 1/4"=1'-0"

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T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REV #	DESCRIPTION	DATE
1	SUBMITTED FOR FILING	01.06.2020

**RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
**CONSTRUCTION PLAN AND NOTES -  
FIRST FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 02784	MO 007521
DE 000530	NH 3078
DC ARCH101043	NJ 21A00962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 8987	VA 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L00355400  
NJ CERTIFIED INTERIOR DESIGNER: 21D00026700



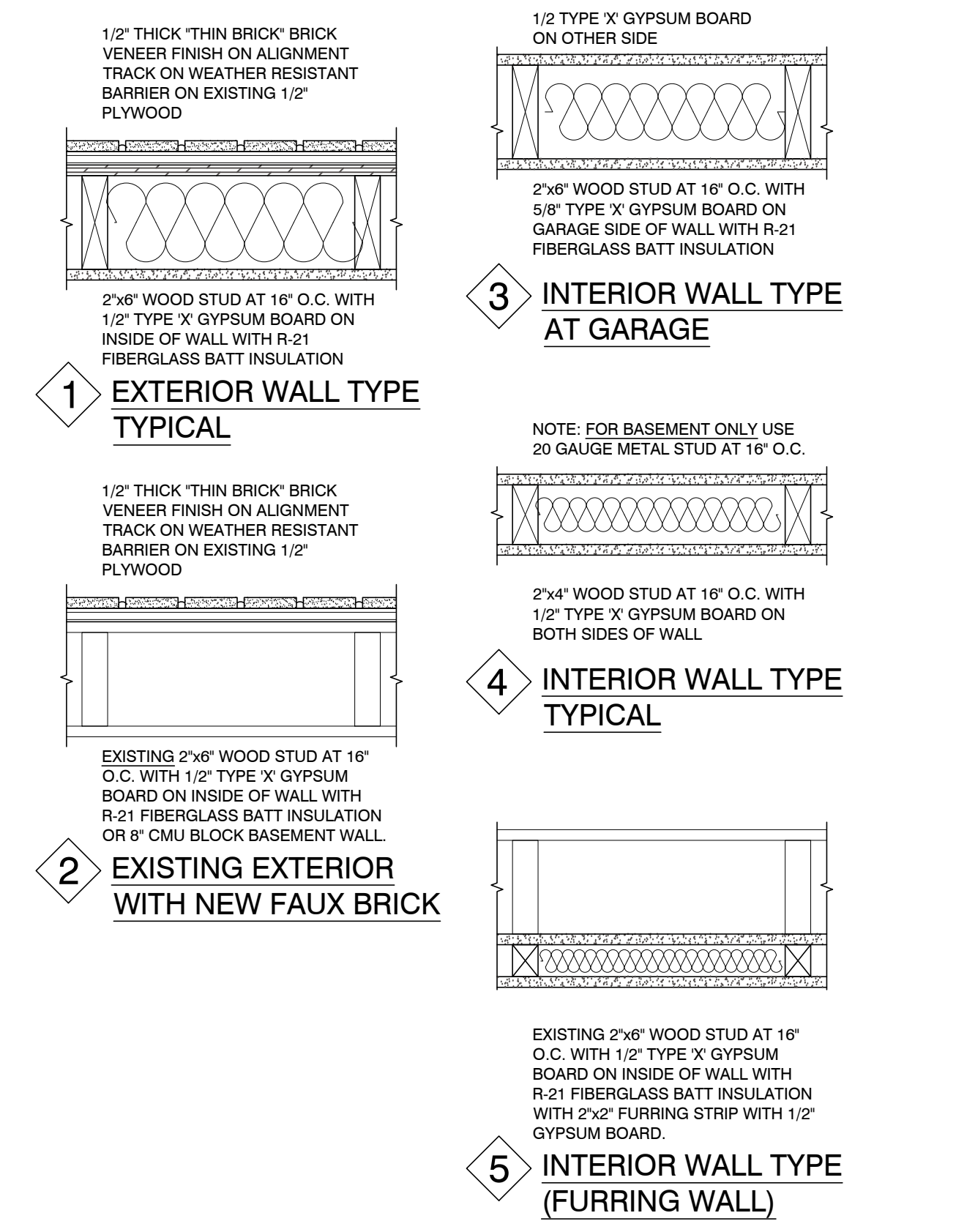
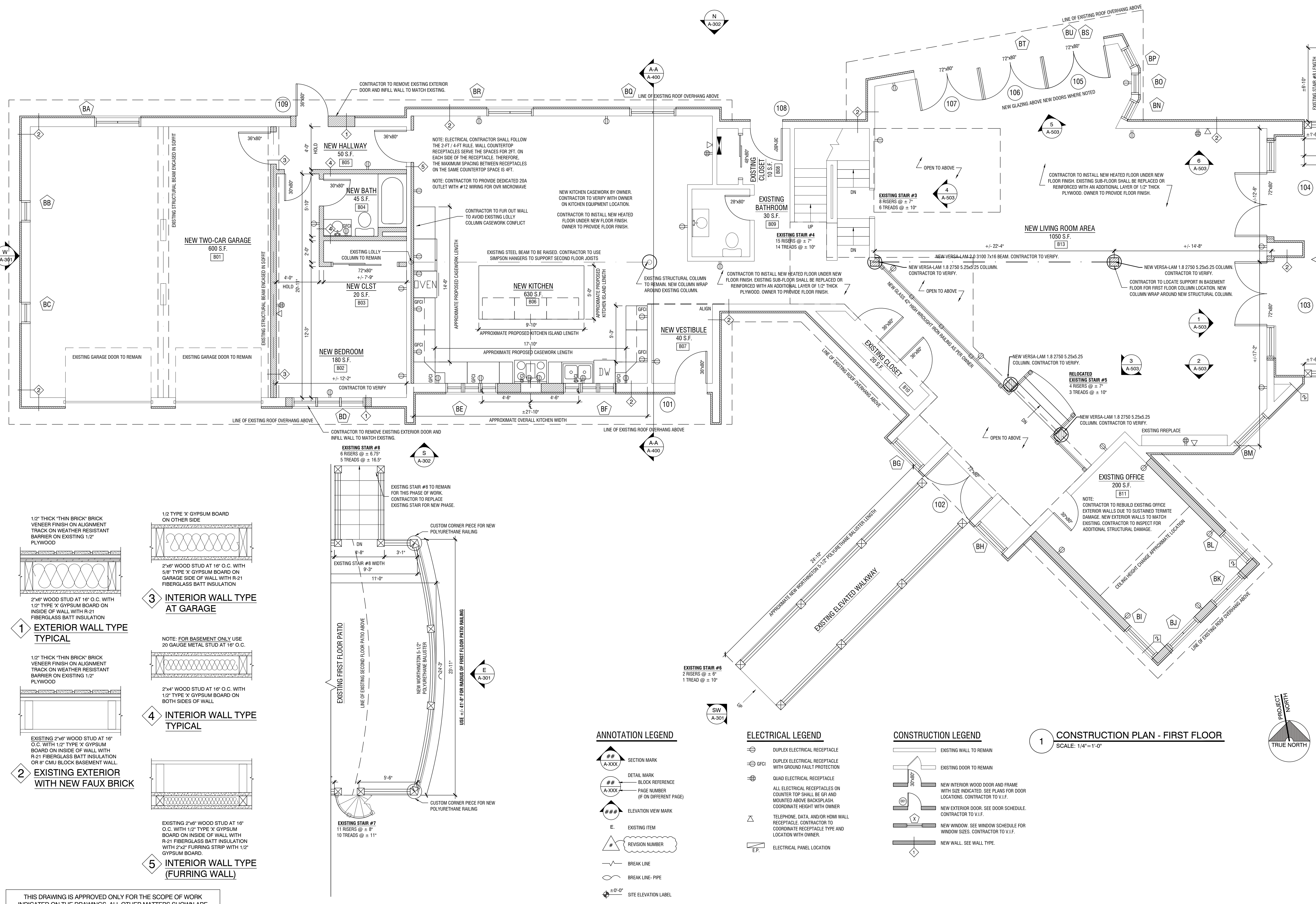
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DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH

JOB NO.  
**17-007**  
CHK. BY: TMR

DWG. NO.  
**A-101.00**  
7 OF 23



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**1A CONSTRUCTION PLAN - FIRST FLOOR PATIO**  
SCALE: 1/4" = 1'-0"

**ANNOTATION LEGEND**

- ## SECTION MARK
- A-XXX DETAIL MARK
- ## BLOCK REFERENCE
- A-XXX PAGE NUMBER (IF ON DIFFERENT PAGE)
- ### ELEVATION VIEW MARK
- E. EXISTING ITEM
- # REVISION NUMBER
- BREAK LINE
- BREAK LINE - PIPE
- ±0'-0" SITE ELEVATION LABEL

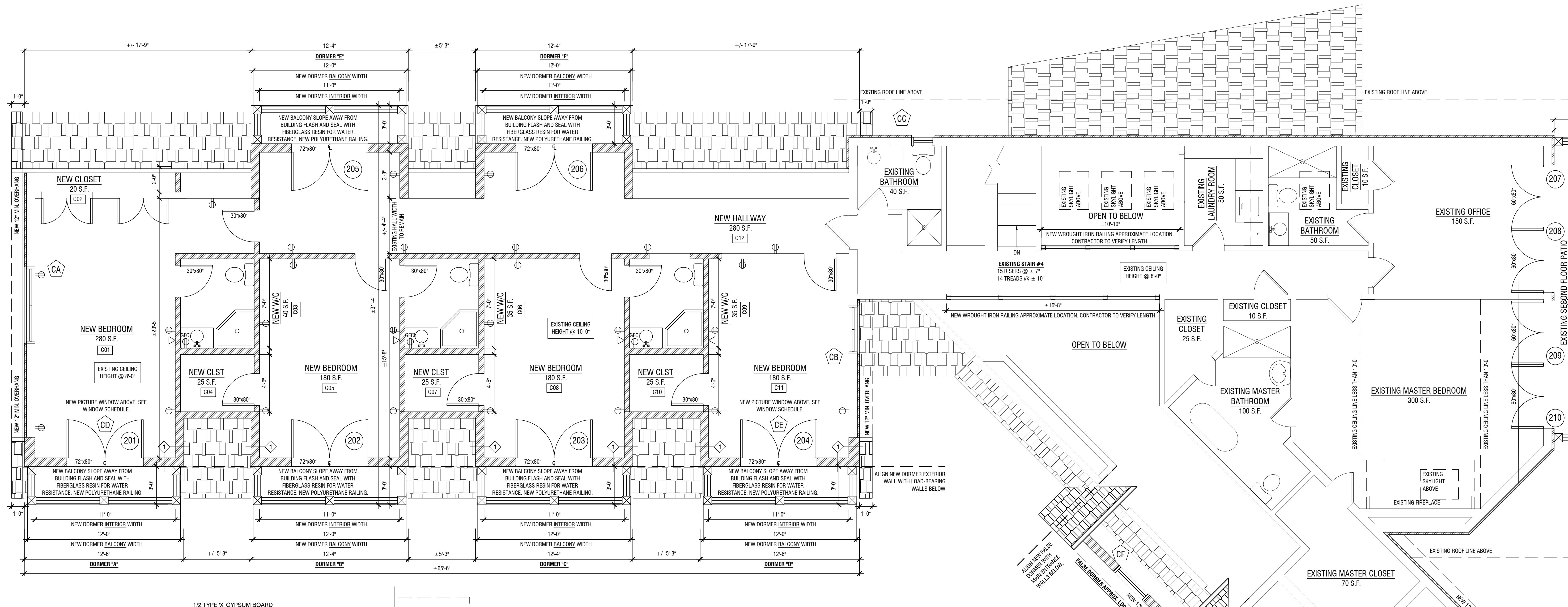
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- ⊖ EP. ELECTRICAL PANEL LOCATION

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
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- NEW INTERIOR WOOD DOOR AND FRAME WITH SIZE INDICATED. SEE PLANS FOR DOOR LOCATIONS. CONTRACTOR TO V.I.F.
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**1 CONSTRUCTION PLAN - FIRST FLOOR**  
SCALE: 1/4" = 1'-0"



**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
**CONSTRUCTION PLAN AND NOTES - SECOND FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1  
CT 07284 MO 007521  
DE 000530 NH 3078  
DC ARC101043 NJ 21A00962900  
IL 001-015551 NY 013507-1  
KS 4533 OH 1616619  
MD 7823 PA RA 010849-B  
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MI 1301040380

NJ PROFESSIONAL PLANNER: 33L000355400  
NJ CERTIFIED INTERIOR DESIGNER: 211D00026700

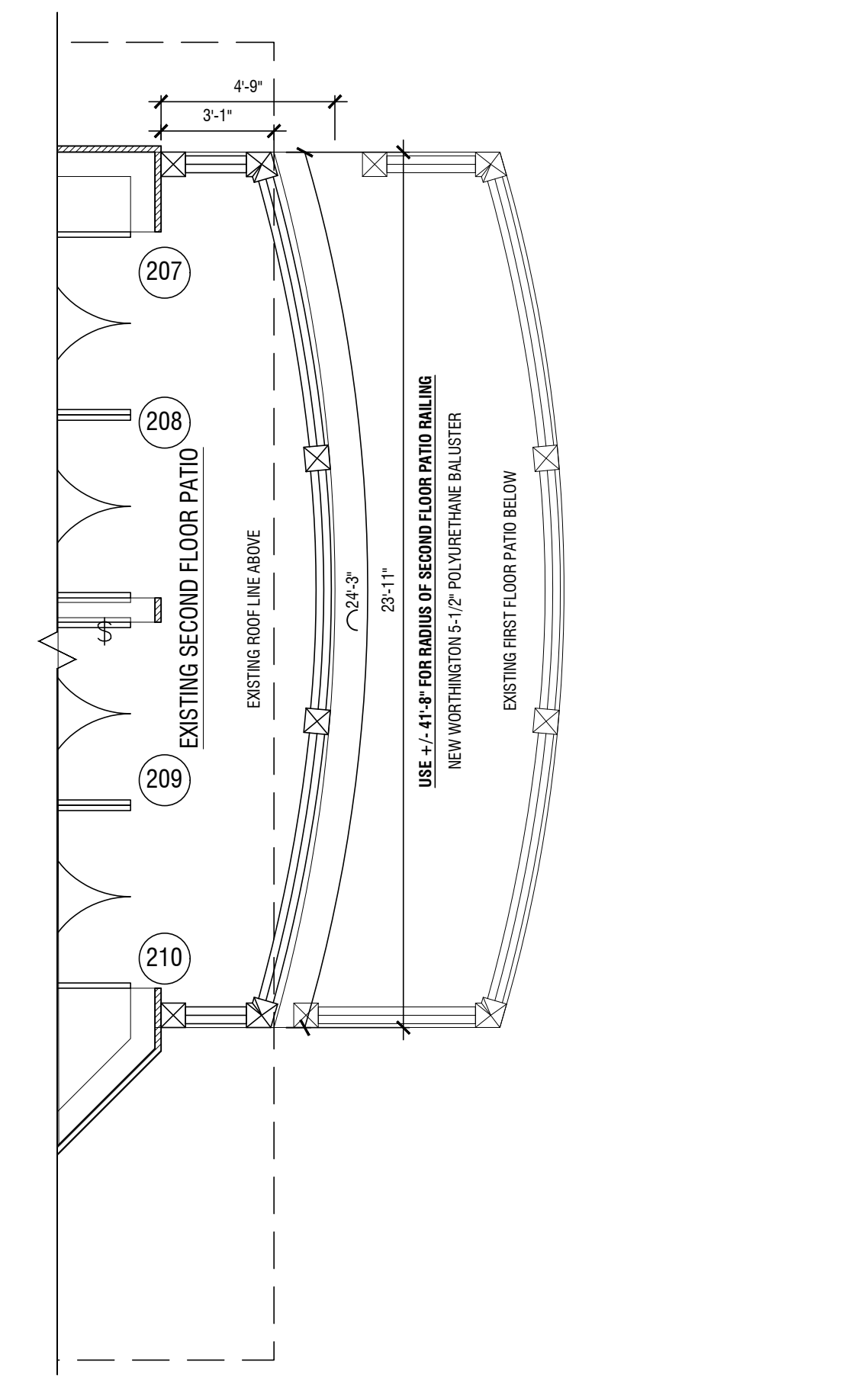
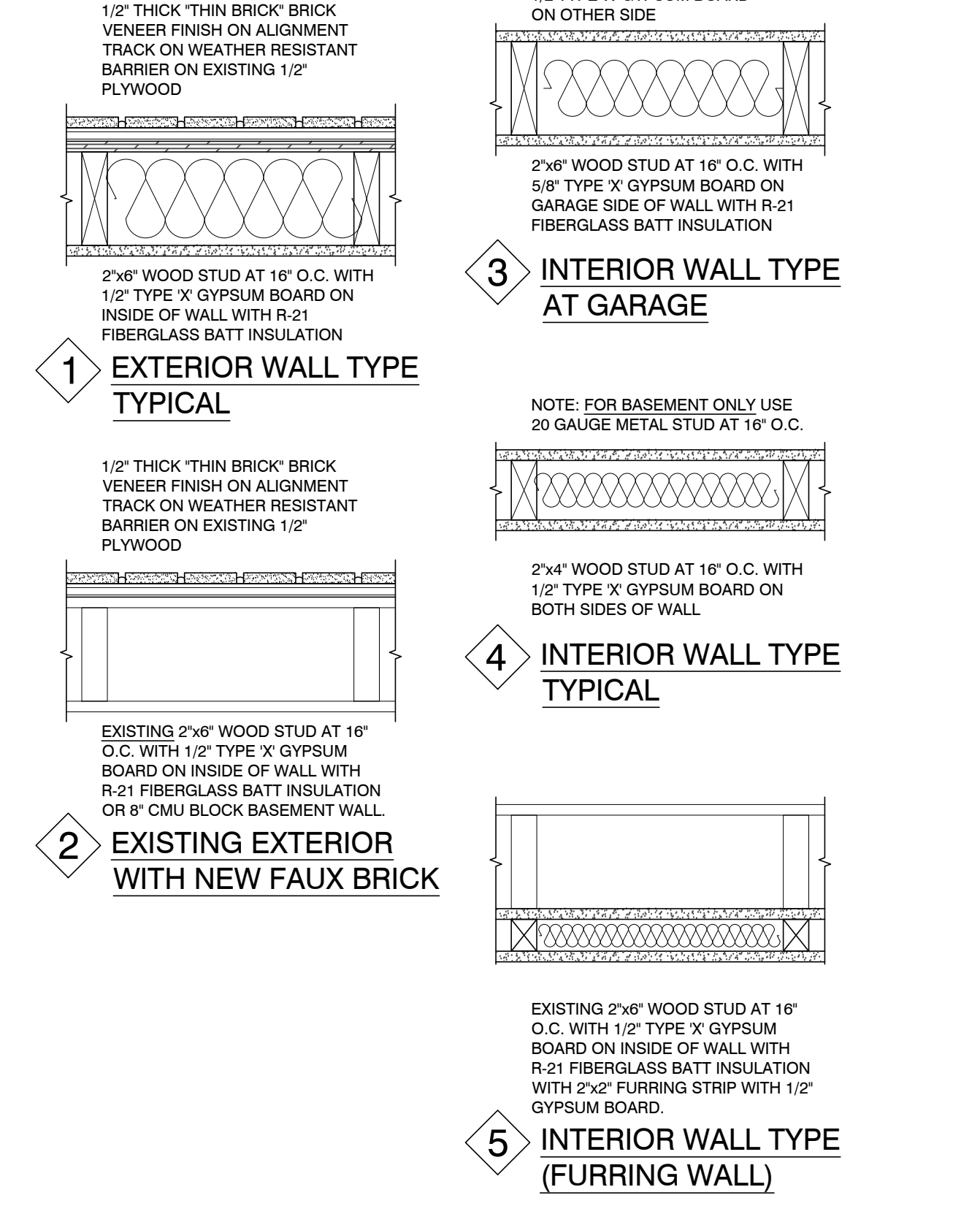


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DATE: 09.12.19 JOB NO. 17-007  
SCALE: AS NOTED  
DWN. BY: GH  
CHK. BY: TMR

DWG. NO. A-102.00  
8 OF 23



**ANNOTATION LEGEND**

- ## SECTION MARK
- A-XXX DETAIL MARK
- ## PAGE NUMBER (IF ON DIFFERENT PAGE)
- ### ELEVATION VIEW MARK
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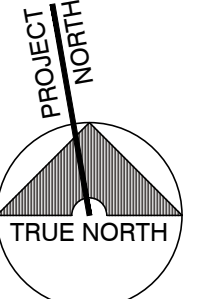
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- ⊕ EP. ELECTRICAL PANEL LOCATION

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
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- NEW WINDOW. SEE WINDOW SCHEDULE FOR WINDOW SIZES. CONTRACTOR TO V.I.F.
- NEW WALL. SEE WALL TYPE.

**2 CONSTRUCTION PLAN - SECOND FLOOR**  
SCALE: 1/4"=1'-0"



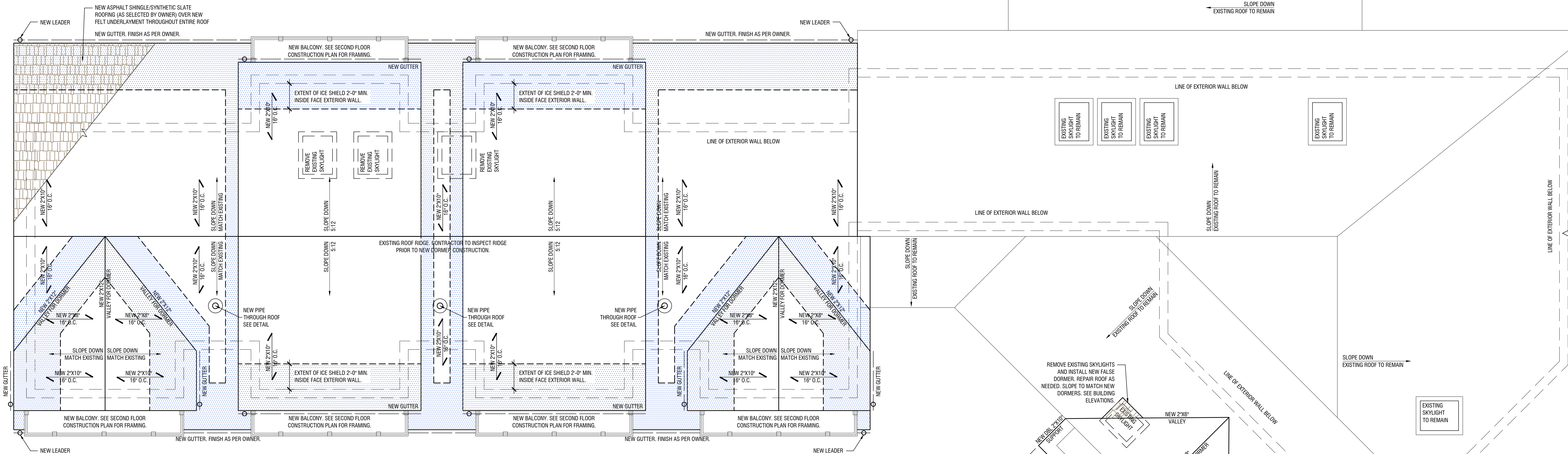
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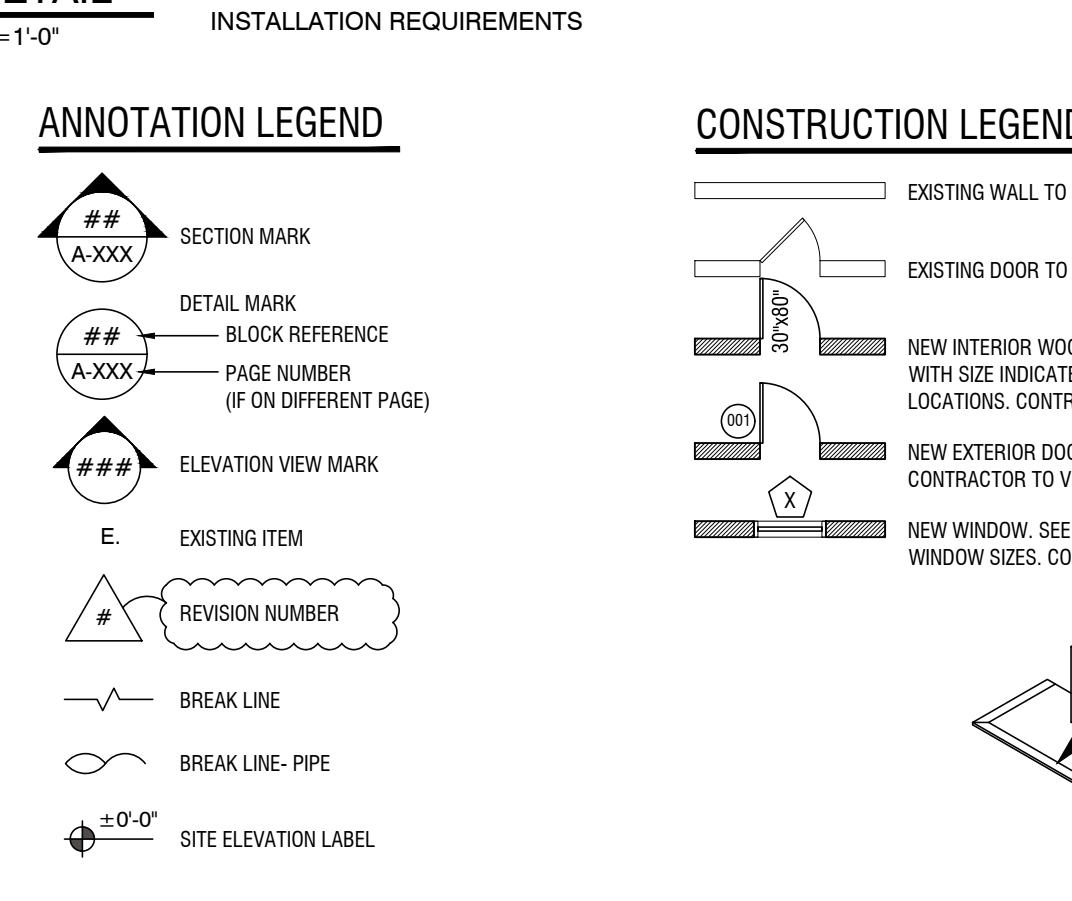
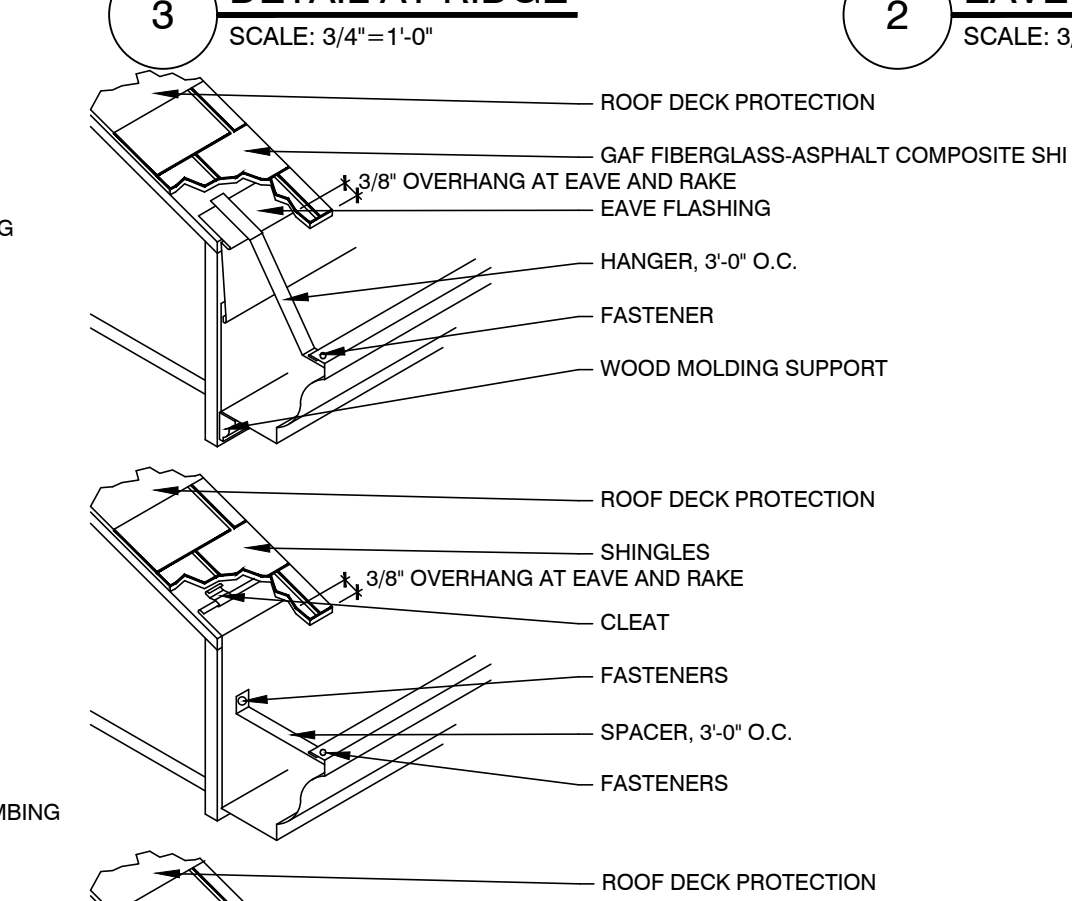
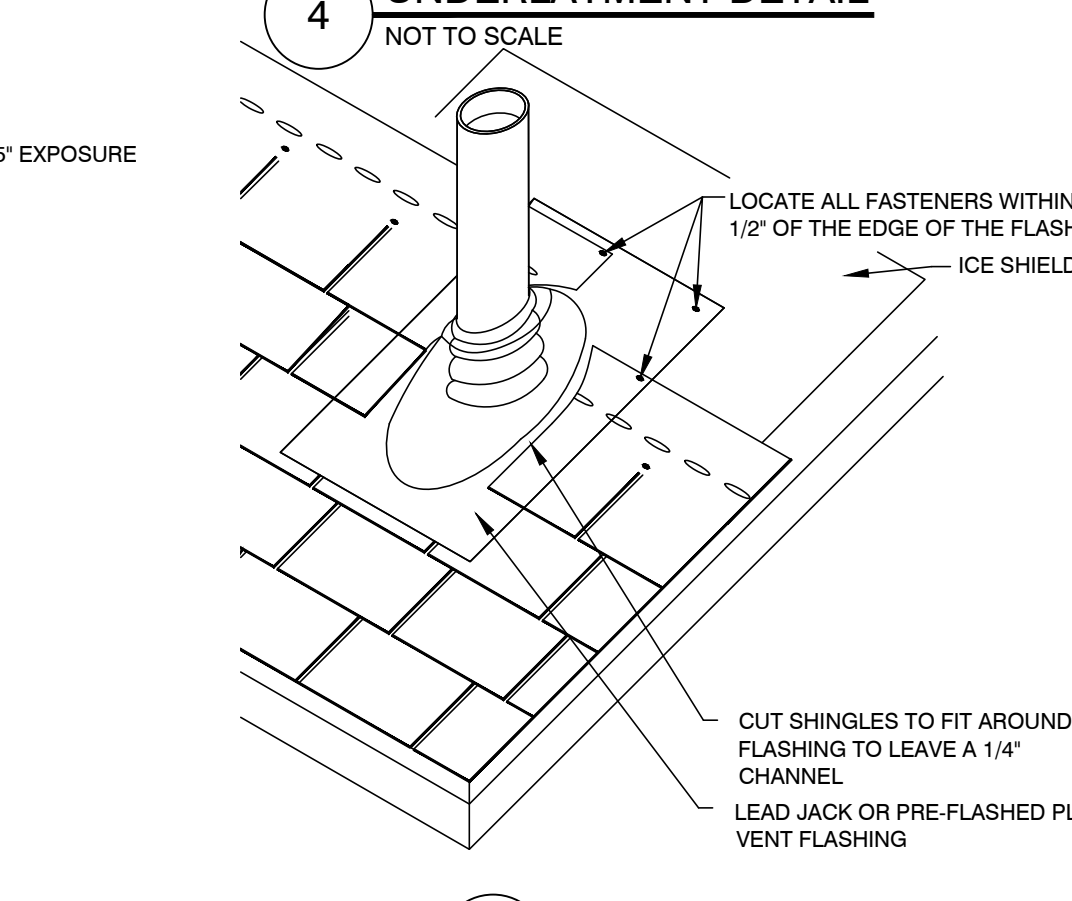
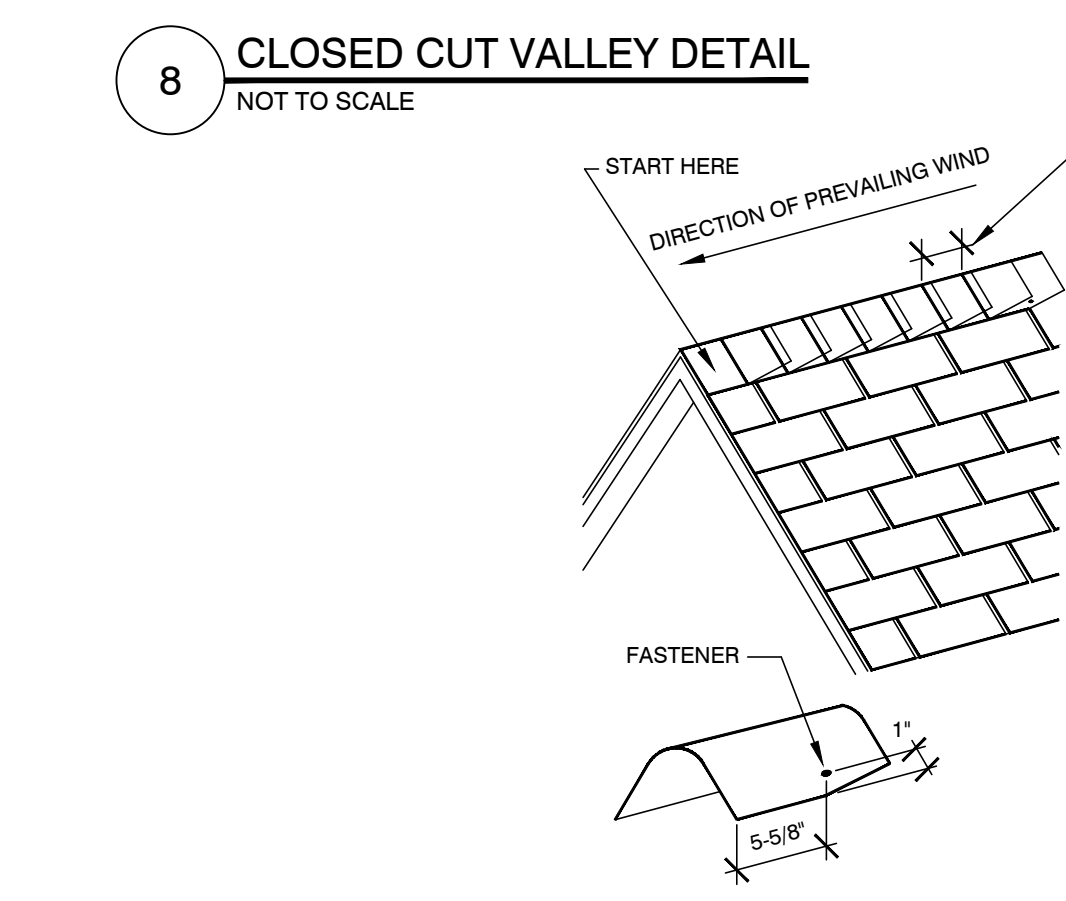
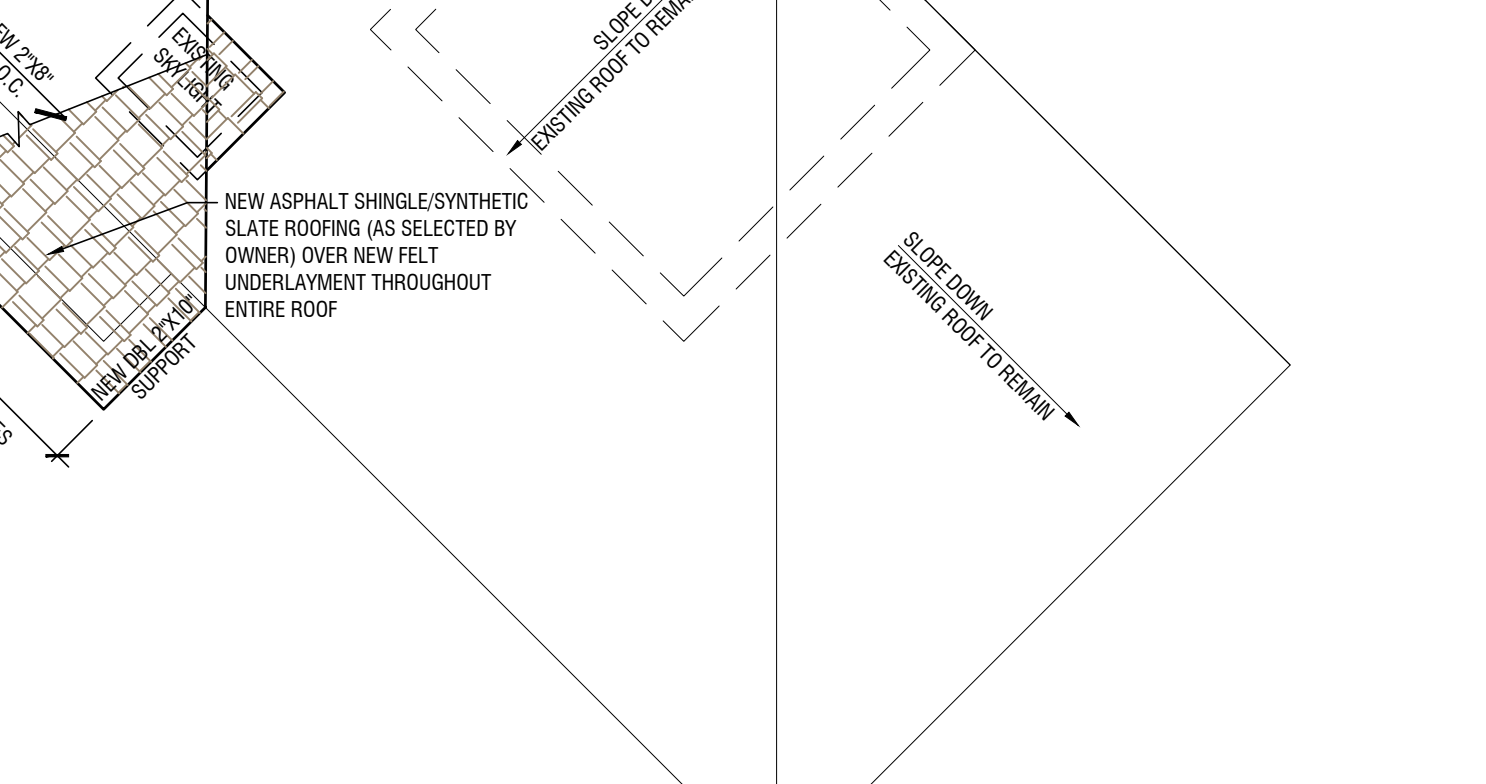
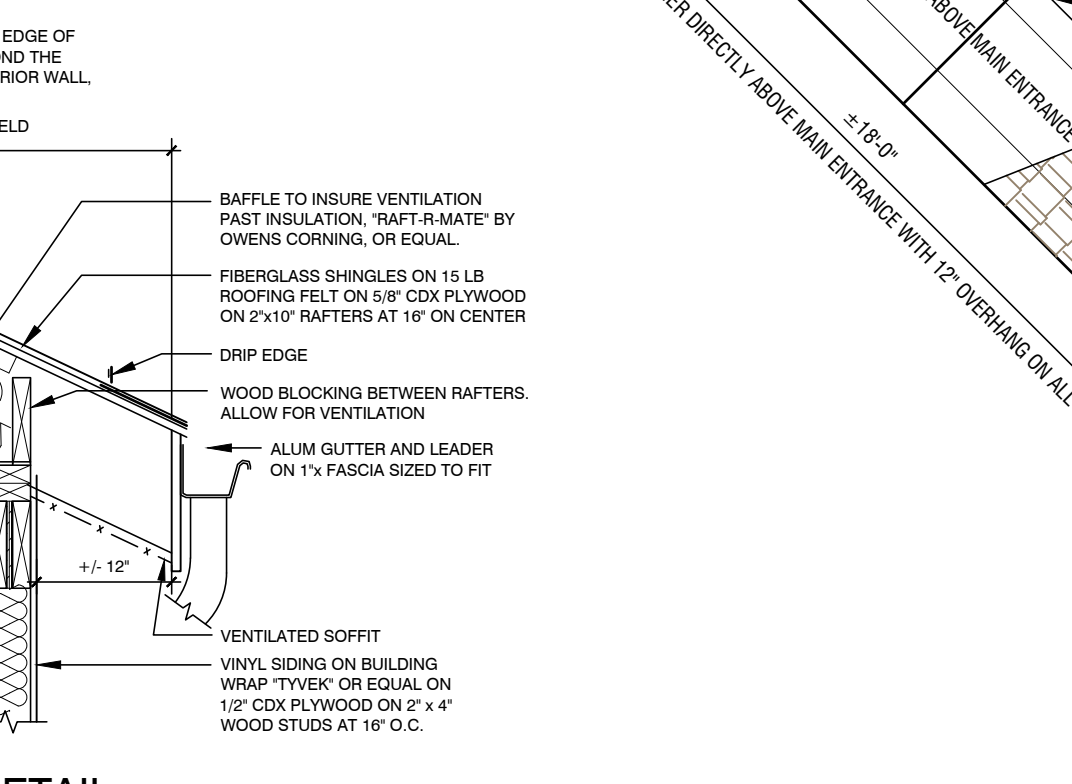
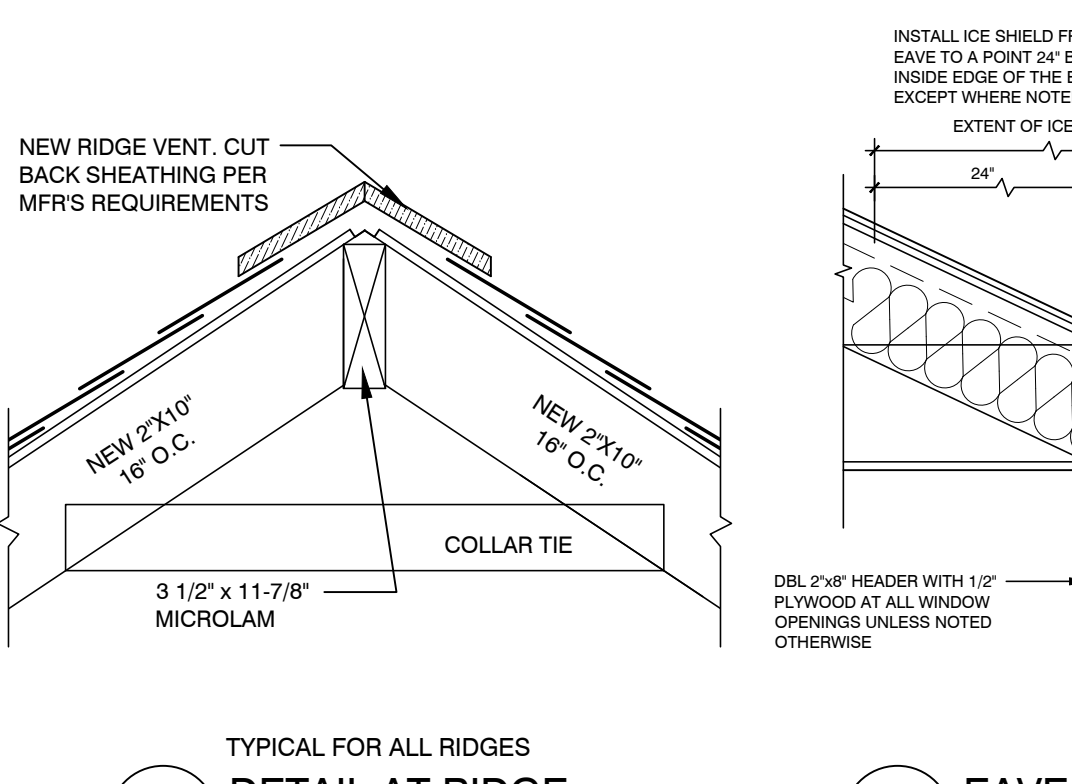
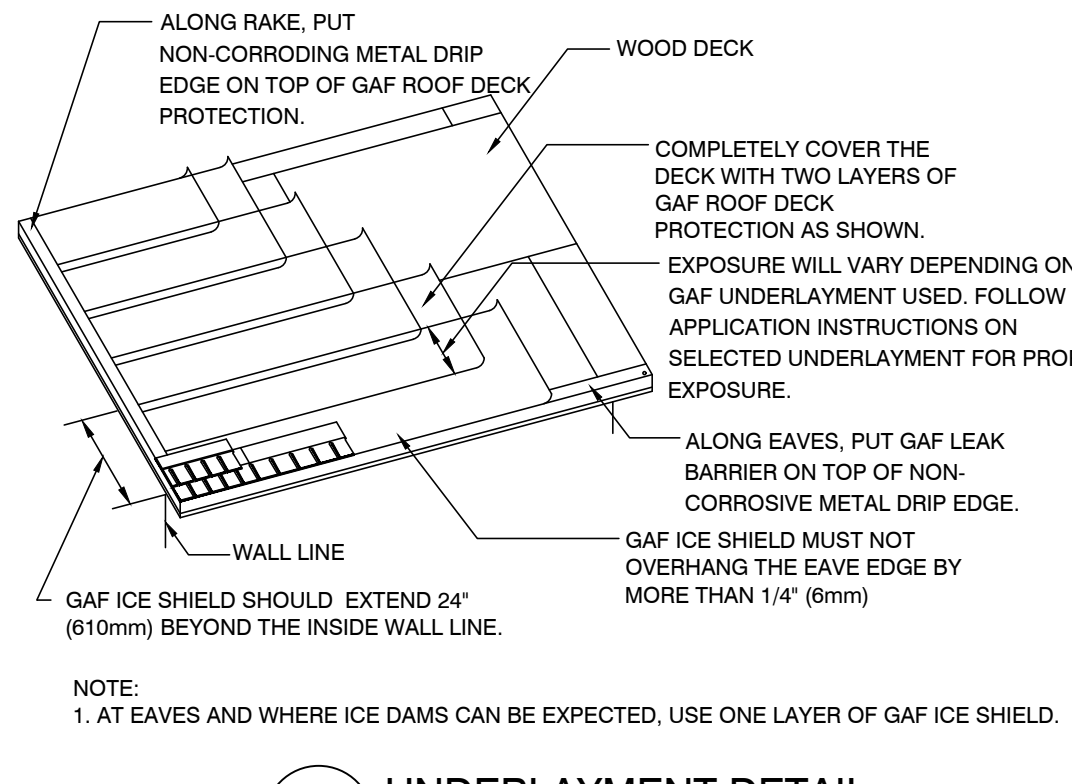
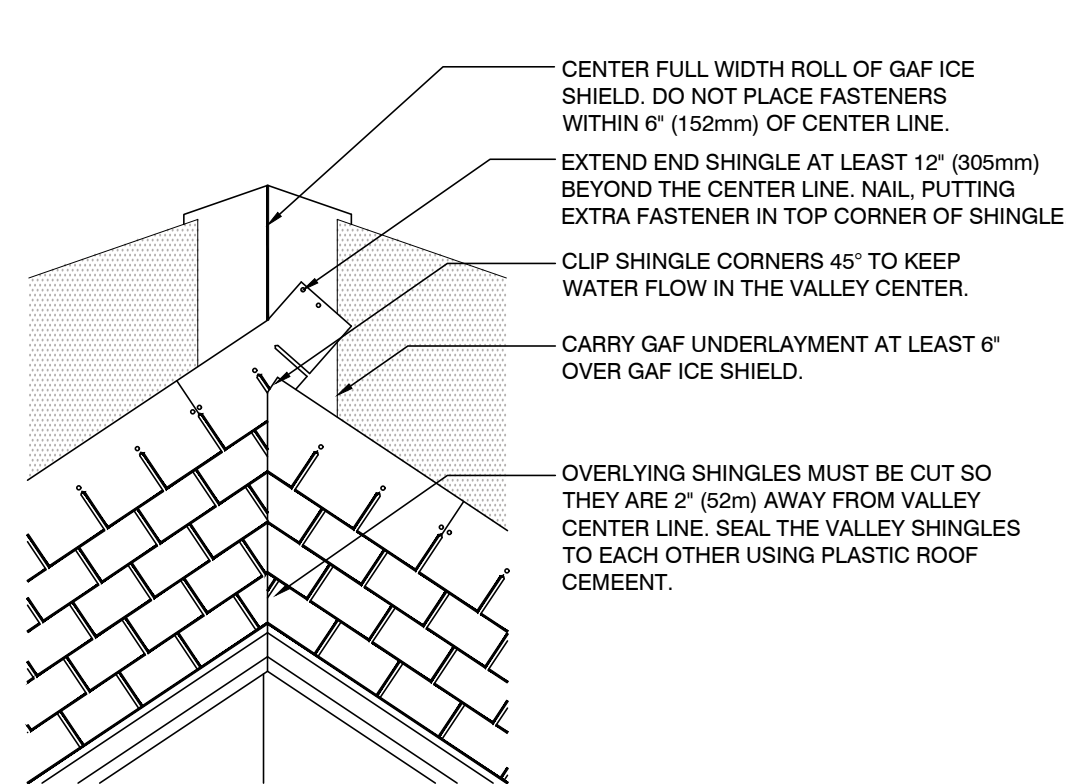
T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

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	SUBMITTED FOR FILING	01.06.2020



NOTE:  
NOT ALL ROOF TOP MOUNTED EQUIPMENT AND ROOF PENETRATIONS MAY BE SHOWN. CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE QUANTITY, TYPE AND LOCATIONS OF ALL REQUIRED ROOFING DETAILS.



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NOTE:  
1. AT EAVES AND WHERE ICE DAMS CAN BE EXPECTED, USE ONE LAYER OF GAF ICE SHIELD.

NOTE:  
1. AT EAVES AND WHERE ICE DAMS CAN BE EXPECTED, USE ONE LAYER OF GAF ICE SHIELD.

NOTE:  
1. FLASHING DIMENSIONS WILL VARY ACCORDING TO LOCAL WEATHER CONDITIONS, SIZE, LOCATION, SLOPE OF ROOF, AND TRIBUTARY WATER AREA.  
2. A SADDLE FLASHING WILL BE ALLOWED FOR PENETRATIONS LESS THAN 30" IN WIDTH. EXTEND A MINIMUM OF 6" OR TO TOP OF CURB AND 14" UP ROOF SLOPE.  
3. A CRICKET FLASHING IS RECOMMENDED FOR PENETRATIONS EQUAL TO OR GREATER THAN 30" IN WIDTH TO PROMOTE POSITIVE RUNOFF.  
4. ONE LAYER OF NO. 30 ASPHALT-SATURATED FELT COMPLYING WITH ASTM D-226 TYPE II (ASTM D4869 TYPE IV), OR APPROVED EQUAL AS A MINIMUM UNDERLAYMENT ON ALL TILE ROOF APPLICATIONS. OTHER UNDERLAYMENTS AS APPROVED BY LOCAL BUILDING OFFICIALS SHALL BE ALLOWED.  
5. DIMENSIONS SHOWN ARE MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.  
6. MALLEABLE METAL OPTIONAL FOR PROFILED TILE.

NOTE:  
1. FLASHING DIMENSIONS WILL VARY ACCORDING TO LOCAL WEATHER CONDITIONS, SIZE, LOCATION, SLOPE OF ROOF, AND TRIBUTARY WATER AREA.  
2. A SADDLE FLASHING WILL BE ALLOWED FOR PENETRATIONS LESS THAN 30" IN WIDTH. EXTEND A MINIMUM OF 6" OR TO TOP OF CURB AND 14" UP ROOF SLOPE.  
3. A CRICKET FLASHING IS RECOMMENDED FOR PENETRATIONS EQUAL TO OR GREATER THAN 30" IN WIDTH TO PROMOTE POSITIVE RUNOFF.  
4. ONE LAYER OF NO. 30 ASPHALT-SATURATED FELT COMPLYING WITH ASTM D-226 TYPE II (ASTM D4869 TYPE IV), OR APPROVED EQUAL AS A MINIMUM UNDERLAYMENT ON ALL TILE ROOF APPLICATIONS. OTHER UNDERLAYMENTS AS APPROVED BY LOCAL BUILDING OFFICIALS SHALL BE ALLOWED.  
5. DIMENSIONS SHOWN ARE MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.  
6. MALLEABLE METAL OPTIONAL FOR PROFILED TILE.

**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
**CONSTRUCTION PLAN AND NOTES - ROOF PLAN**

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07984	MO 007521
DE 000530	NH 3078
DC ARC101043	NJ 21A00962900
IL 01-015551	NY 013557-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 9897	WI 11936-5
MI 1501040380	

NJ PROFESSIONAL PLANNER: 33L00355400  
NJ CERTIFIED INTERIOR DESIGNER: 211000028700



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DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

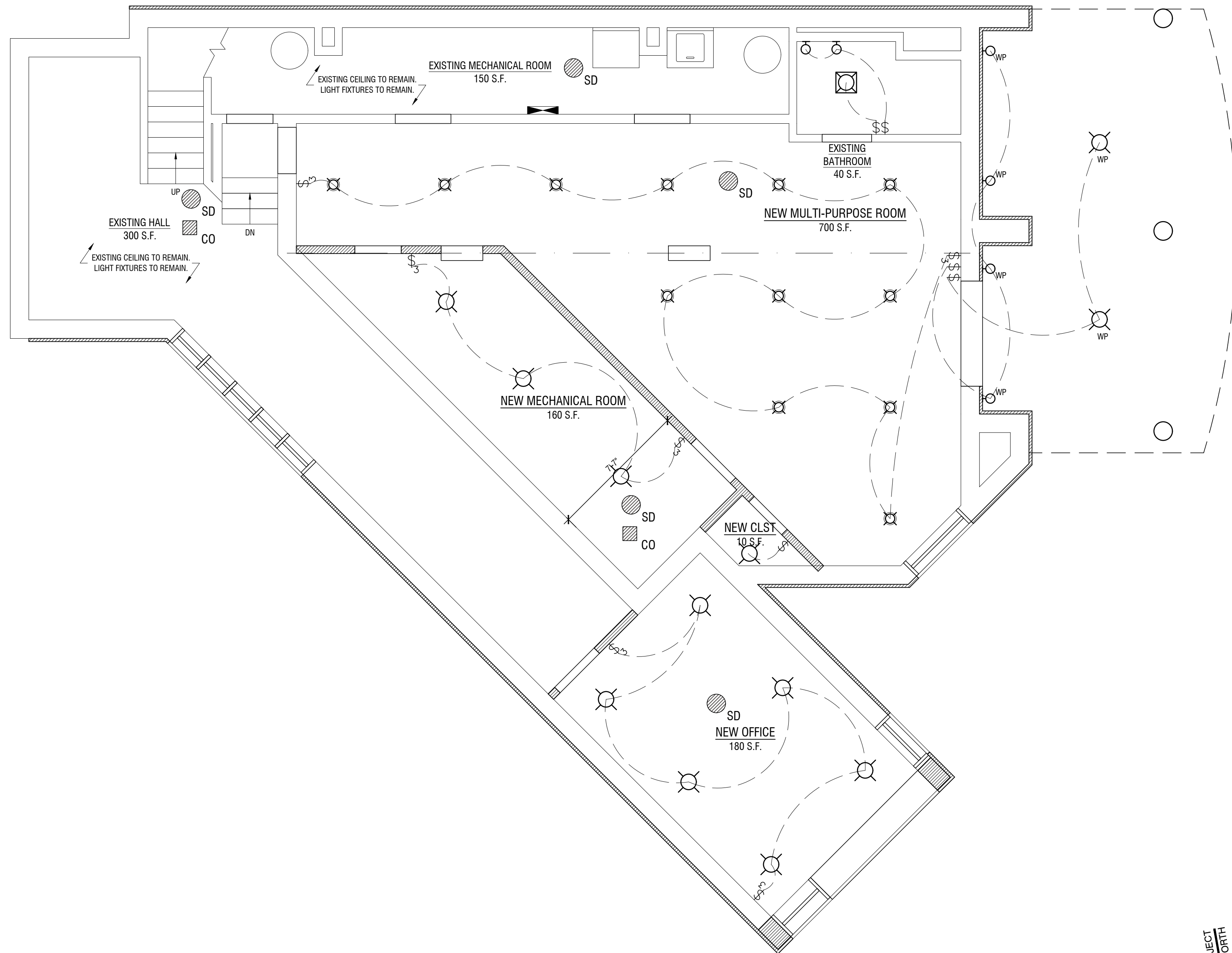
DWG. NO. **A-103.00**  
9 OF 23



T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

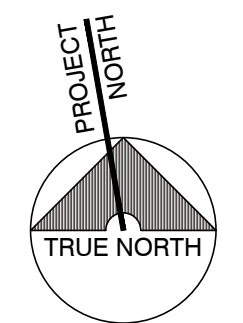
REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



RENOVATION & ALTERATION  
 GUEST HOUSE  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 REFLECTED CEILING PLAN AND  
 NOTES - BASEMENT

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 0005320 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015551 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA.010849-B  
 MA 8887 WI 11936-5  
 MI 1301040380  
 NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D000026700



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DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO. A-200.00  
 10 OF 23

**REFLECTED CEILING LEGEND**

- LIGHT SWITCH
- LIGHT SWITCH 3 WAY
- LIGHT SWITCH 4 WAY
- NEW CEILING MOUNTED LIGHT FIXTURE, AS PER OWNER.
- LIGHT FIXTURE / EXHAUST FAN COMBINATION CEILING MOUNTED, VENT TO EXTERIOR OF BUILDING.
- NEW RECESSED MOUNT LIGHT FIXTURE, AS PER OWNER.
- NEW WALL MOUNTED LIGHT FIXTURE, AS PER OWNER.
- NEW CHANDELIER AS PER OWNER.
- ELECTRICAL DEVICE UL LISTED FOR EXPOSURE TO WEATHER
- NEW SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

**0 REFLECTED CEILING PLAN - BASEMENT**  
 SCALE: 1/4"=1'-0"

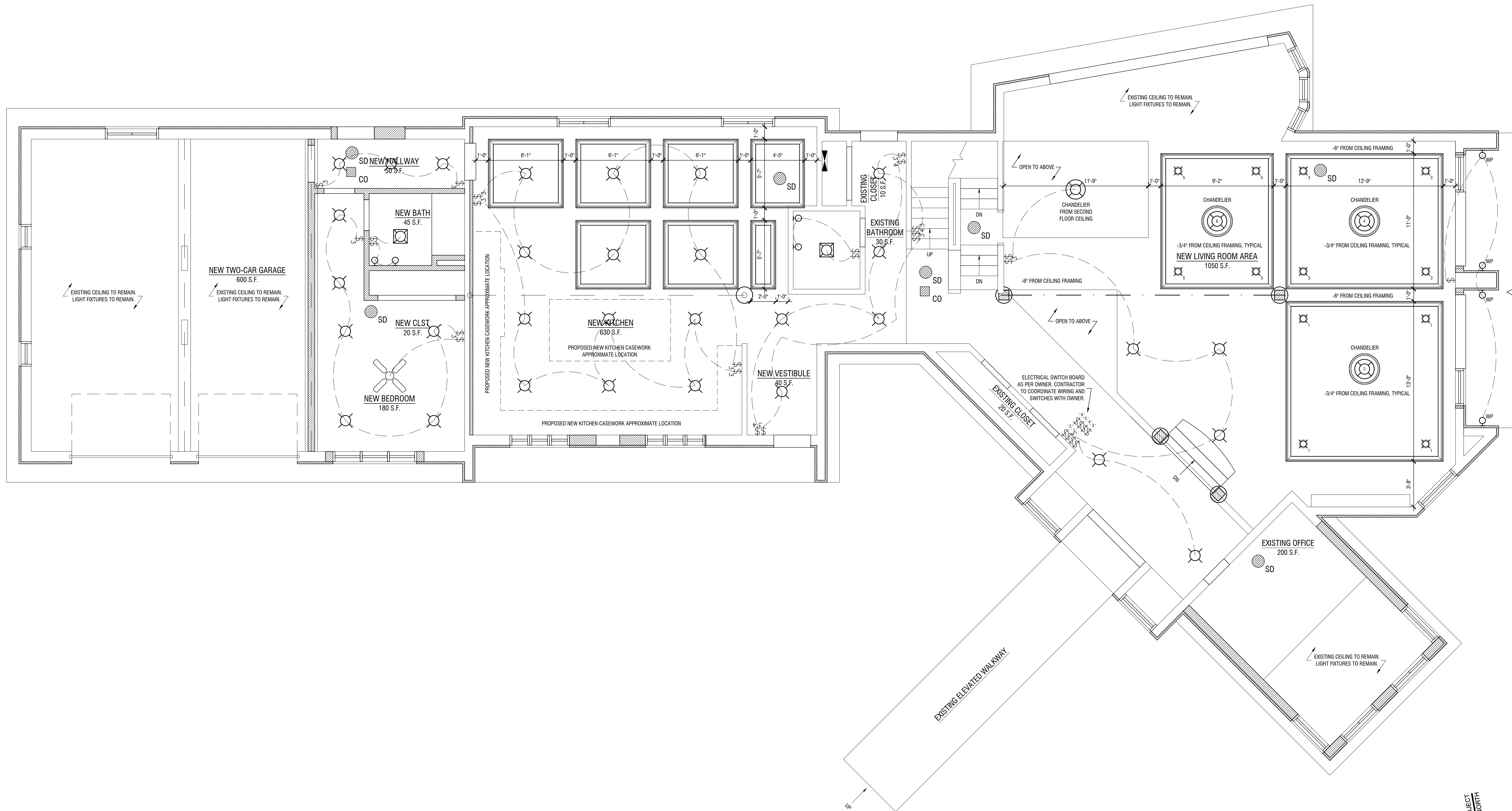
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 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

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REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**REFLECTED CEILING PLAN AND NOTES - FIRST FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015557-1 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA.010849-B  
 MA 8887 WI 11936-5  
 MI 1301040380  
 NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID000028700



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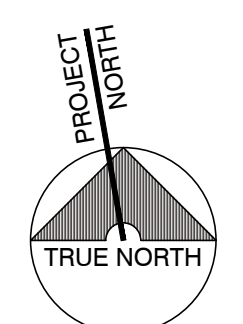
DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO. **A-201.00**  
 11 OF 23

**REFLECTED CEILING LEGEND**

- LIGHT SWITCH
- LIGHT SWITCH 3 WAY
- LIGHT SWITCH 4 WAY
- NEW CEILING MOUNTED LIGHT FIXTURE, AS PER OWNER.
- LIGHT FIXTURE / EXHAUST FAN COMBINATION CEILING MOUNTED. VENT TO EXTERIOR OF BUILDING.
- NEW RECESSED MOUNT LIGHT FIXTURE, AS PER OWNER.
- NEW WALL MOUNTED LIGHT FIXTURE, AS PER OWNER.
- NEW CHANDELIER AS PER OWNER
- ELECTRICAL DEVICE UL LISTED FOR EXPOSURE TO WEATHER
- NEW SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

**1 REFLECTED CEILING PLAN - FIRST FLOOR**  
 SCALE: 1/4"=1'-0"



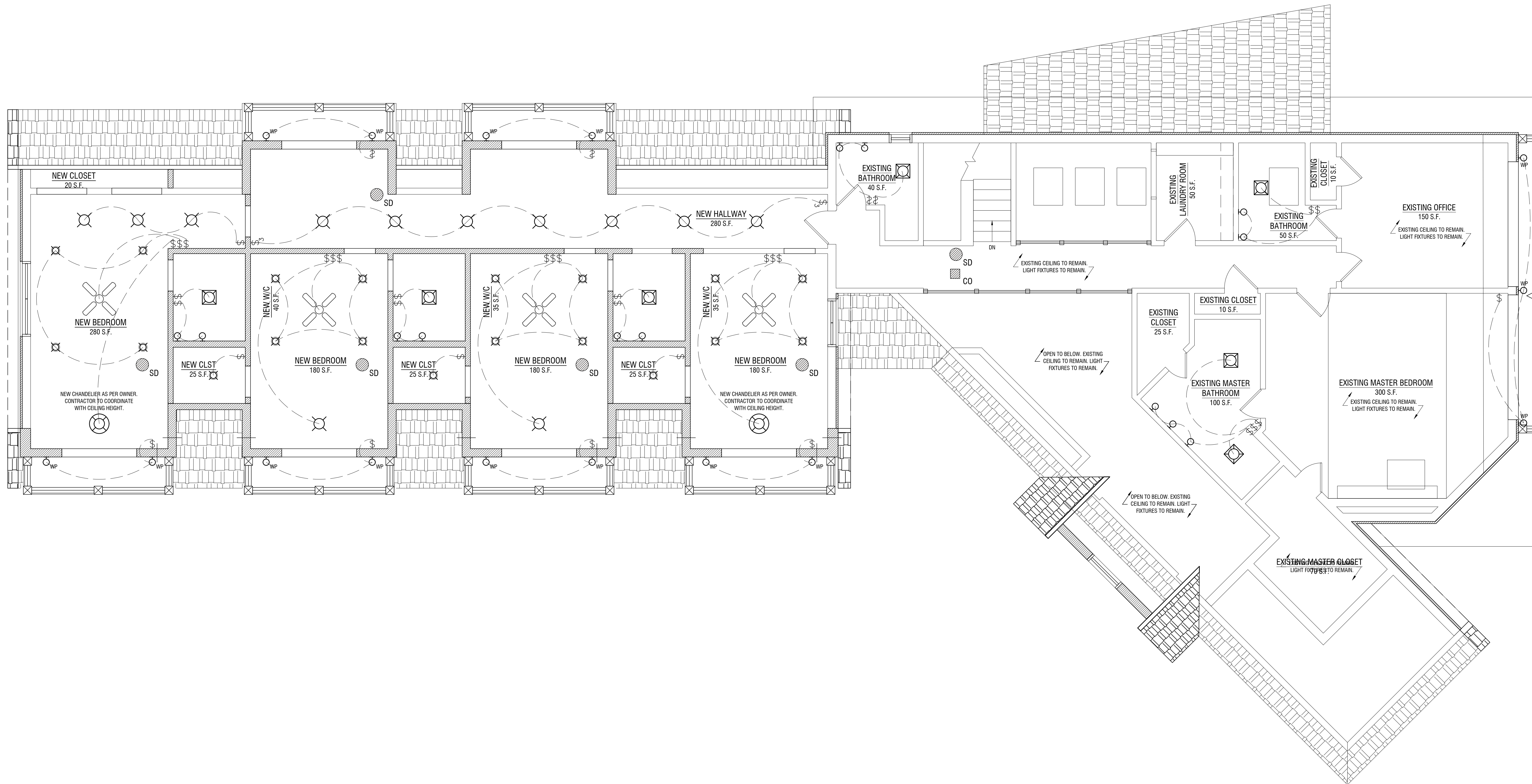
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 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**REFLECTED CEILING PLAN AND NOTES - SECOND FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015551 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA 010849-B  
 MA 8897 WI 11936-5  
 MI 1301040380  
 NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00026700



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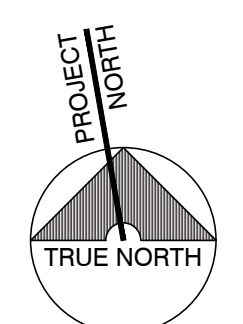
DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO. **A-202.00**  
 12 OF 23

**REFLECTED CEILING LEGEND**

- § LIGHT SWITCH
- §§ LIGHT SWITCH 3 WAY
- §§§ LIGHT SWITCH 4 WAY
- ☉ NEW CEILING MOUNTED LIGHT FIXTURE, AS PER OWNER.
- ☉☉ LIGHT FIXTURE / EXHAUST FAN COMBINATION CEILING MOUNTED, VENT TO EXTERIOR OF BUILDING.
- ☉☉☉ NEW RECESSED MOUNT LIGHT FIXTURE, AS PER OWNER.
- NEW WALL MOUNTED LIGHT FIXTURE, AS PER OWNER.
- ☉☉☉ NEW CHANDELIER AS PER OWNER
- WP ELECTRICAL DEVICE UL LISTED FOR EXPOSURE TO WEATHER
- SD NEW SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR

**2 REFLECTED CEILING PLAN - SECOND FLOOR**  
 SCALE: 1/4"=1'-0"



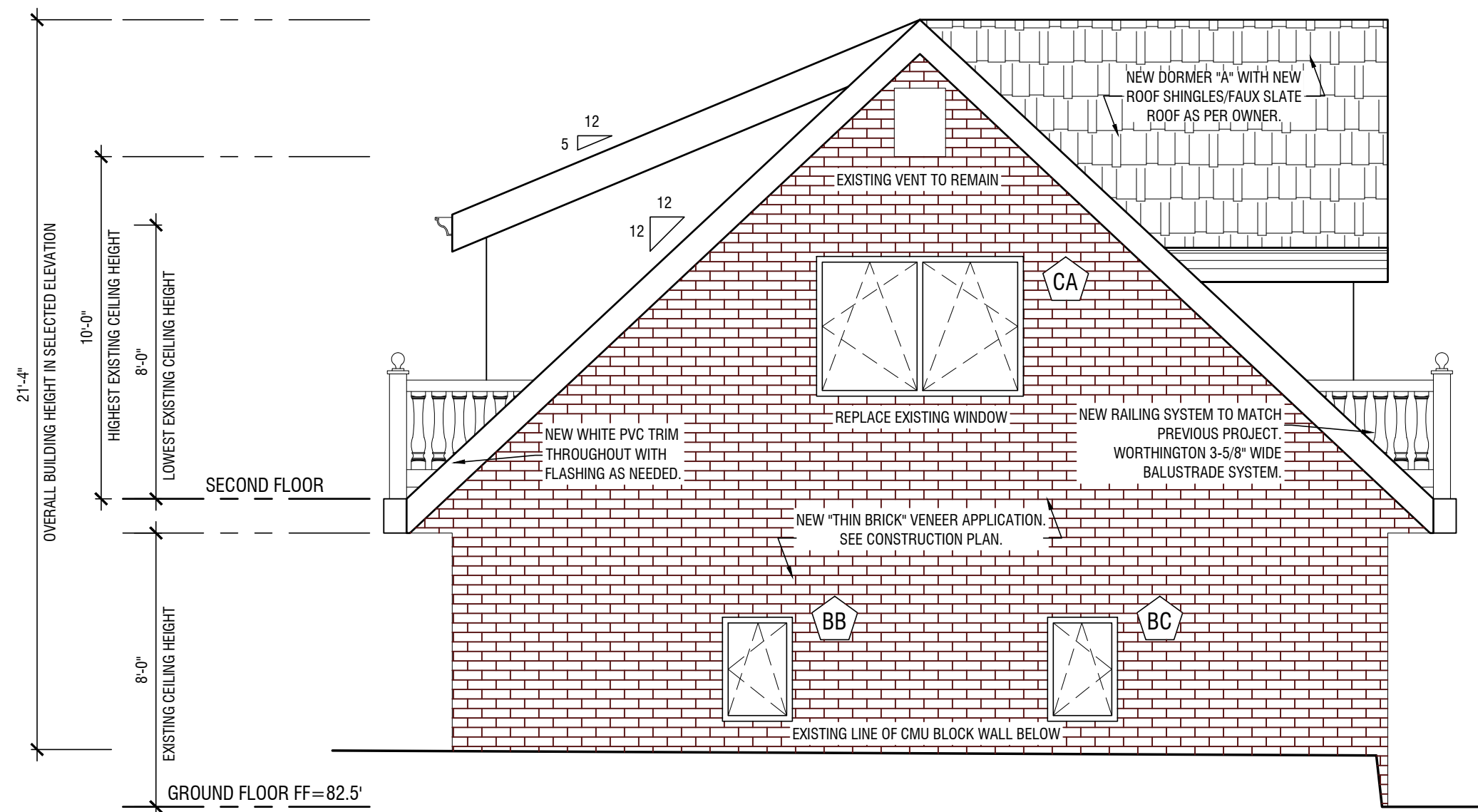
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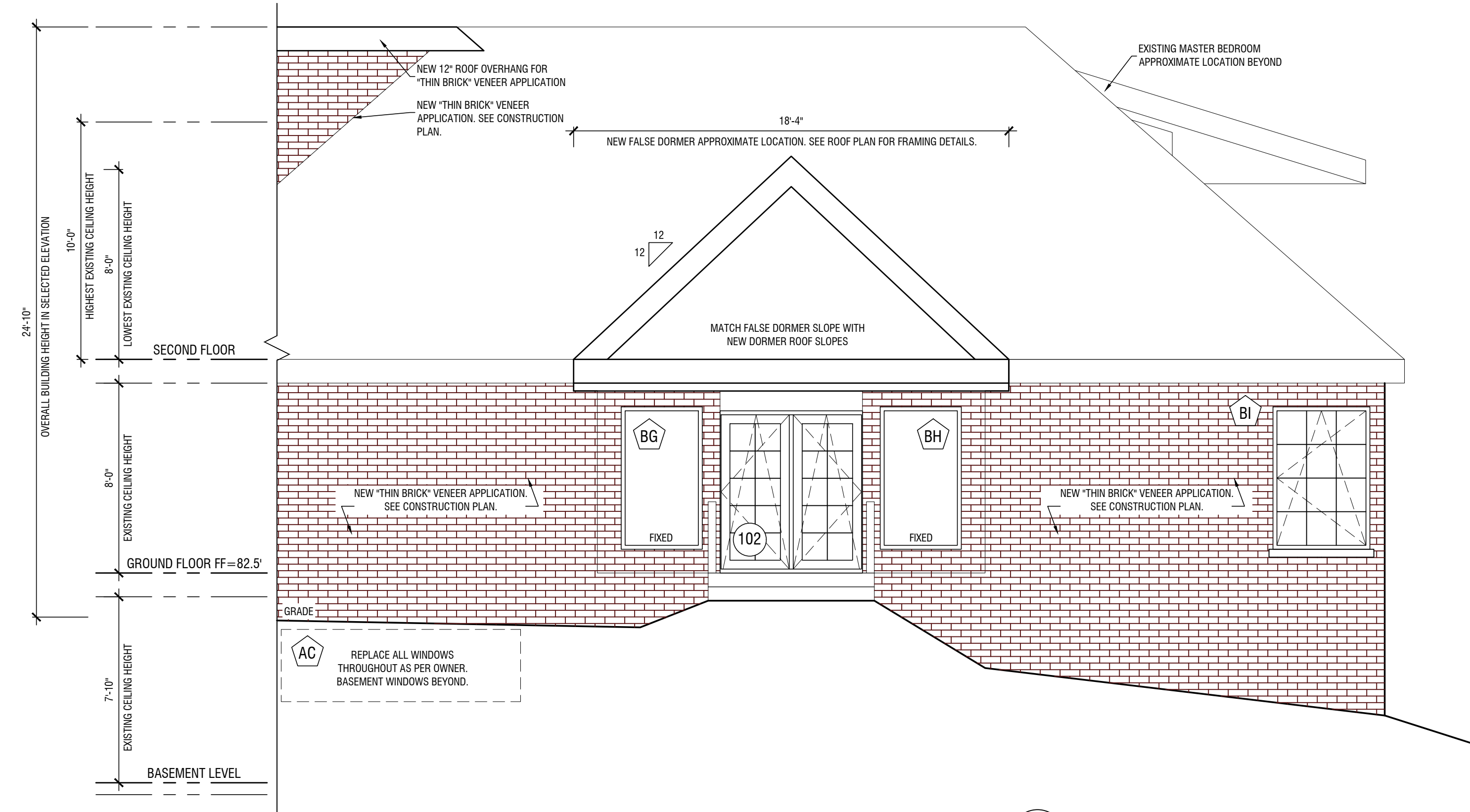


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 T: 201-460-0473 F: 201-460-0931  
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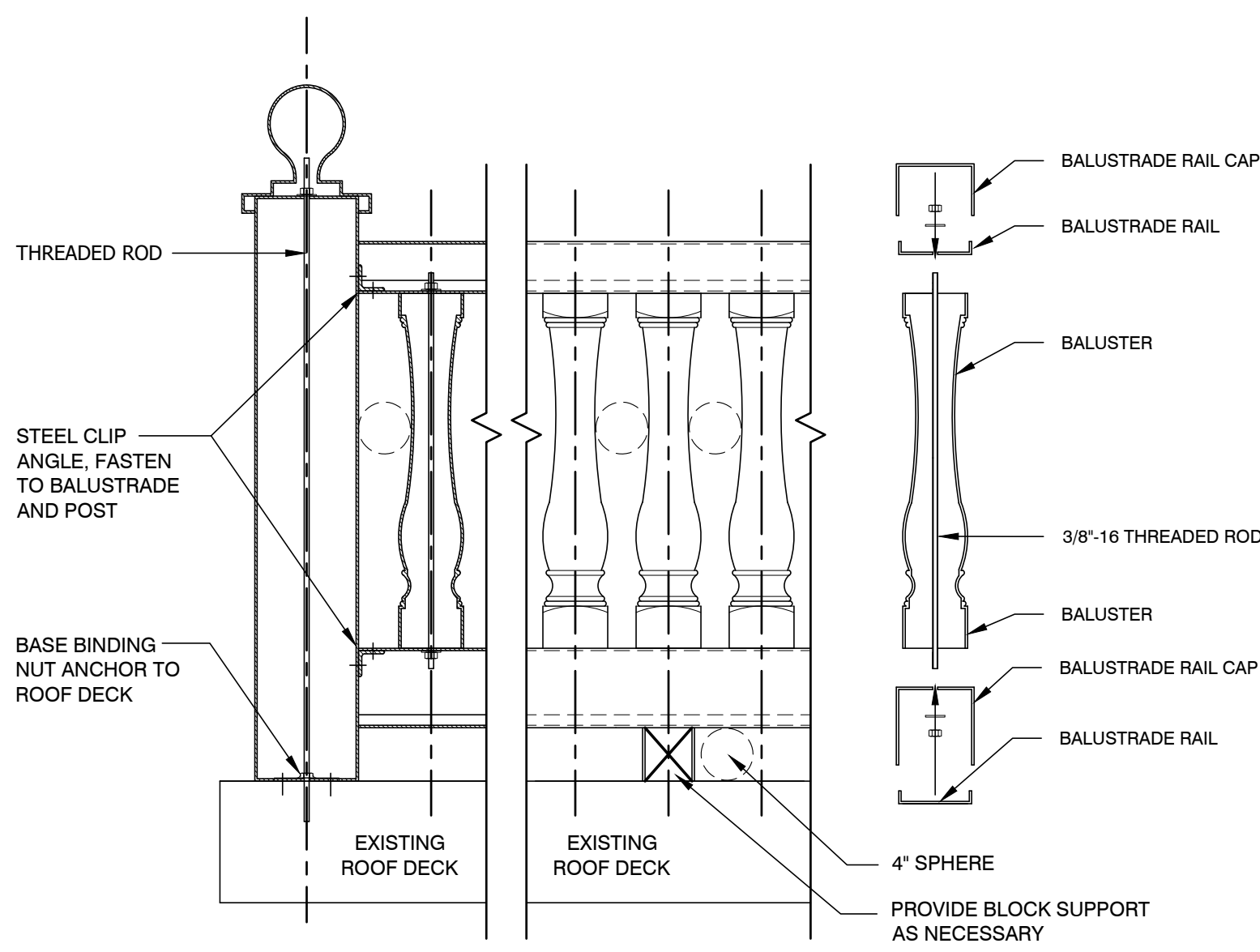
REVISIONS:  
 REV # DESCRIPTION DATE  
 SUBMITTED FOR FILING 01.06.2020



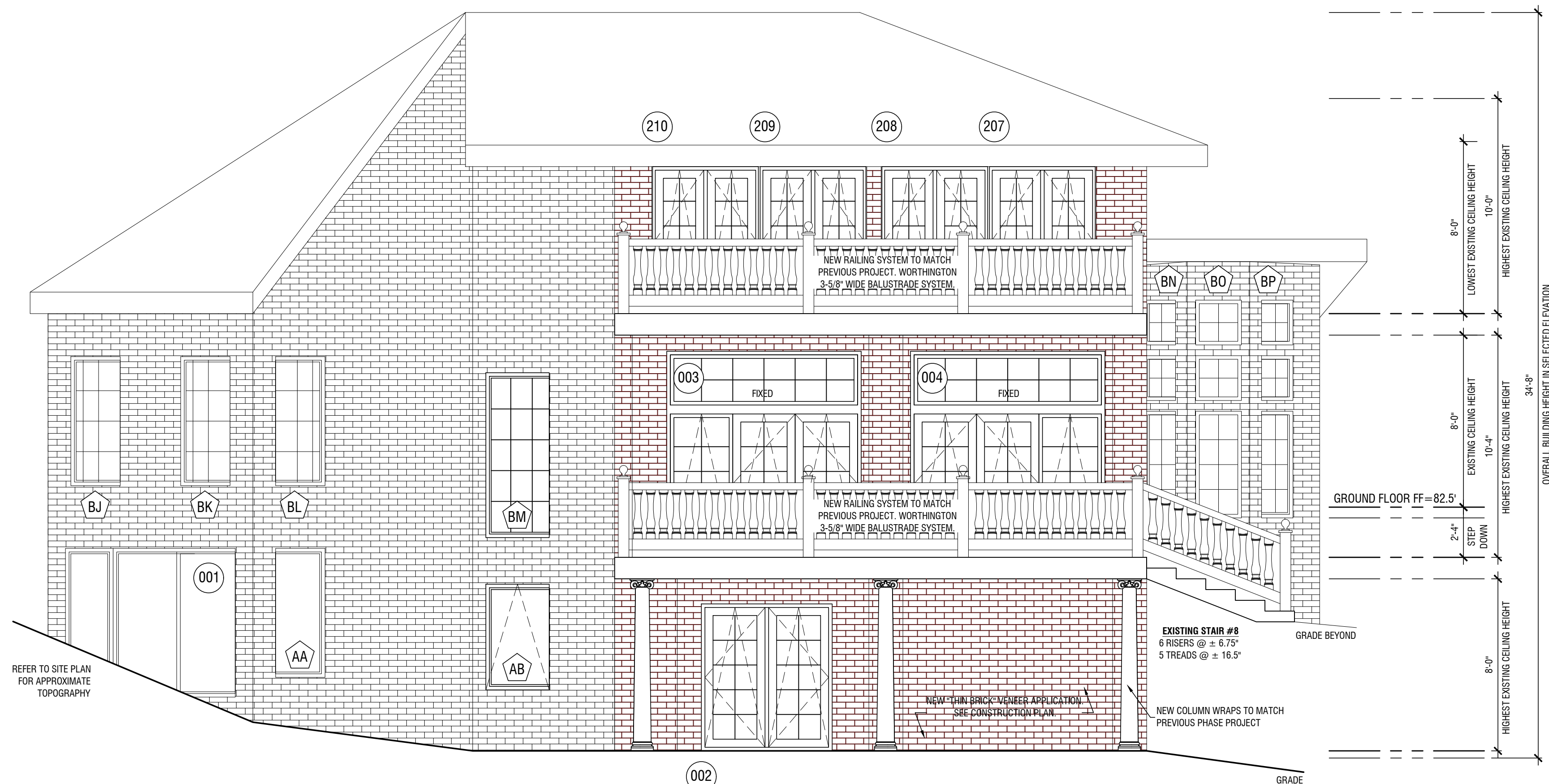
**W PROPOSED EAST ELEVATION**  
 SCALE: 1/4"=1'-0"



**SW PROPOSED MAIN ENTRANCE ELEVATION**  
 SCALE: 1/4"=1'-0"



**BALUSTRADE DETAIL**  
 SCALE: 1"=1'-0"



**E PROPOSED WEST ELEVATION**  
 SCALE: 1/4"=1'-0"

**RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**PROPOSED ELEVATIONS -  
 SHEET 1 OF 2**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MO 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015557-1 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA-010849-B  
 MA 9897 WI 11936-5  
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DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH  
 CHK. BY: TMR

DWG. NO. **A-301.00**  
 13 OF 23

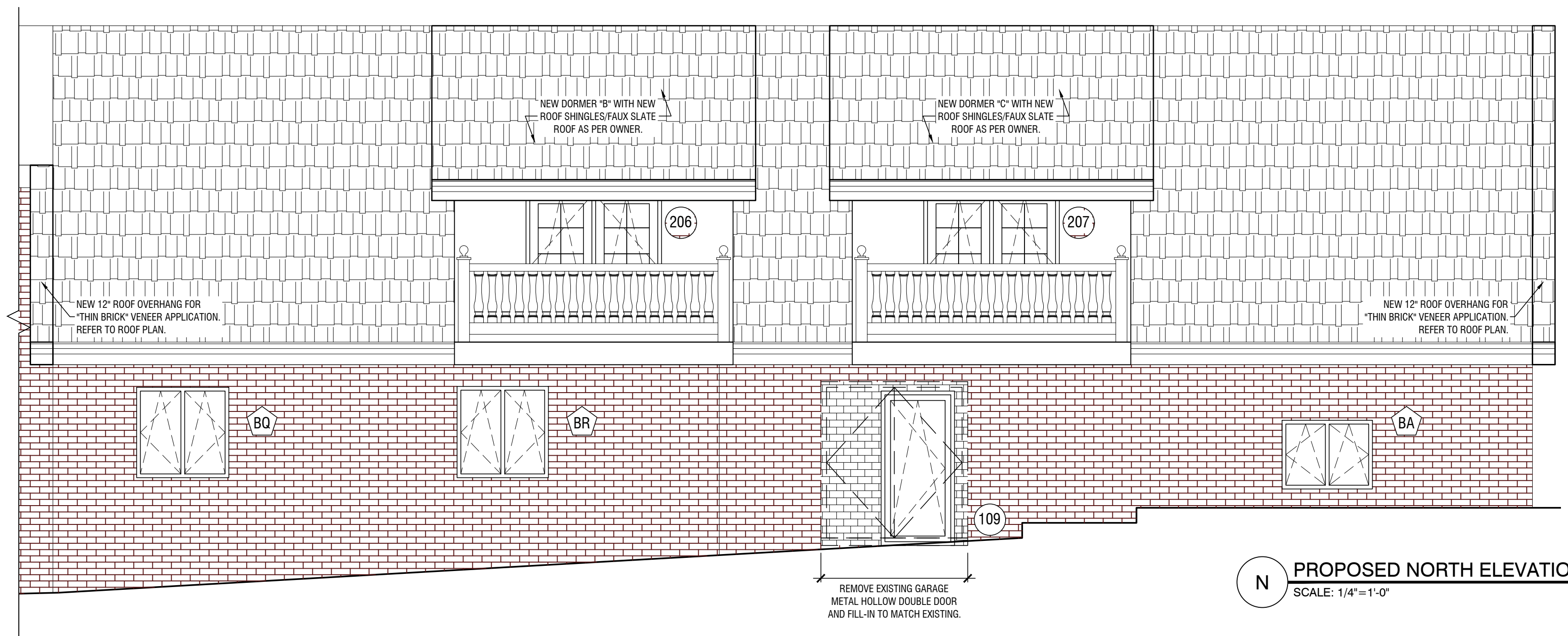
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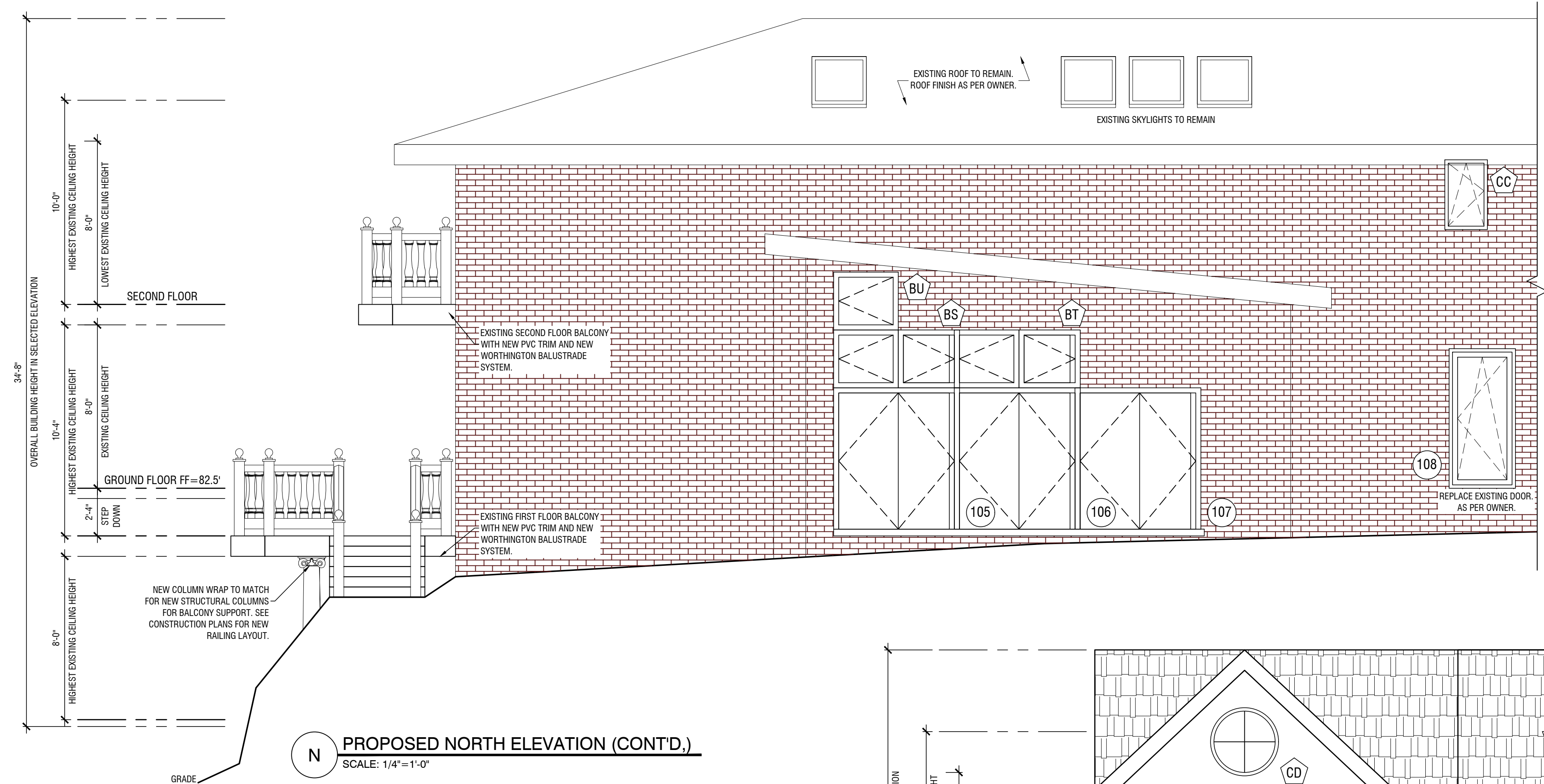
T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

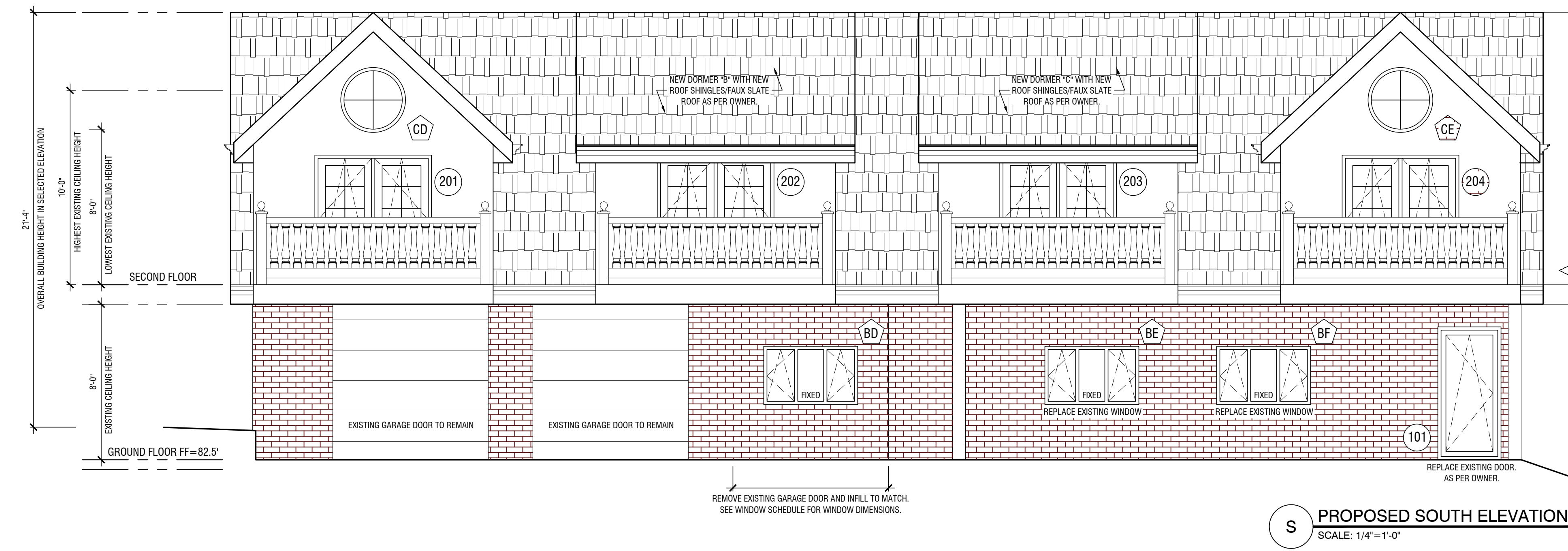
REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



**N PROPOSED NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**N PROPOSED NORTH ELEVATION (CONT'D.)**  
 SCALE: 1/4"=1'-0"



**S PROPOSED SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"

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**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**PROPOSED ELEVATIONS - SHEET 2 OF 2**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 0005320 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-0155571 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA 010849-B  
 MA 8887 WI 11936-5  
 MI 1301040380

NJ PROFESSIONAL PLANNER: 33100355400  
 NJ CERTIFIED INTERIOR DESIGNER: 211000028700



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DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH TMR  
 CHK. BY:

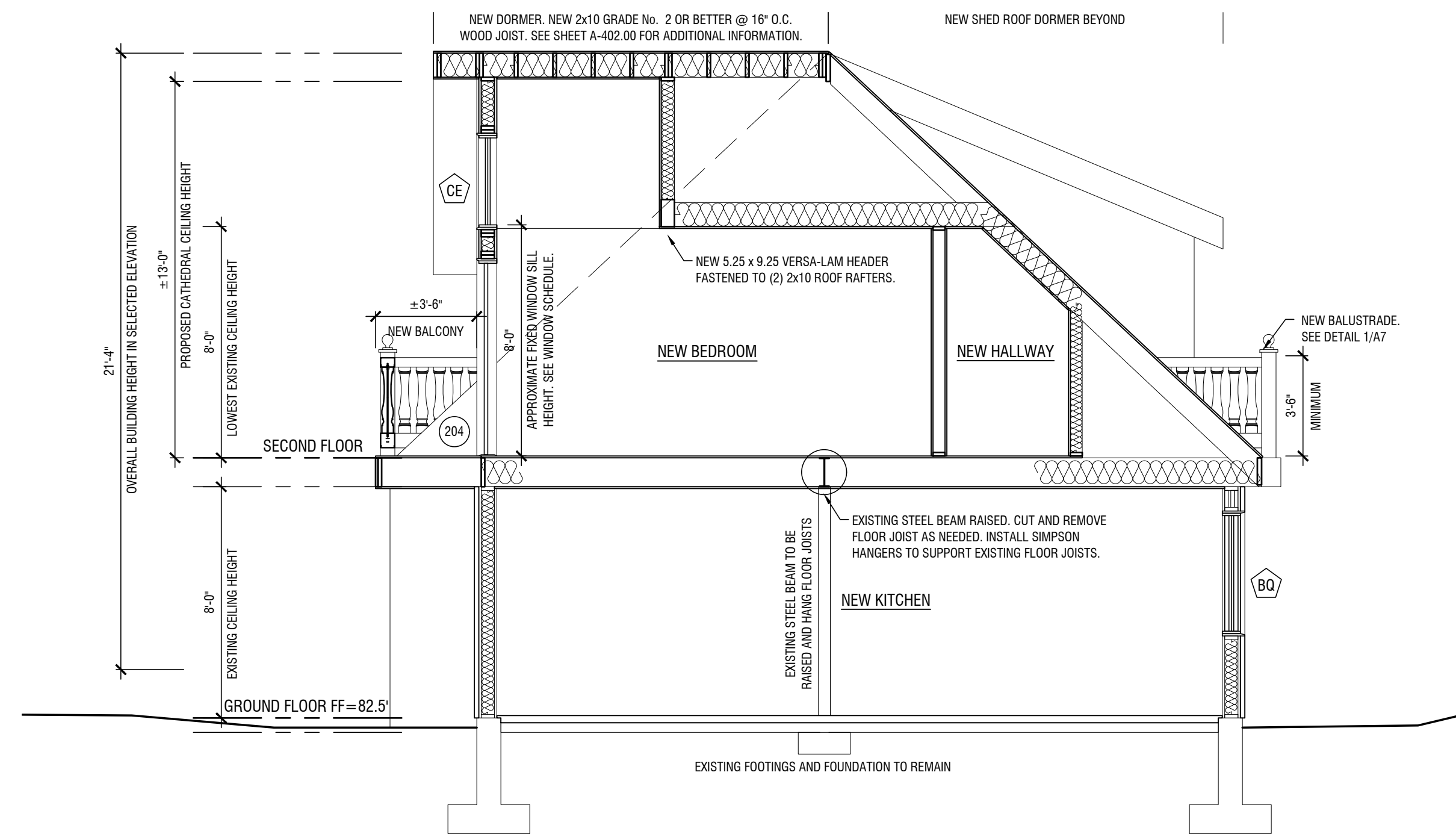
DWG. NO. A-302.00  
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 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



**A-A** PROPOSED BUILDING SECTION  
 SCALE: 1/4"=1'-0"

RENOVATION & ALTERATION  
 GUEST HOUSE  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 PROPOSED BUILDING SECTIONS

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A100962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 8887	WI 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00028700



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DATE: 09.12.19  
 SCALE: AS NOTED  
 DWN. BY: GH  
 JOB NO. 17-007  
 CHK. BY: TMR

DWG. NO.  
**A-400.00**  
 15 OF 23

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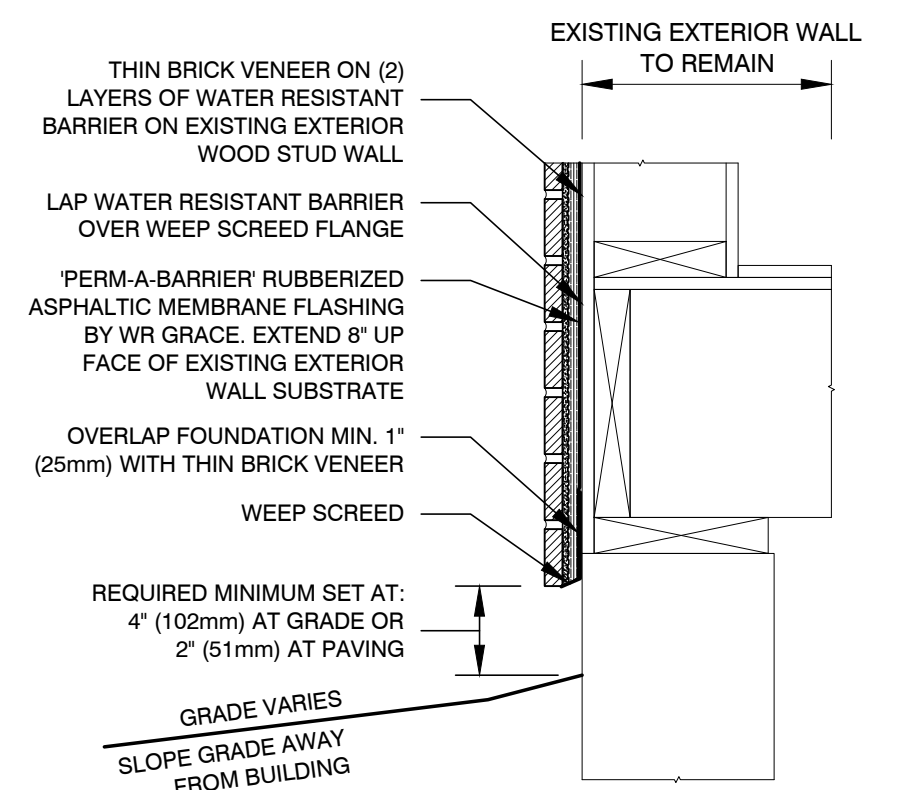
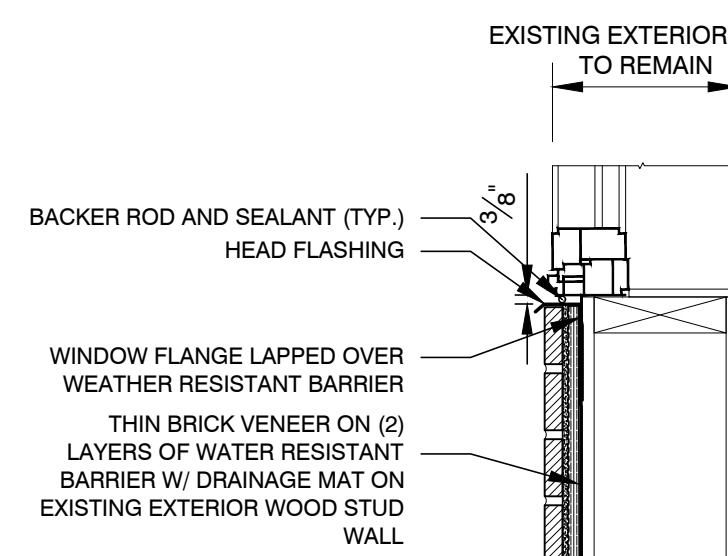
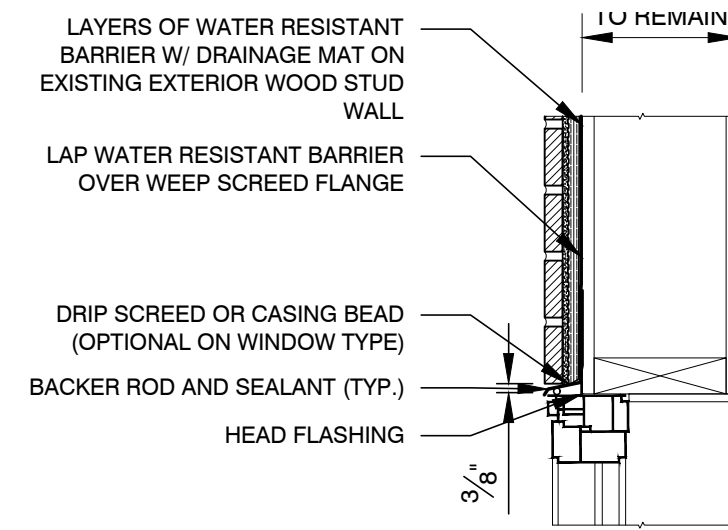
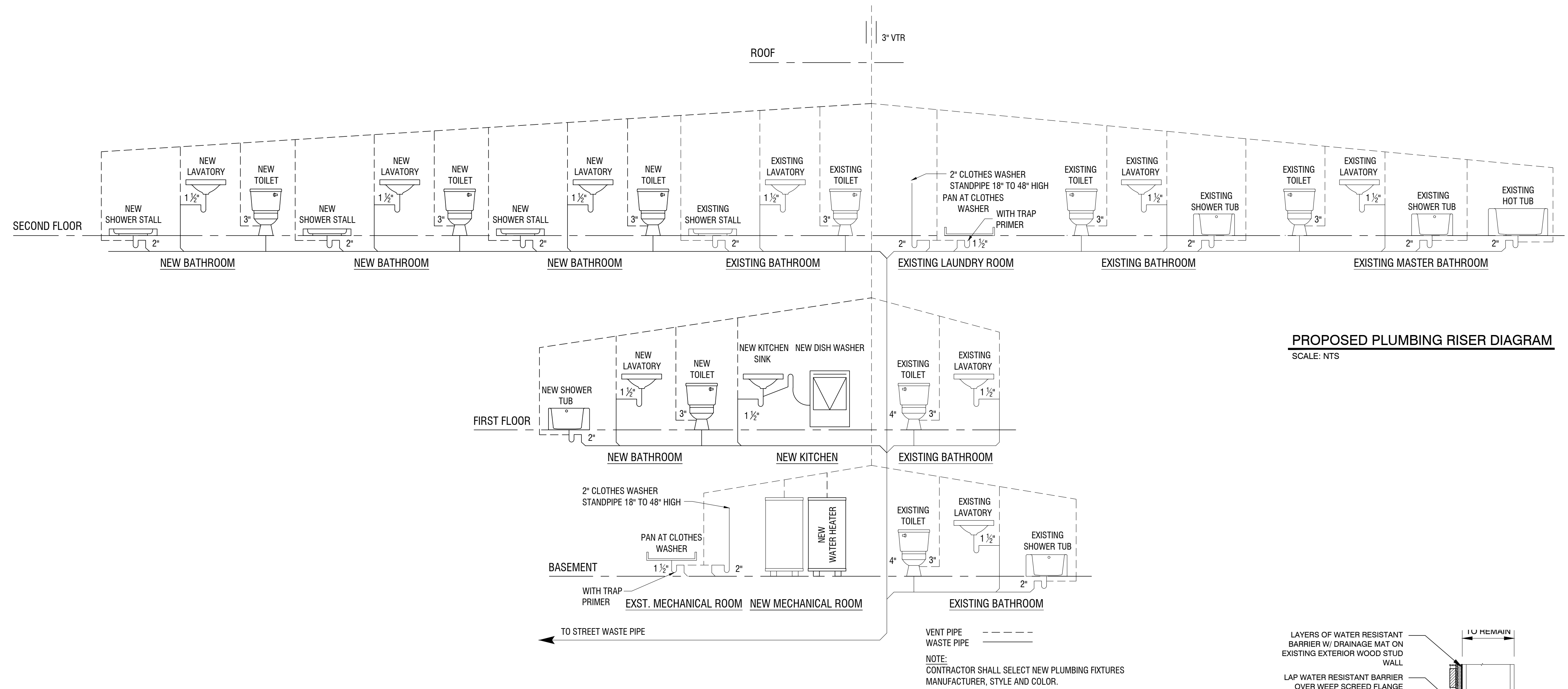




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 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION	DATE
1	SUBMITTED FOR FILING	01.06.2020



RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 PLUMBING RISER DIAGRAM AND WALL SECTIONS

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A00962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 9897	WI 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21D000026700



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DATE: 09.12.19  
 SCALE: AS NOTED  
 DWN. BY: GH

JOB NO.  
**17-007**  
 CHK. BY: TMR

DWG. NO.  
**A-402.00**  
 17 OF 23

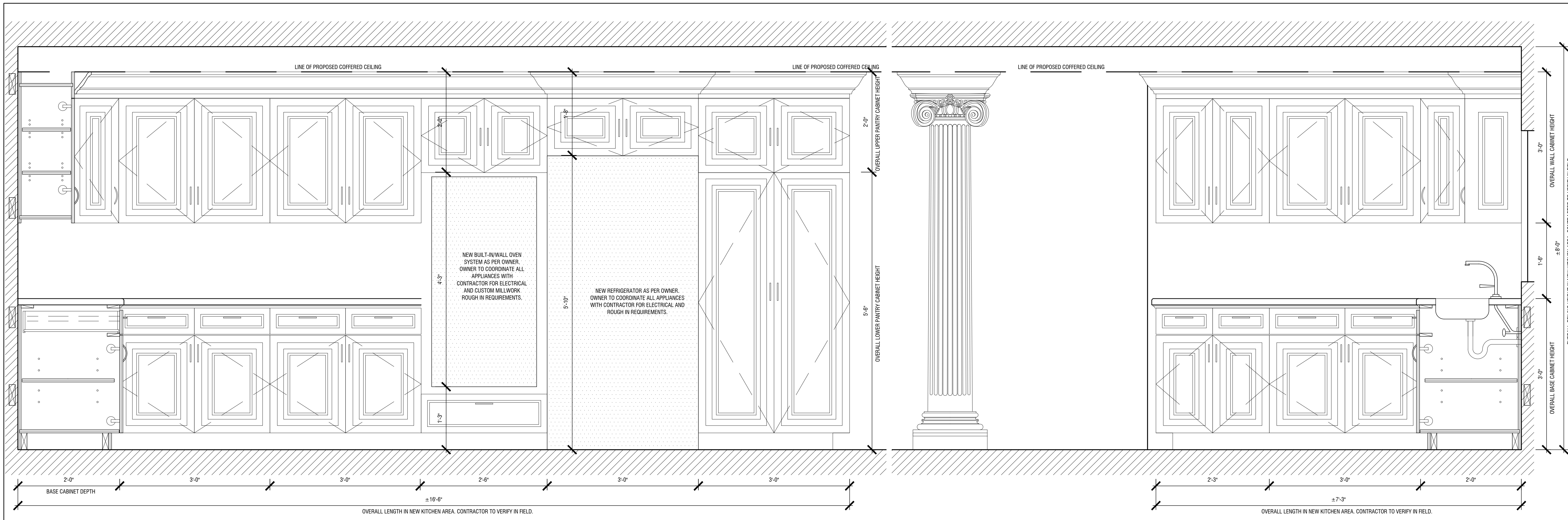
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T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

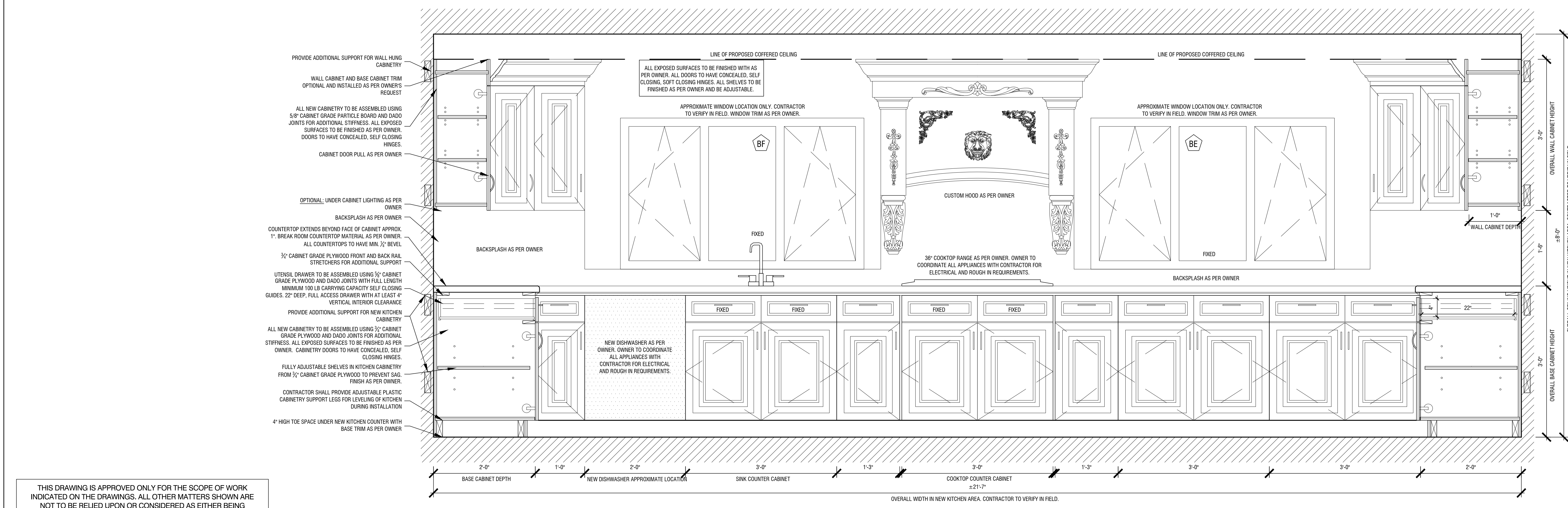
REVISIONS:  
REV # DESCRIPTION DATE  
SUBMITTED FOR FILING 01.06.2020

RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6



1 NEW KITCHEN CASEWORK  
SCALE: 1"=1'-0"

3 NEW KITCHEN CASEWORK  
SCALE: 1"=1'-0"



2 NEW KITCHEN CASEWORK  
SCALE: 1"=1'-0"

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DWG. TITLE:  
PROPOSED MILLWORK - SHEET 1 OF 3

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1  
CT 07284 MD 007521  
DE 0005320 NH 3078  
DC ARC101043 NJ 21A00962900  
IL 091-015551 NY 019357-1  
KS 4533 OH 1616619  
MD 7823 PA RA 010849-B  
MA 9897 WI 11936-5  
MI 1301040380



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DATE: 09.12.19 JOB NO. 17-007  
SCALE: AS NOTED  
DWN. BY: GH  
CHK. BY: TMR

DWG. NO. A-501.00  
18 OF 23

RENOVATION & ALTERATION  
 GUEST HOUSE  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 PROPOSED MILLWORK -  
 SHEET 2 OF 3

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 0005320 NH 3078  
 DC ARCH101043 NJ 21A00962900  
 IL 001-0155571 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA-010849-B  
 MA 9897 WI 11936-5  
 MI 1301040380

NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID000028700



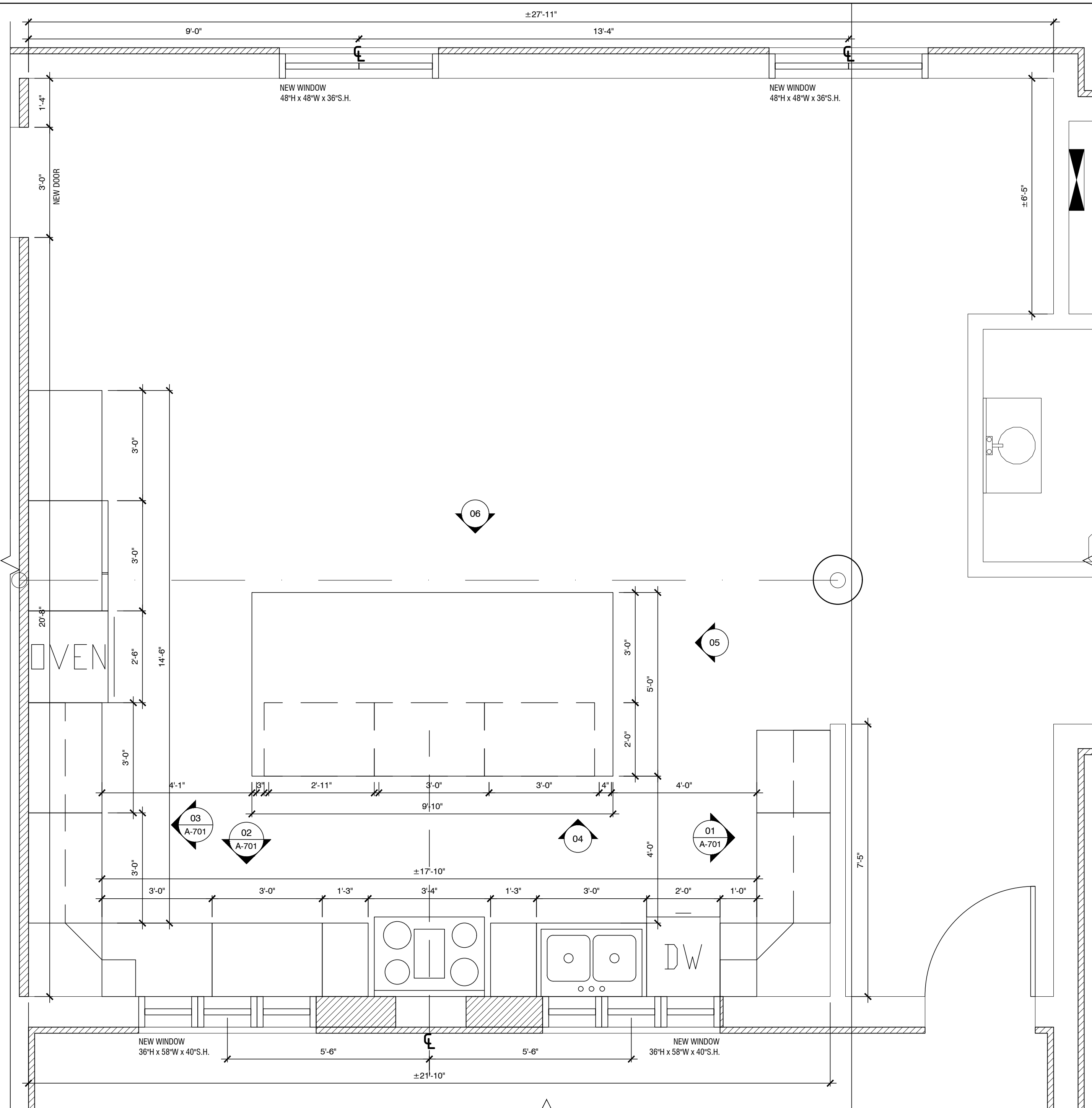
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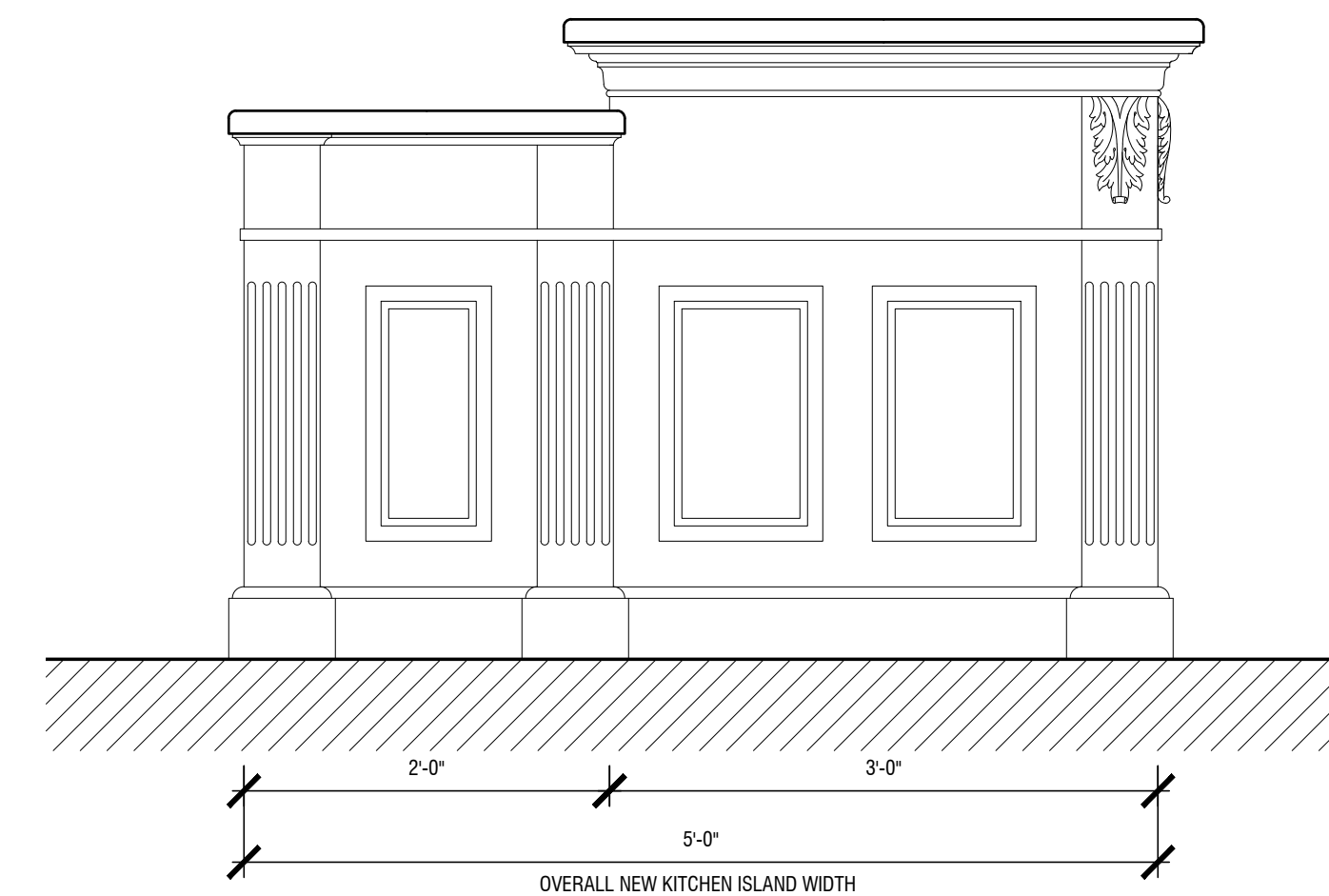
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DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

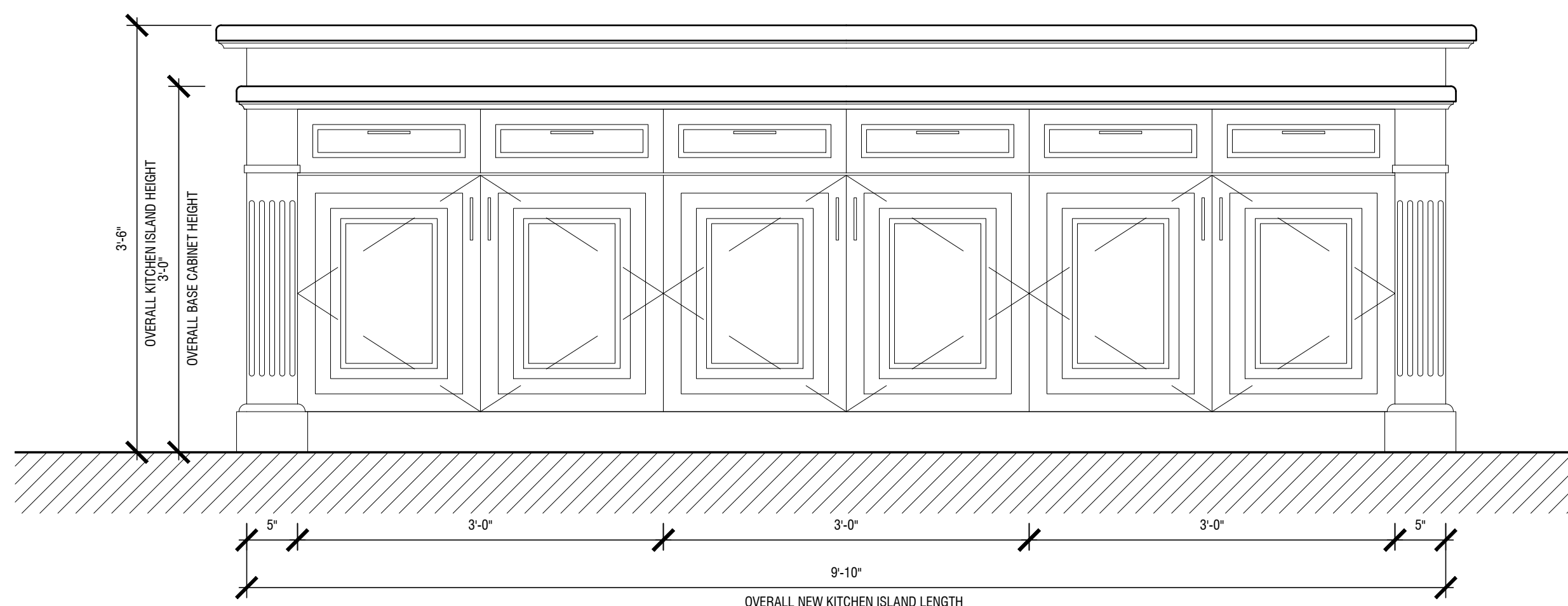
DWG. NO. A-502.00  
 19 OF 23



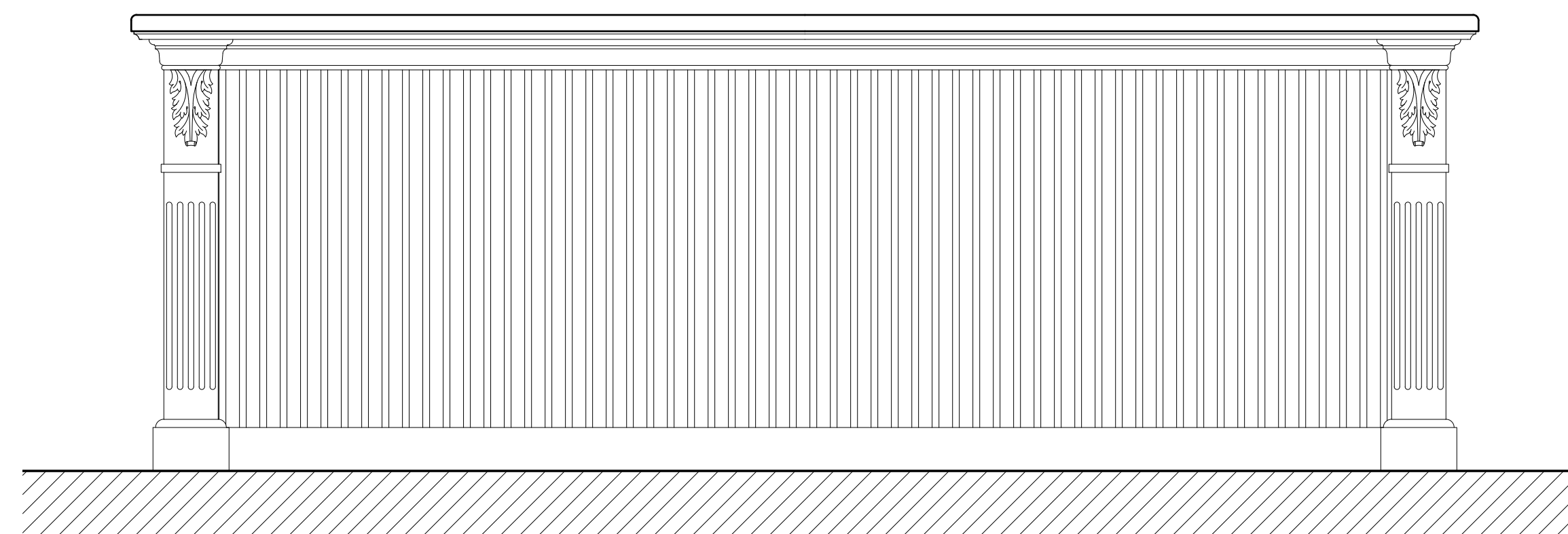
0 ENLARGED NEW KITCHEN PLAN  
 SCALE: 1/2"=1'-0"



05 NEW KITCHEN ISLAND ELEVATION  
 SCALE: 1"=1'-0"



04 NEW KITCHEN ISLAND ELEVATION  
 SCALE: 1"=1'-0"



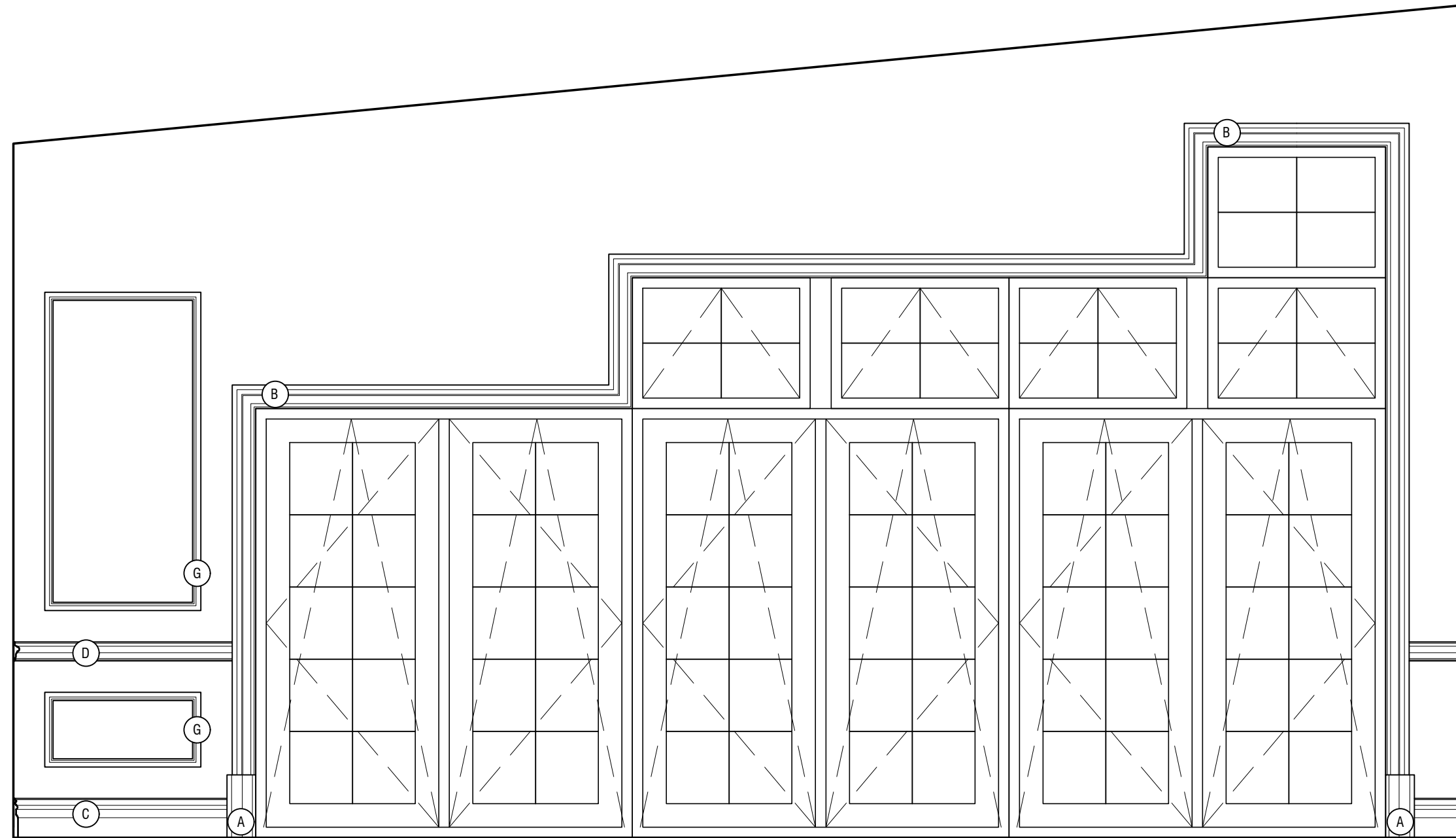
06 NEW KITCHEN ISLAND ELEVATION  
 SCALE: 1"=1'-0"

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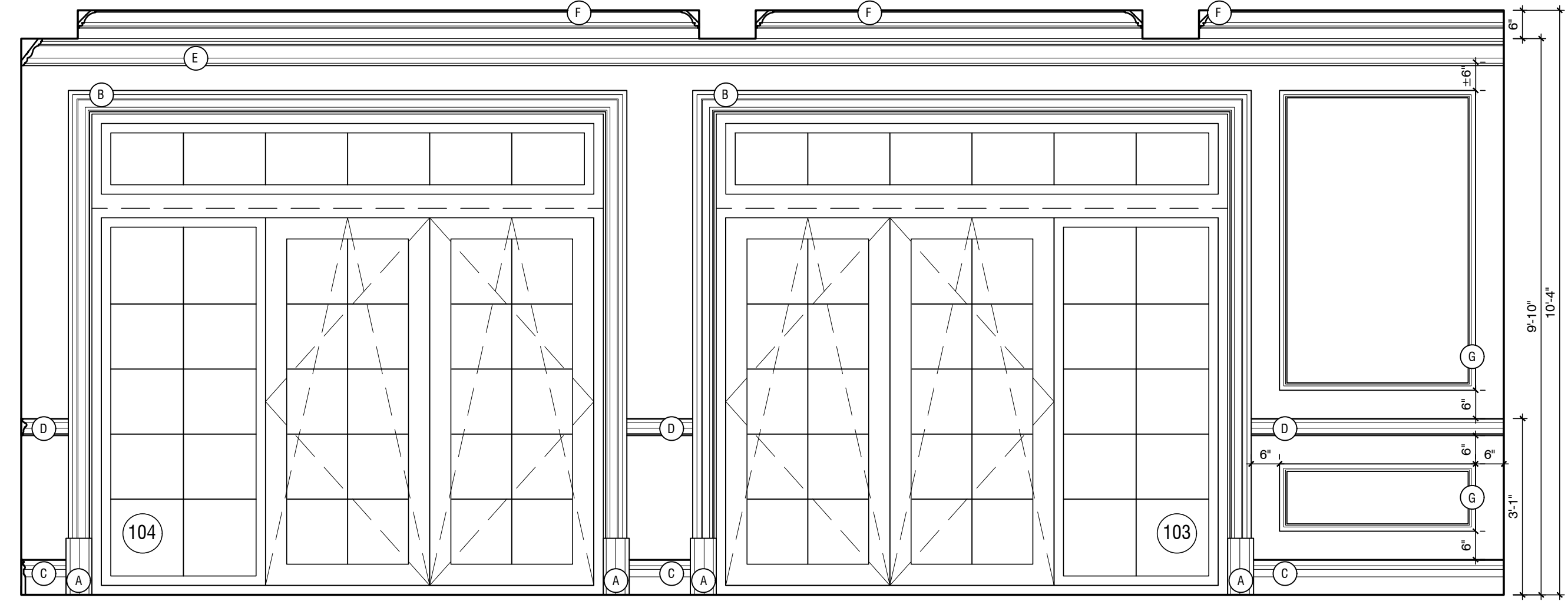


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 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:  
 REV # DESCRIPTION DATE  
 SUBMITTED FOR FILING 01.06.2020



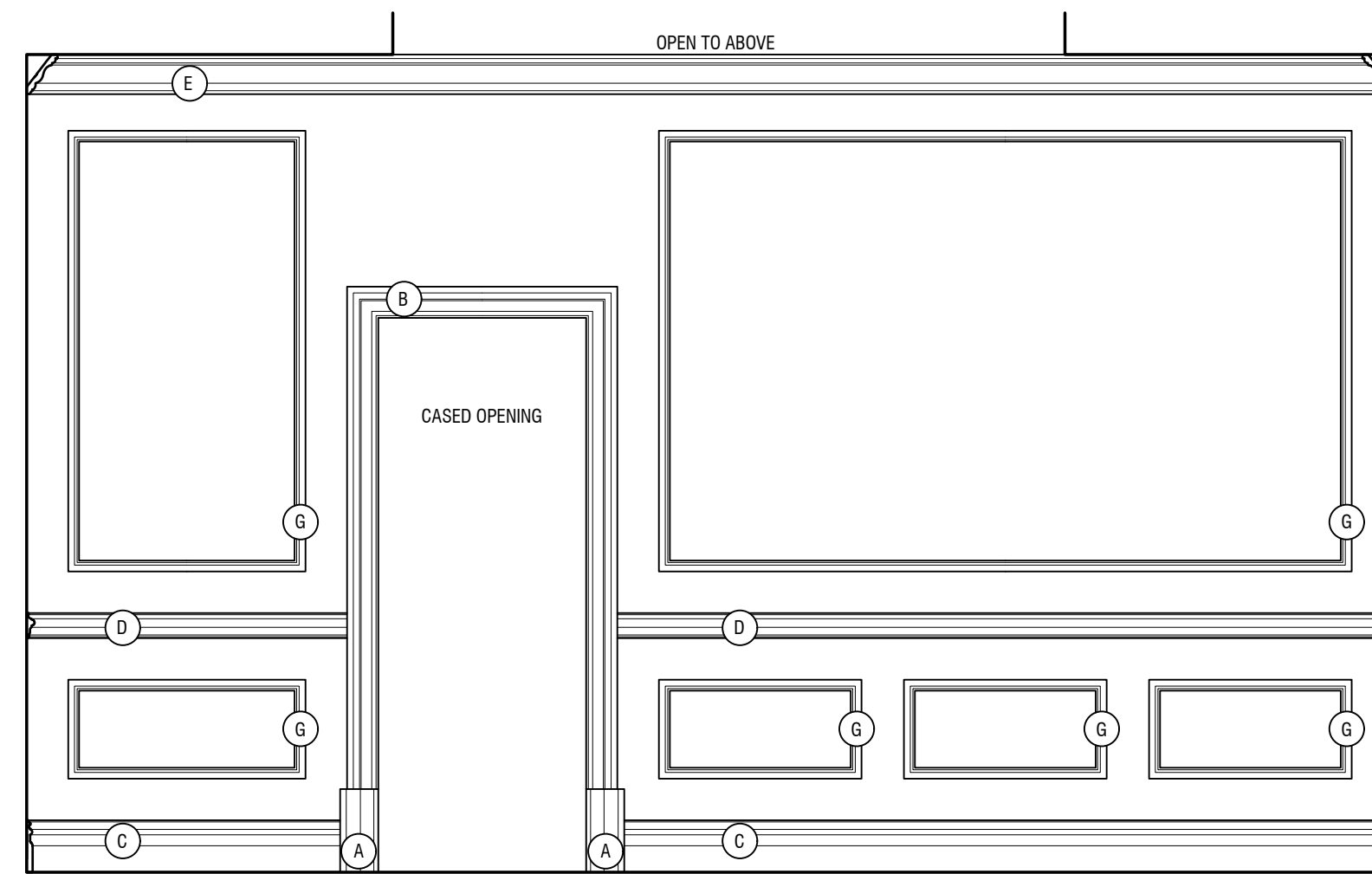
05 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"



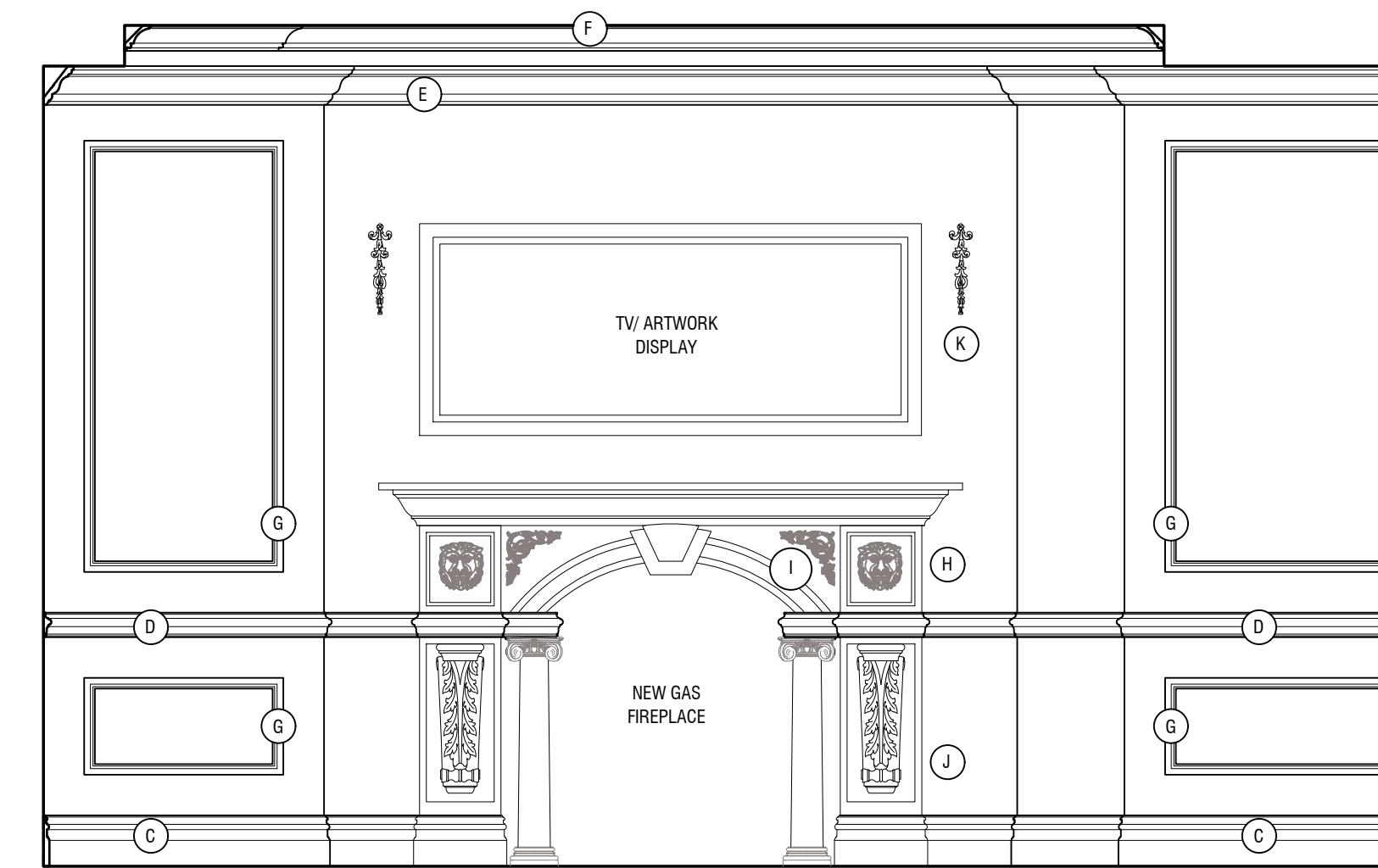
01 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"

MOULDING LEGEND

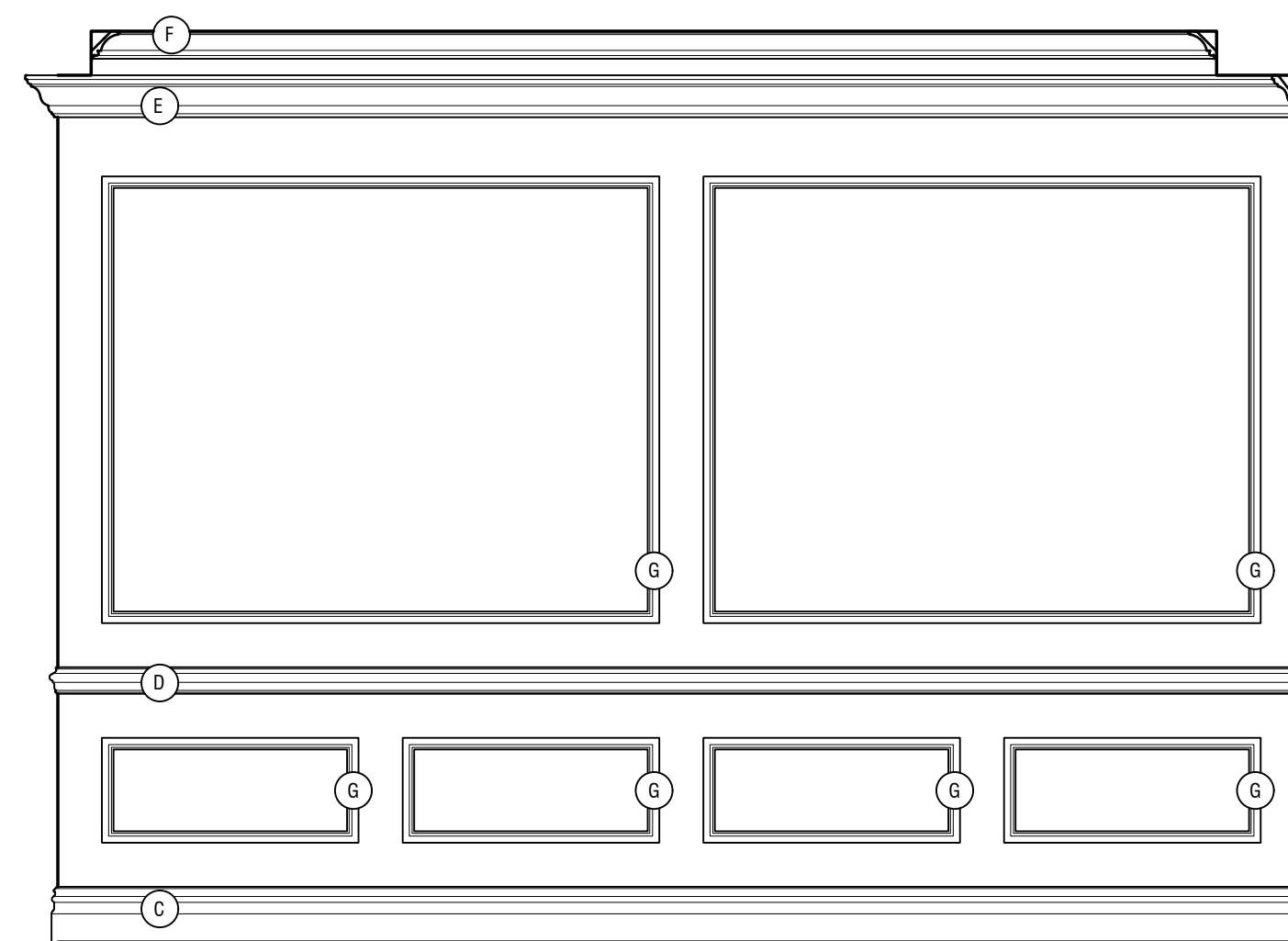
- A KUIKEN BROTHERS  
FLINTH BLOCK  
#PB550
- B KUIKEN BROTHERS  
BEAD & COVE CASING  
#KB142
- C KUIKEN BROTHERS  
SPECIAL BASE  
#KB217
- D KUIKEN BROTHERS  
CHAR RAIL / CASING  
#KB403
- E KUIKEN BROTHERS  
BEADED CROWN  
#KB352
- F KUIKEN BROTHERS  
BEADED COVE CROWN  
#KB331
- G KUIKEN BROTHERS  
PANEL  
#KB245
- H WHITE RIVER  
LIONS HEAD ROSETTE  
CRV 5195
- I WHITE RIVER  
FLORAL ACANTHUS SCROLLS  
CRV 5661
- J WHITE RIVER  
ACANTHUS CORBEL  
CRV 5119
- K WHITE RIVER  
PETITE DROP  
CRV 5643



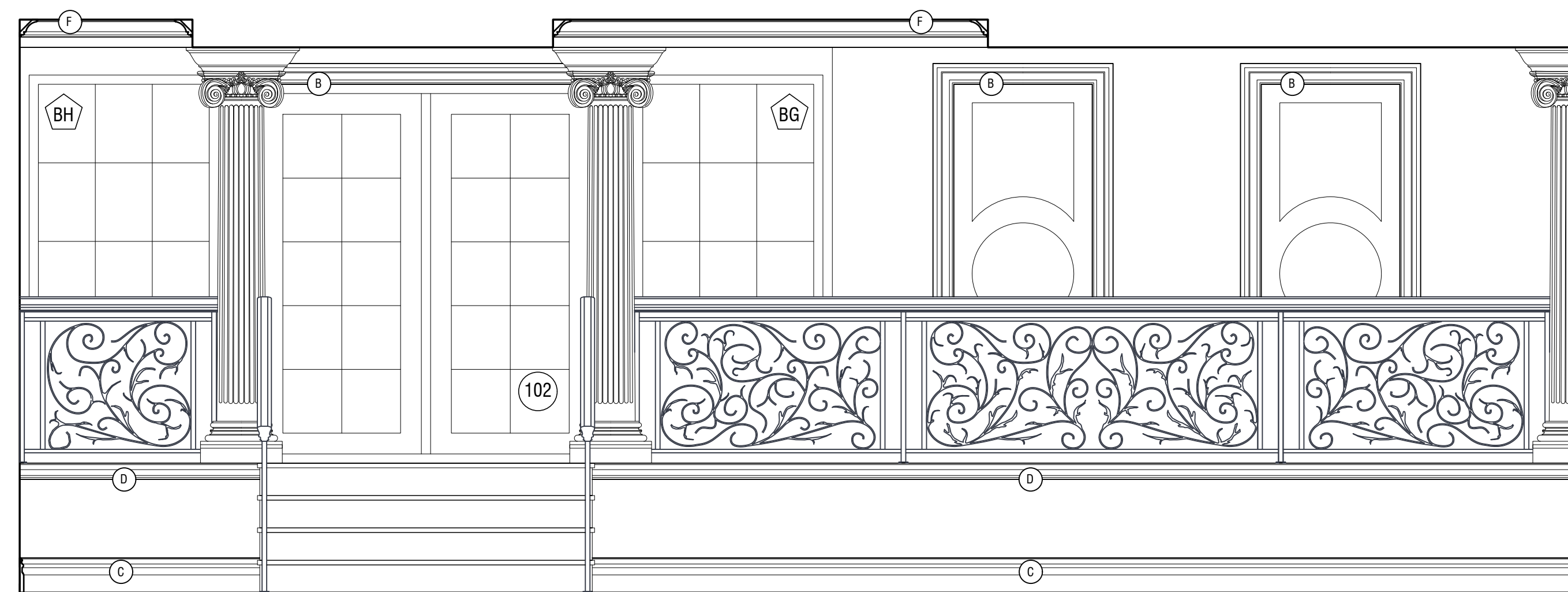
04 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"



02 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"



06 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"



03 NEW LIVING ROOM ELEVATION  
 SCALE: 1/2" = 1'-0"

RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:

PROPOSED MILLWORK -  
 SHEET 3 OF 3

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1

CT 07984	MD 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A00962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 9897	WI 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00026700



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 INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO  
 THE FULL EXTENT OF THE LAW.

DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO. A-503.00

20 OF 23

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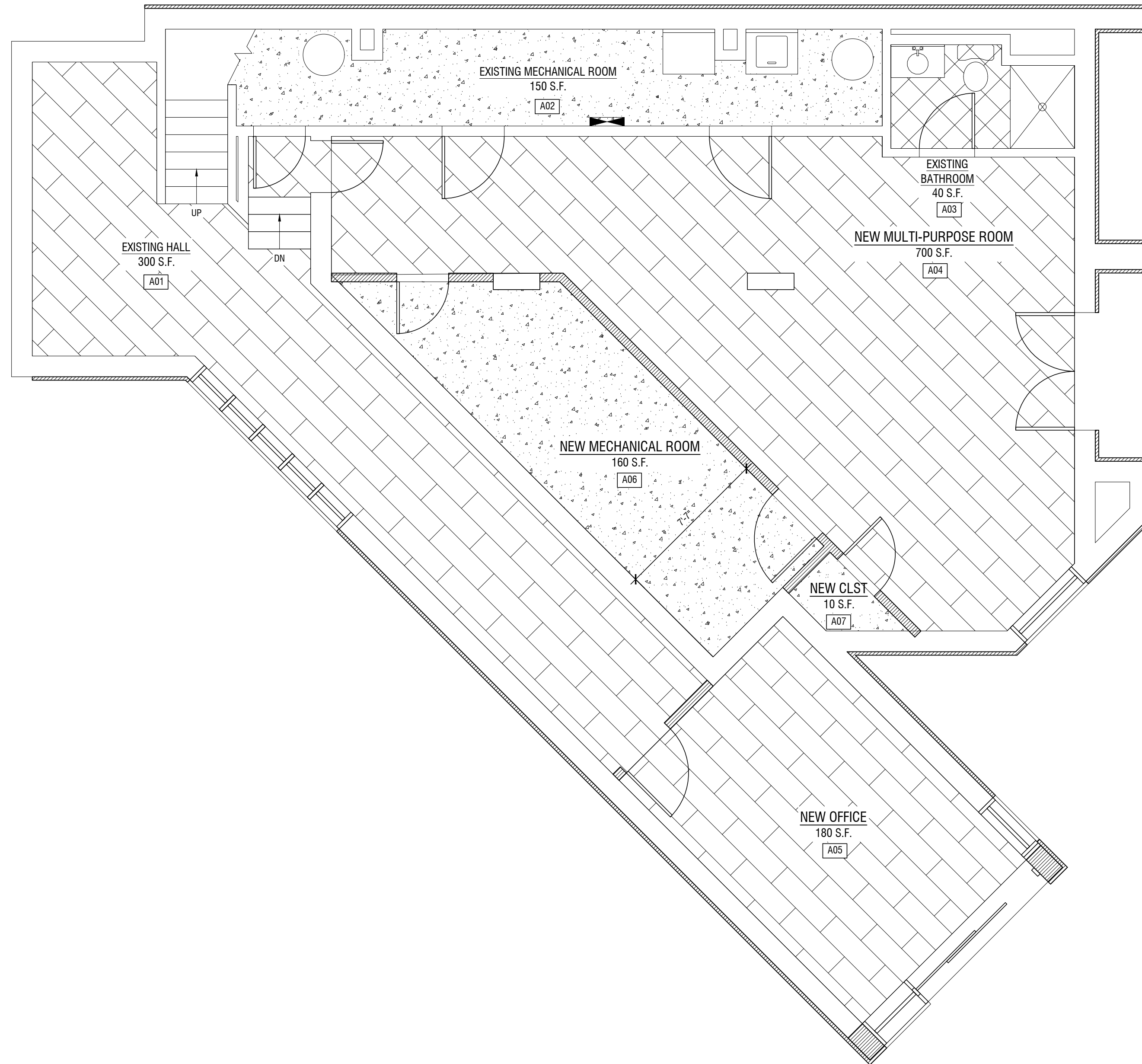




T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

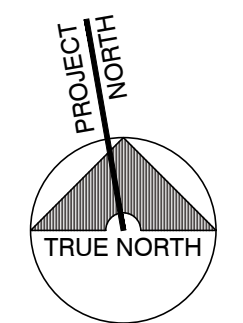
REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



RENOVATION & ALTERATION  
 GUEST HOUSE  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**FINISH PLAN AND NOTES - BASEMENT**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-015551 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA.010849-B  
 MA 9897 WI 11936-5  
 MI 1301040380  
 NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00026700



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DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO.  
**A-600.00**  
 21 OF 23

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WOOD DOOR AND FRAME WITH SIZE INDICATED. SEE PLANS FOR DOOR LOCATIONS. CONTRACTOR TO V.I.F.
- NEW EXTERIOR DOOR. SEE DOOR SCHEDULE. CONTRACTOR TO V.I.F.
- NEW WINDOW. SEE WINDOW SCHEDULE FOR WINDOW SIZES. CONTRACTOR TO V.I.F.
- NEW WALL. SEE WALL TYPE.

**0 FINISH PLAN - BASEMENT**  
 SCALE: 1/4"=1'-0"

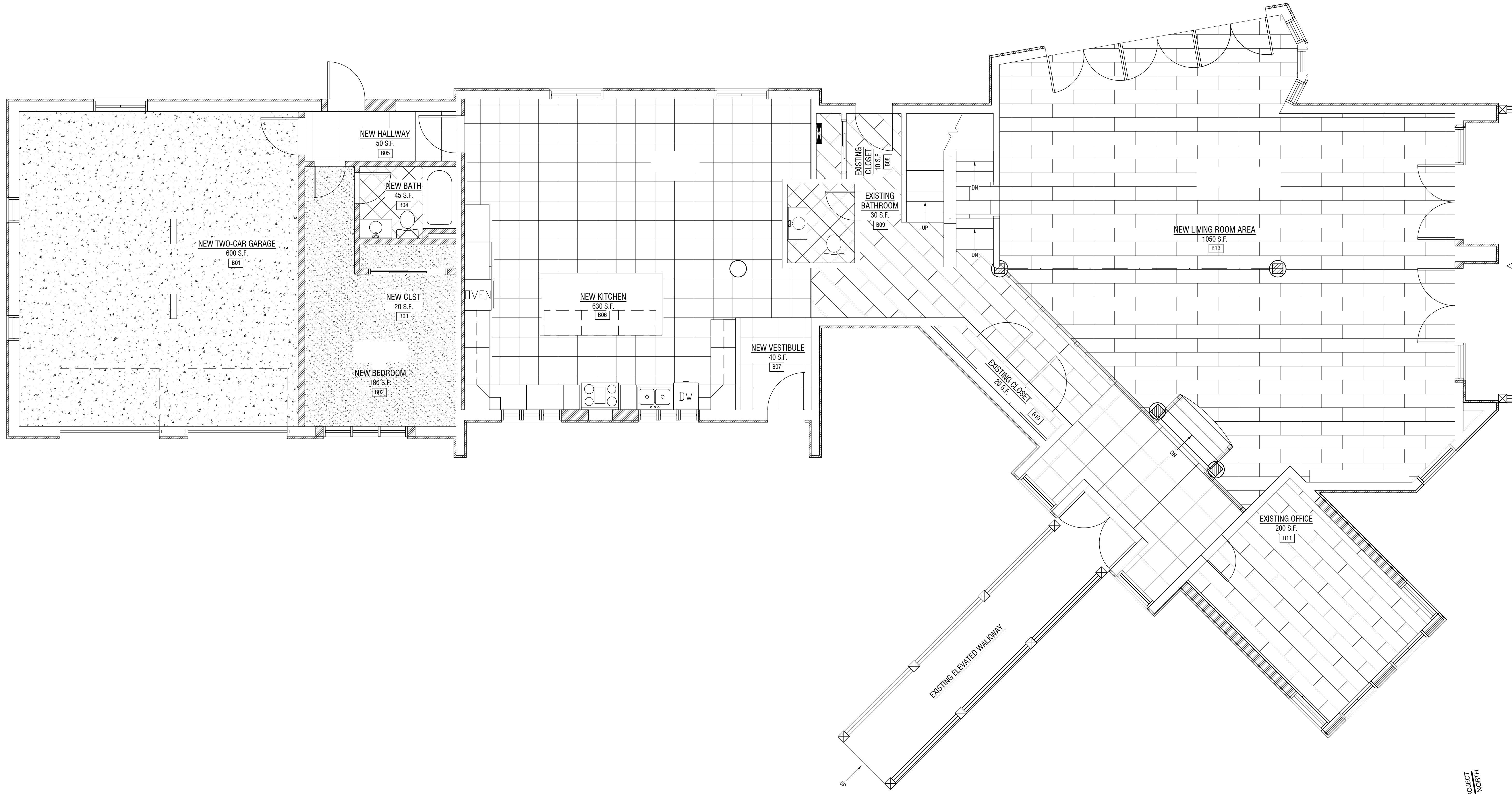
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 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020



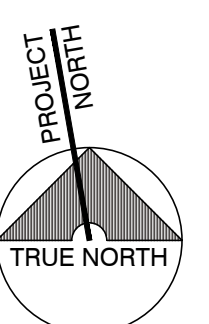
**RENOVATION & ALTERATION**  
**GUEST HOUSE**  
**RIVERCLIFF**  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
**FINISH PLAN AND NOTES - FIRST FLOOR**

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1

CT 07984	MD 007521
DE 000530	NH 3078
DC ARC101043	NJ 21A00962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA 010849-B
MA 9897	WI 11936-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 33L000355400  
 NJ CERTIFIED INTERIOR DESIGNER: 21ID00026700



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DATE: 09.12.19  
 SCALE: AS NOTED  
 DWN. BY: GH

JOB NO. 17-007  
 CHK. BY: TMR

DWG. NO.  
**A-601.00**  
 22 OF 23

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WOOD DOOR AND FRAME WITH SIZE INDICATED. SEE PLANS FOR DOOR LOCATIONS. CONTRACTOR TO V.I.F.
- NEW EXTERIOR DOOR. SEE DOOR SCHEDULE. CONTRACTOR TO V.I.F.
- NEW WINDOW. SEE WINDOW SCHEDULE FOR WINDOW SIZES. CONTRACTOR TO V.I.F.
- NEW WALL. SEE WALL TYPE.

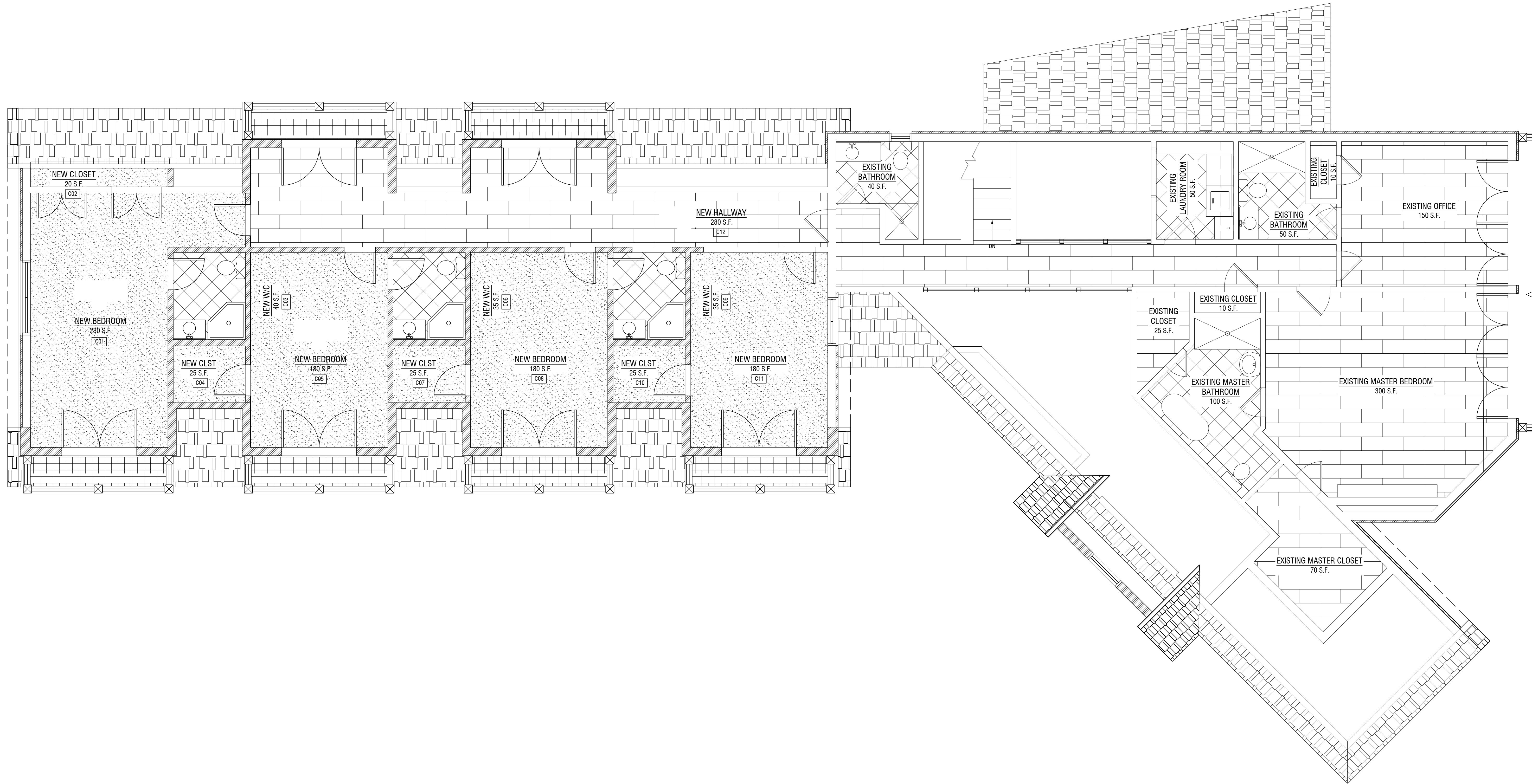
**1 FINISH PLAN - FIRST FLOOR**  
 SCALE: 1/4"=1'-0"

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T. M. RYBAK AND ASSOCIATES P. C.  
 15 WEST ERIE AVENUE  
 RUTHERFORD, NEW JERSEY 07070  
 T: 201-460-0473 F: 201-460-0931  
 ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:  
 REV # DESCRIPTION DATE  
 SUBMITTED FOR FILING 01.06.2020



RENOVATION & ALTERATION  
 GUEST HOUSE  
 RIVERCLIFF  
 645 N. BROADWAY  
 UPPER NYACK, NY 10960  
 ROCKLAND COUNTY  
 BLOCK 1 LOT 6

DWG. TITLE:  
 FINISH PLAN AND NOTES -  
 SECOND FLOOR

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1  
 CT 07984 MD 007521  
 DE 000530 NH 3078  
 DC ARC101043 NJ 21A00962900  
 IL 001-0155571 NY 019357-1  
 KS 4533 OH 1616619  
 MD 7823 PA RA.010849-B  
 MA 9897 WI 11936-5  
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 BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF  
 THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM  
 T.M. RYBAK AND ASSOCIATES, P.C. UNLAWFUL USE OF  
 INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO  
 THE FULL EXTENT OF THE LAW.

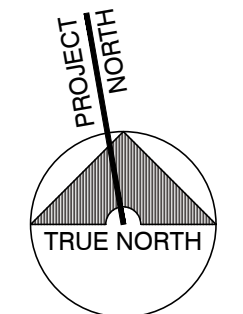
DATE: 09.12.19 JOB NO. 17-007  
 SCALE: AS NOTED  
 DWN. BY: GH CHK. BY: TMR

DWG. NO.  
**A-602.00**  
 23 OF 23

CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WOOD DOOR AND FRAME WITH SIZE INDICATED. SEE PLANS FOR DOOR LOCATIONS. CONTRACTOR TO V.I.F.
- NEW EXTERIOR DOOR. SEE DOOR SCHEDULE. CONTRACTOR TO V.I.F.
- NEW WINDOW. SEE WINDOW SCHEDULE FOR WINDOW SIZES. CONTRACTOR TO V.I.F.
- NEW WALL. SEE WALL TYPE.

2 FINISH PLAN - SECOND FLOOR  
 SCALE: 1/4"=1'-0"



THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



May 15, 2020

New York State Department of Environmental Conservation (DEC)  
21 South Putt Corners Road  
New Paltz, NY 12561

Attn: Sarah Pawliczak  
Environmental Analyst, Division of Environmental Permits

Re: Permit Application #3-3920-00419/00005-6  
Notice of Incomplete Application (NOIA)

Dear Ms. Pawliczak,

On behalf of 649 North Broadway, LLC, the Applicant, attached is a revised Joint Permit Application for the project located at 649 North Broadway, Upper Nyack, NY, requesting approval under New York State Department of Environmental Conservation (DEC) Docks, Mooring or Platforms. Work will be performed in compliance with all applicable U.S. Army Corps of Engineers (USACE) regulations and permits. Concurrently, we are requesting approval under Section 404 of the Clean Water Act and Section 10 of the Rivers and Harbors Act from the USACE for this project.

On March 18, 2020, TMS Waterfront (TMS) discussed the status of the permit application for the floating dock and seawall work with reviewers from the DEC, the USACE, and the New York Department of State (DOS). During this call, the DEC stated that due to the presence of submerged aquatic vegetation to the west and northwest sides of the existing pier, the proposed floating dock must extend eastward into the Hudson River. The DOS requires that in order to allow further encroachment into the Hudson River and coordinate with the DEC's requirements, the existing timber pier must be partially demolished and/or reconstructed to meet the dimensions that were previously permitted in 1999. Thus, the regulatory agencies agreed that in order to issue the environmental permits needed for this proposed floating dock, the existing timber pier must be altered to conform with the dimensions permitted in 1999.

Following March 18, 2020, TMS reviewed the design alternatives with the Owner, and now presents this revised permit application, which proposes the partial demolition and reconstruction of the eastern end of the existing timber pier to be in compliance with previously issued permits and the addition of the floating dock, which will extend eastward from the reconstructed timber pier.

By copy of this letter and the revised permit application documents, we are providing advance notification to the DOS and the OGS so they may continue their consistency reviews.

Thank you for your review of the permit application and we appreciate your timely review of this letter. Please let us know if you have any questions.

Very truly yours,  
The Office of TMS Waterfront

A handwritten signature in black ink, appearing to read "Shea E. Thorvaldsen". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Shea E. Thorvaldsen  
Agent for the Owner

Enclosures:  
Appendix A - Revised Permit Documents  
Appendix B - Revised Permit Drawings

Cc: 649 North Broadway, LLC

649 North Broadway Waterfront

## JOINT PERMIT APPLICATION

Applicant:

---

649 North Broadway, LLC  
150 Broadway, Suite 900  
New York, NY 10038

Agent:

TMS Waterfront  
181 Westchester Avenue  
Port Chester, NY 10573

(Revision 1) May 2020  
September 2019



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## Agency Submittals

Attention: Regional Permit Administrator

**New York State Department of Environmental Conservation (NYSDEC)**

NYS DEC Region 3

21 South Putt Corners Road

New Paltz, NY 12561

(845) 256-3000

(3 Copies)

Attention: Western Permits Division - Regulatory Branch

**U.S. Army Corps of Engineers, New York District Office (USACE)**

26 Federal Plaza, Room 1937

New York, NY 10278-0090

(917) 790-8511

(1 Copy)

Attention: Consistency Review Unit Division of Coastal Resources

**New York State Department of State (NYSDOS)**

One Commerce Plaza

99 Washington Ave, Suite 1010

Albany, NY 12231-00001

(518) 474-6000

(1 Copy)

Attention: Bureau of Land Management

**New York State Office of General Services (NYSOGS)**

39<sup>th</sup> Floor, Corning Tower

Empire State Plaza

Albany, NY 12242

(518) 474-3899

(1 Copy)

Attention: Planning Board - Waterfront Consistency Review

**Village of Upper Nyack**

328 North Broadway

Upper Nyack, NY 10960

(845) 358-0084

(1 Copy)



**Section I**

**Project Narrative**

# 649 North Broadway Upper Nyack, New York

## PROJECT NARRATIVE

### 1. Introduction:

649 North Broadway, LLC, with mailing address at 150 Broadway, Suite 900, New York, NY 10038, the Applicant, proposes several waterfront improvements for the residential property at 649 North Broadway, Upper Nyack, New York. Improvements include the partial reconstruction of an existing timber pier, installation of a floating dock with gangway access to the edge of the existing pier, and repairs to failing sections of the existing seawall.

### 2. Site Location and Description:

This project is in Rockland County, along the west bank of the Hudson River, north of the Mario Cuomo Bridge. The project is proposed for a private residence, located at:

Lat: 41 degrees, 7 min, 3.74 seconds North  
Long: 73 degrees, 54 mins, 46.29 seconds West

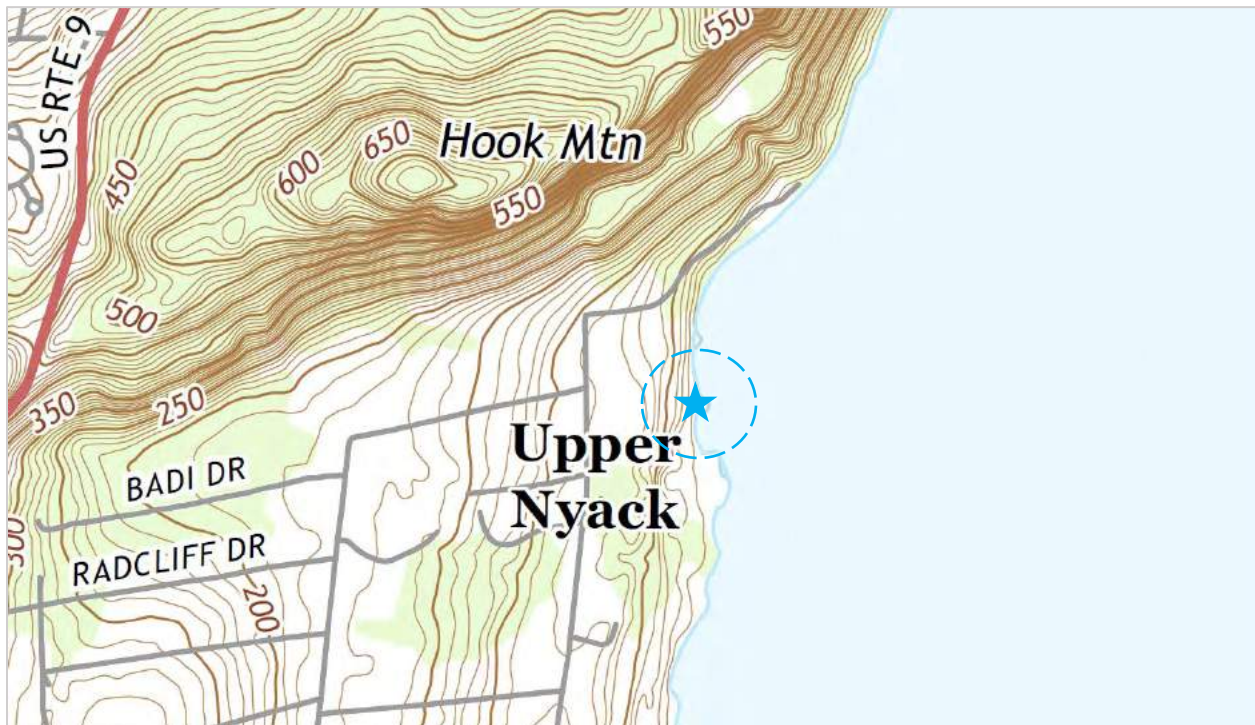


Figure 1: Project Location (Source: USGS).



# 649 North Broadway Upper Nyack, New York



Photograph 1: Existing Pier and Seawall – Facing southeast.

### 3. Project Purpose and Need

The waterfront at 649 North Broadway is composed of a stone seawall, a “T”-shaped timber fixed pier, and one 3-pile timber dolphin. The natural stone, hand pointed, seawall ranges from 3 to 20 feet in height and is approximately 240 linear feet long. The timber pier is supported by 30, 12-inch diameter timber piles. The pier is approximately 124 feet long and 8 feet wide; the last 10 feet of the pier is 31 feet wide. Total existing coverage is roughly 1,220 square feet. The elevation of the top of the pier deck is +5.3’ (NAVD88) and is accessed by the top of the seawall, which is flush with the pier deck at that elevation. The timber pier and seawall were severely damaged by Superstorm Sandy in 2012, and though the timber pier was repaired by previous ownership immediately following Sandy, the seawall has continued to deteriorate.

**Proposed rehabilitation of the seawall is in place and in-kind, re-using as many of the existing materials as possible. A floating dock is proposed to enable vessel access for the property owners. Pier reconstruction is proposed to reduce the coverage over and encroachment into the Hudson River. On March 18, 2020, TMS Waterfront (the Applicant) discussed the status of the permit**



# 649 North Broadway Upper Nyack, New York

application for the floating dock and seawall work with reviewers from the New York Department of Environmental Conservation, the U.S. Army Corps of Engineers, and the New York Department of State. During this call, the DEC stated that due to the presence of submerged aquatic vegetation to the west and northwest sides of the existing pier, the proposed floating dock must extend eastward into the Hudson River. The DOS requires that in order to allow further encroachment into the Hudson River and coordinate with the DEC's requirements, the existing timber pier must be partially demolished and/or reconstructed to meet the dimensions that were previously permitted in 1999. Thus, the regulatory agencies agreed that in order to issue the environmental permits needed for this proposed floating dock, the existing timber pier must be altered to conform with the dimensions permitted in 1999. Following March 18, 2020, the Applicant reviewed the design alternatives with the Owner, and now presents this revised permit application, which proposes the partial demolition and reconstruction of the eastern end of the existing timber pier to be in compliance with previously issued permits and the addition of the floating dock, which will extend eastward from the reconstructed timber pier.

The proposed changes are reasonable measures needed at the site to restore and provide long-term site stabilization and protection, reduce potential impacts of future storms, and increase access to the waterfront for recreational activities, while minimizing exposure to unnecessary environmental impacts.

#### **4. Description of Proposed Action**

Each proposed area of waterfront improvement has different actions associated:

##### *Existing Pier*

The eastern edge of the existing timber pier, the top of the "T", will be reconstructed to change the width from 10 feet to 8 feet. The outermost bent and timber decking of the pier will be removed to facilitate the pier reconstruction. Five new, 12-inch diameter timber piles will be installed using soft start vibratory methods to support the pier deck.

##### *Seawall*

The seawall needs to be rehabilitated to ensure stability and resiliency to retain the shoreline and embankment. While a majority of the wall is functional, approximately 55 linear feet of the wall is undermined and needs to be removed and rebuilt to prevent collapse. For these areas, the section of seawall and fill materials will be removed, the stone will be cleaned and sorted for reuse, and the wall will be rebuilt by reusing larger stones along the base course and the other smaller stones in the upper portion of the wall. A geotextile filter fabric layer will be placed on the stone wall and the area excavated for the wall reconstruction will be backfilled. Stone will be placed on the waterward side of the seawall base to prevent further erosion and scouring, the top apron of the entire seawall will be chinked (in-kind), and a landward gravel trench drain will be constructed. Voids and the existing footing will be grouted, and all the existing seawall face chinked to keep the existing stonework dry. Work on the seawall will be conducted from land.



# 649 North Broadway Upper Nyack, New York

## *Floating Dock*

A new floating dock (8 feet by 40 feet) will be positioned on the east end of the existing pier, extending towards the eastern bank of the Hudson River. The dock will be accessible from the existing pier by a gangway (4 feet x 40 feet). The floating dock will accommodate a motorized pontoon vessel, approximately 35-foot long with a draft up to 4 feet. The dock will be secured by two (2) 16-inch diameter steel pipe piles. Work on the pile-supported floating dock will be done from a floating barge.

## **5. Engineering and Construction Discussion:**

The design of the floating dock and seawall rehabilitation was formulated through discussions between the Owner, Consultant, Engineer, and the Regulatory Agencies (i.e. the U.S. Army Corps of Engineers, the New York State Department of Environmental Conservation, and the New York Department of State). The size and placement of the dock meets berthing requirements, minimizes shading, and is designed with consideration of ASCE 24-14, *Flood Resistant Design and Construction*.

The seawall rehabilitation construction would be performed with a land-based excavator. Sections of wall will be inspected, identified, and marked. At each section for repair, the contractor will excavate the soils and materials from behind the seawall and stabilize the slopes prior to reconstructing the seawall. In general, the seawall will be reconstructed from bottom to top, placing the stone in order of largest stones at the base and smaller stones at the top. The contractor will place a geotextile filter fabric on the landward face of the seawall and will backfill the work area with clean granular fill. A gravel trench drain, lined with geotextile filter fabric, will be constructed behind the entire length of the wall to facilitate drainage and minimize hydraulic pressure. Minor cracks in the remaining seawall will be grouted as a lower-impact alternative to complete restoration. The top of the seawall (approximately 3-feet wide) will be restored and the entirety of the top surface of the seawall will be repointed.

For demolition and reconstruction of the eastern edge of the existing timber pier, work would be done using an excavator or crane aboard a small work barge. Piles would be removed with vibration, and if unable to pull out, piles would be cut off 6" below the mudline. For construction of the floating dock, piles will be installed by an excavator or crane aboard a small work barge. Piles will be installed using vibratory methods unless substrate conditions prohibit this method. If this occurs, piles will be drilled. Turbidity curtains will be used around the work area to minimize impacts caused by any temporary increases in turbidity due to construction. Pile locations will be laid out ahead of time to mark driving points. All work requiring machinery will be performed via the working barge.



# 649 North Broadway Upper Nyack, New York

## 6. Project Impacts

- 6.1. **Impact on Land** – The project area is a waterfront floating dock and seawall and will not have a significant impact on land. There are no impacts to land due to the dock work. Impacts from the seawall work are temporary in nature, specifically soil erosion and disturbance during construction. This impact will be minimized using storm water management practices (hay bales, silt fence, and turbidity curtains) and the waterfront area will be restored after construction.
- 6.2. **Impact on Water** – The project site involves construction along the Hudson River. Short term impacts caused by driving the piles may include increased turbidity, which will most likely not be observable due to the depth of water at the site and will be minimized by using turbidity curtains. Coverage from the floating dock and gangway will be approximately 400 square feet; reconstructing the timber pier will result in approximately 62 square feet of reduced coverage, resulting in a net coverage increase of 338 square feet. In-water work due to the seawall reconstruction will be limited and temporary. There are no discharges, effluents, or additional in-water structures proposed as part of this work, however, existing stone and riprap will be relocated/placed along the base of the seawall – within the existing seawall footprint – to prevent scouring and erosion. If no riprap is available for reuse, a maximum of 10 cubic yards will be imported.

Removal of the seawall will have temporary, localized impacts on water due to erosion and silt/stone exposure to the river. The seawall will be replaced in kind and aside from restoring the eroded/undermined seawall sections to their original form, there will be no fill. Any open excavation that could experience inundation from tidal fluctuation will not be left overnight. The exact width of the seawall at its base is unknown and will be determined prior to work, however it is anticipated to be between 3 and 8 feet wide. This correlates to between 30 and 78 cubic yards of material that will be removed and restored below the MHW line as part of the seawall restoration work. The project will allow the Owner access to water dependent recreational activities while preserving and stabilizing a deteriorating waterfront.

- 6.3. **Impact on Air** – This project will add no industrial equipment (stationary) that produces emissions. The material handling equipment will meet New York State requirements for non-road construction equipment emissions. The project will not impact air.
- 6.4. **Impacts on Transportation** – The proposed dock is not located within a navigational channel and will not impact waterborne transportation. Additionally, resources used for the project construction are sourced locally or are already on-site. This reduces impacts associated with transporting materials.



## 649 North Broadway Upper Nyack, New York

- 6.5. **Impact on Energy** - There is no impact on local energy resources, as the project includes no electrical conveyance. Additionally, resources used for the project construction are sourced locally or are already on-site. This reduces impacts associated with producing materials.
- 6.6. **Impact on Plants and Animals and Significant Habitats** - The project is located in a critical habitat area for Atlantic sturgeon, and within the Hudson River estuary. As such, it is anticipated that a moratorium on in-water work will be enforced for pile driving. Furthermore, the substrate is comprised of muds and organics which are not conducive to sturgeon spawning, so work is not anticipated to negatively impact Atlantic sturgeon. Submerged aquatic vegetation (SAV) was identified by the New York State Department of Environmental Conservation in the vicinity of the project, but not below the proposed location for the dock and gangway; the SAV is closer to the western shore of the Hudson River. Shading caused by the gangway 40 square feet, but the narrow width of the gangway will not create any permanent shading areas. Shading caused by the floating dock is 320 square feet, of which approximately 60-80 square feet will be permanent shading. This may be mitigated by moving the dock seasonally.
- Impacts caused by vessel operations will be minimal, as the intended use is for recreation. The minimum distance between the vessel and substrate is 1.5 to 1.7 feet at MLLW. This distance should minimize impacts of the vessel to the habitat. The performance of the work in accordance with the moratorium in this area is expected to result in negligible or no impact to plants and animals and significant habitats. Please see the attached EFH Assessment form for additional information.
- 6.7. **Impact on Aesthetic Resources** - At the request of the Owner, the new dock will not affect the aesthetics of the property. The view of and across the Hudson River will not be hindered by the dock. Work on the seawall will improve site conditions and aesthetics. The project will result in no negative impacts on aesthetic resources.
- 6.8. **Impact on Open Space and Recreation** - The project allows access for the Owner to the Open Space and Water Recreation in the Hudson River.
- 6.9. **Impact on Historic and Archeological Resources** - There are no documented historic or archaeological resources at the project site.
- 6.10. **Noise and Odor Impact** - The project involves the installation of timber and steel pipe piles and use of an excavator for pile driving (hammer and vibratory). Noise impacts are temporary in nature and considered to be non-impactful. Potential impacts of noise on wildlife will be negligible, as pile driving is anticipated to be performed within 2 days for in-water construction. There are no operations that will cause odor of any level. Potential



# 649 North Broadway Upper Nyack, New York

impacts of noise on wildlife will be negligible, as pile driving will be performed in accordance with any applicable moratoriums for in-water work.

## 7. Mitigation of Impacts

As identified above, in the Short EAF Form in Section II, the EFH Assessment, and the FCAF form in Section III, the impacts are not deemed to be significant on this site. The primary reason is that the project proposes historically-similar operations on site to those that are currently permitted. Moreover, the proposed rehabilitation aids in the extension of the overall life cycle and reduction of maintenance periods, thereby requiring fewer replacements, major overhauls, and construction time on site.

### 7.1 Alternatives Analysis

#### 7.1.1 No Action – Seawall

The proposed work is preventative maintenance to ensure continued functionality. With no action, the base of the existing stone seawall will continue to erode, and sections of the wall will continue to degrade, threatening upland stability and erosion control. Natural hand-laid stone seawalls are dependent upon each of the stones forming a key that supports the entire wall. Loss of larger stones can compromise the entire structure. With existing seawall heights ranging from 3 to 20 feet, a “No Action” alternative may threaten the structural support for the shoreline and earthen slope upland and risk seawall collapse into the Hudson River.

#### 7.1.2 Complete Seawall Reconstruction

As noted above, a natural stone seawalls’ deterioration compounds upon itself, so restoration is important for the seawall lifespan. Reconstructing the entire length of the seawall and constructing a drainage trench would provide the upland stabilization intended by the rehabilitation. Complete replacement is structurally unnecessary. Moreover, the increased environmental impacts and length of disruption caused by construction (e.g. noise, equipment use, work below MHW, required resources, etc.) caused by this alternative are unnecessary to providing the needed level of support.

#### 7.1.3 Partial Seawall Reconstruction with Re-pointing and Maintenance

Restoration is important for the long-term seawall lifespan and to reduce the scale at which reconstruction is required. By reconstructing only sections of the existing seawall that are identified as needing repair, impacts will be minimized and stability long term stability and erosion control for the existing seawall will be preserved. Sections of the wall sections of the wall that require minimal repair will be repointed. The top of the wall (3 feet wide) would be chinked and a gravel





# 649 North Broadway Upper Nyack, New York

trench drain constructed behind for the length of the wall to further extend the lifespan of the seawall.

## 7.1.4 No Action - Dock

Without an additional dock, there would be no additional coverage or fill in the Hudson River and the existing habitat would be unaffected. However, recreational water access would be restricted and the proposal to berth large vessels with a draft of 4 feet on site would not be feasible, since the current water depth at the existing pier is inadequate for vessels. Additionally, the proposed dock is consistent with the New York State Coastal Management Program, which encourages access to the waterfront in underutilized spaces and through resilient approaches.

## 7.1.5 Boat Lift to Existing Pier

Given the water depths at the existing pier, constructing a boat lift attached to the pier would provide recreational boating access but would limit the size of vessel accessible to the lift, thereby limiting waterfront access. Water depths around the pier range from 0.6 to 3.62 feet. Thus, the proposal to berth large vessels would not be feasible since the maximum draft of the proposed vessel is 4 feet and additional water depth is needed for substrate preservation and navigation. In addition, the construction of a boat lift would create additional water coverage and disturbance to the existing habitat, and the existing pier may require supplemental construction to support the loads associated with the boat lift.

## 7.1.6 Floating Dock

To accommodate the proposal to berth vessels with a draft of 4 feet, a floating dock could be placed perpendicular to shore, further extended into the Hudson River to as to meet depth requirements. Floating docks provide a resilient alternative to fixed docks or boat lifts, as they move with water and flood levels and can be removed seasonally. Given the potential for ice flow in this area of the Hudson River, the ability to remove the dock and gangway will also preserve the lifespan of the materials. The associated coverage with the floating dock would be offset by seasonal relocation.

## 7.2 Best Management Practices:

### 7.2.1 Soil and Erosion Control

7.2.1.1 Due to the depth of the work, and high currents, there is not expected to be an increase in turbidity due to the pile or floating dock installation. Construction will cease should a noticeable increase in turbidity occur until adequate BMPs are deployed to contain the work area.

7.2.1.2 Turbidity curtains will be installed around the work area to minimize turbidity in adjacent areas.



# 649 North Broadway Upper Nyack, New York

- 7.2.1.3 Seawall rehabilitation work will be upland of the MHHW line or completed at low tide, which will reduce the potential for impacts relating to this work. Construction will cease should a noticeable increase in turbidity occur until adequate BMPs are deployed to contain the work area.
  - 7.2.1.4 SWPPP controls on the barge will be implemented and followed.
  - 7.2.1.5 SWPPP controls for the seawall will be implemented upland.
  - 7.2.1.6 Construction debris will be collected and disposed of in approved off-site waste disposal areas.
- 7.2.2 Environmental Protection
- 7.2.2.1 Work will adhere to all required environmental moratoriums.
  - 7.2.2.2 Construction debris will be tested for contamination, and any contaminated material will be disposed of as required in the remediation plan.
  - 7.2.2.3 Barges and equipment will be protected against spills into the waterway.
  - 7.2.2.4 A spill kit will be on site should any spill occur.
  - 7.2.2.5 Construction equipment will not work waterward of MHHW unless on floating platforms that cannot ground out.
  - 7.2.2.6 Care will be exercised to prevent any debris from dropping into the waterway by use of portable spill plates during active unloading operations. Any materials dropped shall be removed immediately and legally disposed of.

## 8. Construction Means and Methods, Sequence

### 8.1. Equipment

- 8.1.1.1. The Contractor will utilize a crane or excavator on site to remove and install the respective piles. This will be mounted on a barge for ease of access.
- 8.1.1.2. Other equipment will include a materials barge, compressors, and a pile hammer (vibrating).
- 8.1.1.3. Seawall work will be completed using an excavator based on shore.

### 8.2. Sequence & Methods

- 8.2.1.1. For the construction, the Contractor will mobilize all safety and BMP materials, install on site, and then mobilize the construction equipment for each respective work area. Materials will be delivered by water on a materials barge.
- 8.2.1.2. Once mobilized, the contractor will demolish the eastern 10' of the existing timber pier and remove the piles. If the piles cannot be removed, they will be cut no less than 2 feet below the mudline. The contractor will layout the new timber piles for the timber pier and subsequently reconstruct the timber pier.
- 8.2.1.3. The contractor will then layout the temporary support piles and any frames (falsework) for the steel pipe piles. The floating dock will be floated



# 649 North Broadway Upper Nyack, New York

into alignment and the piles will be driven into place. Piles will be installed with a vibratory hammer unless substrate conditions necessitate impact driving installation methods.

- 8.2.1.4. The gangway and associated connection features will be installed to the timber pier and the floating dock.
- 8.2.1.5. Concurrently or subsequently, the seawall restoration work will occur, deconstructing the wall from the top to the toe, and rebuilding from the toe to the top, whilst minimizing work and exposure during high-tide or while water is present.
- 8.2.1.6. The Contractor will clean up the site, restore all existing conditions, clear BMP(s), and demobilize.

## 8.3. Schedule

It is anticipated that the tasks detailed above, specifically the major tasks will take the following amounts of time:

- 8.3.1. Pier reconstruction – 8 days.
- 8.3.2. Pile driving – In-water – 2 days, includes framing and driving 2 piles a day. Active driving is estimated to be 2 hours per day with the rest of the time dedicated to material handling and alignment.
- 8.3.3. Floating dock installation – 1 day.
- 8.3.4. Gangway installation – 1 day.
- 8.3.5. Seawall rehabilitation – Upland – 4 weeks.
- 8.3.6. Site restoration and demobilization – 8 days.

## 9. Regulatory Compliance

9.1. The purpose of the Protection of Waters Program is to “preserve and protect [New York] lakes, rivers, streams and ponds,” and that “Comprehensive planning is undertaken for the protection, conservation, equitable and wise use and development of the water resources of the state to the end that such water resources be not wasted and shall be adequate to meet the present and future needs for domestic, municipal, agricultural, commercial, industrial, power, recreational, and other public, beneficial purposes.” See ECL § 15-0105. The regulations adopted under these statutes are intended to effectuate these objectives, and thus are to be construed consistent with these legislative goals.

9.2. For a Protection of Waters permit, an applicant needs to show that the proposed project:

- 9.2.1. Is reasonable and necessary;
- 9.2.2. Would not endanger the public health, safety or welfare; and



## 649 North Broadway Upper Nyack, New York

9.2.3. Would not cause unreasonable, uncontrolled or unnecessary damage to natural resources of the state.

As described in the narrative above, specifically Section 7.1: Alternatives Analysis, the applicant feels that the proposed docking facility and seawall rehabilitation work is reasonable and necessary work. The proposed dock is a reasonable addition to the property and aligns with the current and future uses of the property and its surroundings. The dock design and materials have been selected to minimize any damages and impacts to the state's natural resources.

9.3. See 6 NYCRR § 608.8. In considering a proposal's consistency with these standards, NYSDEC may, pursuant to 6 NYCRR §§ 608.7(b) (1)-(7), consider various factors, including:

9.3.1. The environmental impacts of the proposal, including effects on

9.3.1.1. Aquatic, wetland and terrestrial habitats;

9.3.1.2. Water quality;

9.3.1.3. Hydrology; and

9.3.1.4. Water course and waterbody integrity (e.g., turbidity and sedimentation).

9.3.2. The adequacy of design and construction techniques;

9.3.3. Operational and maintenance characteristics;

9.3.4. The safe commercial use of water resources;

9.3.5. The water-dependent nature of a use;

9.3.6. The safeguarding of life and property; and

9.3.7. Natural resource management objectives and values.

As described in Section 6: Project Impacts and Section 7: Mitigation of Impacts of this narrative, the proposed project satisfies the foregoing standards for issuance of the Protection of Waters permit. This permit application evaluates potential impacts of the proposed project on the habitats, water quality, and other state resources, and describes the design's consideration of construction, reduced maintenance, safe use and access to water resources and water-dependent activities, preservation of life and property, and conservation of resources.



**Section II**

**New York District  
United States Army Corps of Engineers**



JOINT APPLICATION FORM

For Permits for activities affecting streams, waterways, waterbodies, wetlands, coastal areas, sources of water, and endangered and threatened species.

You must separately apply for and obtain Permits from each involved agency before starting work. Please read all instructions.

1. Applications To:
>NYS Department of Environmental Conservation
Check all permits that apply: Stream Disturbance, Dams and Impoundment Structures, Tidal Wetlands, Water Withdrawal, Excavation and Fill in Navigable Waters, 401 Water Quality Certification, Wild, Scenic and Recreational Rivers, Long Island Well, Docks, Moorings or Platforms, Freshwater Wetlands, Coastal Erosion Management, Incidental Take of Endangered / Threatened Species.
>US Army Corps of Engineers
Check all permits that apply: Section 404 Clean Water Act, Section 10 Rivers and Harbors Act.
Is the project Federally funded? Yes No
If yes, name of Federal Agency:
General Permit Type(s), if known:
Preconstruction Notification: Yes No
>NYS Office of General Services
Check all permits that apply: State Owned Lands Under Water, Utility Easement (pipelines, conduits, cables, etc.), Docks, Moorings or Platforms.
>NYS Department of State
Check if this applies: Coastal Consistency Concurrence

2. Name of Applicant
Mailing Address
Telephone
Email
Taxpayer ID (if applicant is NOT an individual)
Post Office / City
State
Zip
Applicant Must be (check all that apply): Owner Operator Lessee

3. Name of Property Owner (if different than Applicant)
Mailing Address
Telephone
Email
Post Office / City
State
Zip

For Agency Use Only Agency Application Number:

**4. Name of Contact / Agent**

Mailing Address  Post Office / City  State  Zip

Telephone  Email

**5. Project / Facility Name**  Property Tax Map Section / Block / Lot Number:

Project Street Address, if applicable  Post Office / City  State  Zip

Provide directions and distances to roads, intersections, bridges and bodies of water

Town  Village  City County  Stream/Waterbody Name

Project Location Coordinates: Enter Latitude and Longitude in degrees, minutes, seconds:  
Latitude: ° ' " Longitude: ° ' "

**6. Project Description:** Provide the following information about your project. Continue each response and provide any additional information on other pages. **Attach plans on separate pages.**

a. Purpose of the proposed project:

b. Description of current site conditions:

c. Proposed site changes:

d. Type of structures and fill materials to be installed, and quantity of materials to be used (e.g., square feet of coverage, cubic yards of fill material, structures below ordinary/mean high water, etc.):

e. Area of excavation or dredging, volume of material to be removed, location of dredged material placement:

f. Is tree cutting or clearing proposed?  Yes If Yes, explain below.  No  
Timing of the proposed cutting or clearing (month/year):   
Number of trees to be cut:  Acreage of trees to be cleared:

g. Work methods and type of equipment to be used:

h. Describe the planned sequence of activities:

i. Pollution control methods and other actions proposed to mitigate environmental impacts:

j. Erosion and silt control methods that will be used to prevent water quality impacts:

k. Alternatives considered to avoid regulated areas. If no feasible alternatives exist, explain how the project will minimize impacts:

l. Proposed use:  Private  Public  Commercial

m. Proposed Start Date:  Estimated Completion Date:

n. Has work begun on project?  Yes If Yes, explain below.  No

o. Will project occupy Federal, State, or Municipal Land?  Yes If Yes, explain below.  No

p. List any previous DEC, USACE, OGS or DOS Permit / Application numbers for activities at this location:

q. Will this project require additional Federal, State, or Local authorizations, including zoning changes?

Yes If Yes, list below.  No



**7. Signatures.**

Applicant and Owner (If different) must sign the application.

Append additional pages of this Signature section if there are multiple Applicants, Owners or Contact/Agents.

I hereby affirm that information provided on this form and all attachments submitted herewith is true to the best of my knowledge and belief.

Permission to Inspect - I hereby consent to Agency inspection of the project site and adjacent property areas. Agency staff may enter the property without notice between 7:00 am and 7:00 pm, Monday - Friday. Inspection may occur without the owner, applicant or agent present. If the property is posted with "keep out" signs or fenced with an unlocked gate, Agency staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site. I understand that failure to give this consent may result in denial of the permit(s) sought by this application.

False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the NYS Penal Law. Further, the applicant accepts full responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agrees to indemnify and save harmless the State from suits, actions, damages and costs of every name and description resulting from said project. In addition, Federal Law, 18 U.S.C., Section 1001 provides for a fine of not more than \$10,000 or imprisonment for not more than 5 years, or both where an applicant knowingly and willingly falsifies, conceals, or covers up a material fact; or knowingly makes or uses a false, fictitious or fraudulent statement.

**Signature of Applicant**

Date

Applicant Must be (check all that apply):  Owner  Operator  Lessee

Printed Name

Title

**Signature of Owner (if different than Applicant)**

Date

Printed Name

Title

**Signature of Contact / Agent**

Date

Printed Name

Title

**For Agency Use Only**

**DETERMINATION OF NO PERMIT REQUIRED**

Agency Application Number

(Agency Name) has determined that No Permit is required from this Agency for the project described in this application.

Agency Representative:

Printed Name

Title

Signature

Date

## **ENVIRONMENTAL QUESTIONNAIRE**

***This is intended to supplement ENG Form 4345, Application for Department of the Army Permit, or the Joint Application for Permit used in the State of New York. Please provide complete answers to all questions below which are relevant to your project. Any answers may be continued on separate sheet(s) of paper to be attached to this form.***

### **PRIVACY ACT STATEMENT**

***The purpose of this form is to provide the Corps of Engineers with basic information regarding your project. This information will be used to facilitate evaluation of your permit application and for public dissemination as required by regulation. Failure to provide complete information may result in your application being declared incomplete for processing, thereby delaying processing of your application.***

### **GENERAL--APPLICABLE TO ALL PROJECTS**

#### ***1. Explain the need for, and purpose of, the proposed work.***

The project Applicant proposes the partial reconstruction of an existing timber pier, the installation of a floating dock to enable access for recreational boating and water activities and the rehabilitation of sections of existing stone seawall. The proposed changes are reasonable measures, needed at the site to provide long-term site stabilization and protection, reduce potential impacts of future storms, and increase access to the waterfront for recreational activities while minimizing exposure to unnecessary environmental impacts.

#### ***2. Provide the names and addresses of property owners adjacent to your work site (if not shown on the application form or project drawings).***

Names and addresses of adjacent property owners (within 200 feet of the project site) are listed in Section IX.

***(Please note that depending upon the nature and extent of your project, you may be requested to provide the names and addresses of additional property owners proximate to your project site to ensure proper coordination.)***

#### ***3. Photographs of the project site should be submitted. For projects in tidal areas, photographs of the waterway vicinity should be taken at low tide. Using a separate copy of your plan view, indicate the location and direction of each photograph as well as the date and time at which the photograph was taken. Provide a sufficient number of photographs so as to provide a clear understanding of conditions on and proximate to your project site.***

Site photographs are included in Section V.

#### ***4. Provide a copy of any environmental impact statement, or any other environmental report which was prepared for your project.***

Additional environmental information is included in Section III.

**5. Provide a thorough discussion of alternatives to your proposal. This discussion should include, but not necessarily be limited to, the "no action" alternative and alternative(s) resulting in less disturbance to waters of the United States. For filling projects in waters of the United States, including wetlands, your alternatives discussion should demonstrate that there are no practicable alternatives to your proposed filling and that your project meets with current mitigation policy (i.e. avoidance, minimization and compensation).**

Alternatives to the proposed work are discussed in the attached project narrative, Section I.

### **DREDGING PROJECTS**

**Answer the following if your project involves dredging.** No dredging is proposed for this project.

**1. Indicate the estimated volume of material to be dredged and the depth (below mean low water) to which dredging would occur. Would there be overdepth dredging?**

N/A

**2. You can apply for a ten-year permit for maintenance dredging. If you wish to apply for a ten-year permit, please provide the number of additional dredging events during the ten-year life of the permit and the amount of material to be removed during future events.**

N/A

**3. Indicate of your drawings the dewatering area (if applicable) and disposal site for the dredged material (except landfill sites). Submit a sufficient number of photographs of the dewatering and disposal sites as applicable so as to provide a clear indication of existing conditions. For ten-year maintenance dredging permits, indicate the dewatering/disposal sites for future dredging events, if known.**

N/A

**4. Describe the method of dredging (i.e. clamshell, dragline, etc.) and the expected duration of dredging.**

N/A

**5. Indicate the physical nature of the material to be dredged (i.e. sand, silt, clay, etc.) and provide estimated percentages of the various constituents if available. For beach nourishment projects, grain size analysis data is required.**

N/A

**6. Describe the method of dredged material containment (i.e. hay bales, embankment, bulkhead, etc.) and whether return flow from the dewatering/disposal site would reenter any waterway. Also indicate if there would be any barge overflow.**

N/A

### **MOORING FACILITIES**

**Answer the following if your project includes the construction or rehabilitation of recreational mooring facilities.**

**1. It is generally recommended that any fixed piers and walk ramps be limited to four feet in width, and that floats be limited to eight feet in width and rest at least two feet above the waterway bottom at mean low water. Terminal floats at private, non-commercial facilities should be limited to 20 feet in length. If you do not believe your proposal can meet with these recommendations, please provide the reason(s).**

This is discussed in the attached project narrative, Section I.

**2. Using your plan view, show to scale the location(s), position(s) and size(s) (including length, beam and draft) of vessel(s) to be moored at the proposed facility, including those of transient vessel(s) if known.**

Included in project drawings, Section VII.

**3. For commercial mooring sites such as marinas, indicate the capacity of the facility and indicate on the plan view the location(s) of any proposed fueling and/or sewage pumpout facilities. If pumpout facilities are not planned, please discuss the rationale below and indicate the distance to the nearest available pumpout station.**

This is discussed in the attached project narrative, Section I.

**4. Indicate on your plan view the distance to adjacent marine structures, if any are proximate and show the locations and dimensions of such structures.**

This is discussed in the attached project narrative, Section I, and shown in the project drawings, Section VII.

**5. Discuss the need for wave protection at the proposed facility. Please be advised that if a permit is issued, you would be required to recognize that the mooring facility may be subject to wave action from wakes of passing vessels, whose operations would not be required to be modified. Issuance of a permit would not relieve you of ensuring the integrity of the authorized structure(s) and the United States would not be held responsible for damages to the structure(s) and vessel(s) moored thereto from wakes from passing vessels.**

This is discussed in the attached project narrative, Section I.

### **BULKHEADING/BANK STABILIZATION/FILLING ACTIVITIES**

**Answer the following if your project includes construction of bulkheading (also retaining walls and seawalls) with backfill, filling of waters/wetlands, or any other bank stabilization fills such as riprap, revetments, gabions, etc.**

**1. Indicate the total volume of fill (including backfill behind a structure such as a bulkhead) as well as the volume of fill to be placed into waters of the United States. The amount of fill in waters of the United States can be determined by calculating the amount of fill to be placed below the plane of spring high tide in tidal areas and below ordinary high water in non-tidal areas.**

Seawall rehabilitation will not require fill, as the work will be limited to replacing in-kind.

**2. Indicate the source(s) and type(s) of fill material.**

N/A

**3. Indicate the method of fill placement (i.e. by hand, bulldozer, crane, etc.). Would any temporary fills be required in waterways or wetlands to provide access for construction equipment? If so, please indicate the area of such waters and/or wetlands to be filled, and show on the plan and sectional views.**

Seawall rehabilitation work will be completed with a land-based excavator. No temporary fills are required for this work.

***The foregoing requests basic information on the most common types of projects requiring Department of the Army permits. It is intended to obviate or reduce the need for requesting additional information; however, additional information may be requested above and beyond what is requested in this form.***

***Please feel free to add any additional information regarding your project which you believe may facilitate our review.***

## **NOAA Fisheries Greater Atlantic Regional Fisheries Office Essential Fish Habitat (EFH) Assessment & Fish and Wildlife Coordination Act (FWCA) Worksheet**

This worksheet is your essential fish habitat (EFH) assessment. It provides us with the information necessary to assess the effects of your action on EFH under the Magnuson Stevens Fishery Conservation and Management Act and on NOAA trust resources under the Fish and Wildlife Coordination Act (FWCA). Consultation is not required if:

1. there is no adverse effect on EFH or NOAA trust resources (see page 10 for more info).
2. no EFH is designated and no trust resources may be present at the project site.

### **Instructions**

Federal agencies or their non-federal designated lead agency should email the completed worksheet and necessary attachments to [nmfs.gar.efh.consultation@noaa.gov](mailto:nmfs.gar.efh.consultation@noaa.gov). Include the public notice (if applicable) or project application and project plans showing:

- location map of the project site with area of impact.
- existing and proposed conditions.
- all waters of the U.S. on the project site with mean low water (MLW), mean high water (MHW), high tide line (HTL), and water depths clearly marked.
- sensitive habitats mapped, including special aquatic sites (submerged aquatic vegetation, saltmarsh, mudflats, riffles and pools, coral reefs, and sanctuaries and refuges), hard bottom or natural rocky habitat areas, and shellfish beds.
- site photographs, if available.

We will provide our EFH conservation recommendations and recommendations under the FWCA, as appropriate, within 30 days of receipt of a complete EFH assessment (60 days if an expanded consultation is necessary). Please submit complete information to minimize delays in completing the consultation.

This worksheet provides us with the information required<sup>1</sup> in an EFH assessment:

1. A description of the proposed action.
2. An analysis of the potential adverse effects on EFH and the federally managed species.
3. The federal agency's conclusions regarding the effects of the action on EFH.
4. Proposed mitigation, if applicable.

Your analysis **should focus on impacts that reduce the quality and/or quantity of the habitat or result in conversion to a different habitat type** for all life stages of species with designated EFH within the action area.

Use the information on the [HCD website](#) and [NOAA's EFH Mapper](#) to complete this worksheet. If you have questions, please contact the appropriate [HCD staff member](#) to assist you.

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<sup>1</sup> The EFH consultation process is guided by the requirements of our EFH regulation at 50 CFR 600.905.

## EFH ASSESSMENT WORKSHEET

### General Project Information

Date Submitted:

Project/Application Number:

Project Name:

Project Sponsor/Applicant:

Federal Action Agency (if state agency acting as delegated):

Fast-41 or One Federal Decision Project:                      Yes                      No

Action Agency Contact Name:

Contact Phone:    Contact Email:

Latitude:    Longitude:

Address, City/Town, State:

Body of Water:

Project Purpose:

Project Description:

Anticipated Duration of In-Water Work or Start/End Dates:



## Habitat Description

EFH includes the biological, chemical, and physical components of the habitat. This includes the substrate and associated biological resources (e.g., benthic organisms, submerged aquatic vegetation, shellfish beds, salt marsh wetlands), the water column, and prey species.

Is the project in designated EFH<sup>2</sup>?                      Yes                      No

Is the project in designated HAPC<sup>2</sup>?                      Yes                      No

Is this coordination under FWCA only?                      Yes                      No

Total area of impact to EFH (indicate sq ft or acres):

Total area of impact to HAPC (indicate sq ft or acres):

Current water depths:                      Salinity:                      Water temperature range:

Sediment characteristics<sup>3</sup>:

*What habitat types are in or adjacent to the project area and will they be permanently impacted?*  
 Select all that apply. Indicate if impacts will be temporary, if site will be restored, or if permanent conversion of habitat will occur. A project may occur in overlapping habitat types.

	<b>Habitat Type</b>	<b>Total impact (sq ft/acres)</b>	<b>Impacts are temporary</b>	<b>Restored to pre-existing conditions</b>	<b>Permanent conversion of all or part of habitat</b>
	Marine				
	Estuarine				
	Riverine (tidal)				
	Riverine (non-tidal)				
	Intertidal				
	Subtidal				
	Water column				
	Salt marsh/ Wetland (tidal)				
	Wetland (non-tidal)				

<sup>2</sup> Use the tables on pages 7-9 to list species with designated EFH or the type of designated HAPC present.

<sup>3</sup> The level of detail is dependent on your project – e.g., a grain size analysis may be necessary for dredging.

	<b>Habitat Type</b>	<b>Total impact (sq ft/acres)</b>	<b>Impacts are temporary</b>	<b>Restored to pre-existing conditions</b>	<b>Permanent conversion of all or part of habitat</b>
	Rocky/hard bottom <sup>4</sup> :				
	Sand				
	Shellfish beds or oyster reefs				
	Mudflats				
	Submerged aquatic vegetation (SAV) <sup>5</sup> , macroalgae, epifauna				
	Diadromous fish (migratory or spawning habitat)				

Indicate type(s) of rocky/hard bottom habitat (pebble, cobble, boulder, bedrock outcrop/ledge) and species of SAV:

### Project Effects

<b>Select all that apply</b>	<b>Project Type/Category</b>
	Hatchery or Aquaculture
	Agriculture
	Forestry
	Military (e.g., acoustic testing, training exercises)
	Mining (e.g., sand, gravel)
	Restoration or fish/wildlife enhancement (e.g., fish passage, wetlands, beach renourishment, mitigation bank/ILF creation)

<sup>4</sup> Indicate type(s). The type(s) of rocky habitat will help you determine if the area is cod HAPC.

<sup>5</sup> Indicate species. Provide a copy of the SAV report and survey conducted at the site, if applicable.

Select all that apply	Project Type/Category
	Infrastructure/transportation (e.g., culvert construction, bridge repair, highway, port)
	Energy development/use
	Water quality (e.g., TMDL, wastewater, sediment remediation)
	Dredging/excavation and disposal
	Piers, ramps, floats, and other structures
	Bank/shoreline stabilization (e.g., living shoreline, groin, breakwater, bulkhead)
	Survey (e.g., geotechnical, geophysical, habitat, fisheries)
	Other

Select all that apply	Potential Stressors Caused by the Activity	Select all that apply and if temporary or permanent		Habitat alterations caused by the activity
		Temp	Perm	
	Underwater noise			
	Water quality/turbidity/contaminant release			Water depth change
	Vessel traffic/barge grounding			Tidal flow change
	Impingement/entrainment <sup>6</sup>			Fill
	Prevent fish passage/spawning			Habitat type conversion
	Benthic community disturbance			Other:
	Impacts to prey species			Other:

<sup>6</sup> Entrainment is the voluntary or involuntary movement of aquatic organisms from a water body into a surface diversion or through, under, or around screens and results in the loss of the organisms from the population. Impingement is the involuntary contact and entrapment of aquatic organisms on the surface of intake screens caused when the approach velocity exceeds the swimming capability of the organism.

*Details: project impacts and mitigation*

The level of detail that you provide should be commensurate with the magnitude of impacts associated with the proposed project. Attach supplemental information if necessary.

Describe how the project would impact each of the habitat types selected above. Include temporary and permanent impact descriptions and direct and indirect impacts.

What specific measures will be used to avoid impacts, including project design, turbidity controls, acoustic controls, and time of year restrictions? If impacts cannot be avoided, why not?

What specific measures will be used to minimize impacts?

Is compensatory mitigation proposed?

Yes

No

If no, why not? If yes, describe plans for mitigation and how this will offset impacts to EFH. Include a conceptual compensatory mitigation and monitoring plan, if applicable.

<b>Federal Action Agency's EFH determination (select one)</b>	
	There is no adverse effect <sup>7</sup> on EFH or EFH is not designated at the project site. EFH Consultation is not required. This is a FWCA-only request.
	The adverse effect <sup>7</sup> on EFH is not substantial. This means that the adverse effects are no more than minimal, temporary, or can be alleviated with minor project modifications or conservation recommendations.  This is a request for an abbreviated EFH consultation.
	The adverse effect <sup>7</sup> on EFH is substantial.  This is a request for an expanded EFH consultation. We will provide more detailed information, including an alternatives analysis and NEPA document, if applicable.

### **EFH and HAPC designations<sup>8</sup>**

Use the [EFH mapper](#) to determine if EFH may be present in the project area and enter all species and lifestages that have designated EFH. Optionally, you may review the EFH text descriptions linked to each species in the EFH mapper and use them to determine if the described habitat is present. We recommend this for larger projects to help you determine what your impacts are.

<b>Species</b>	<b>EFH is designated/mapped for:</b>				<b>Habitat present based on text description (optional)</b>
	<b>EFH: eggs</b>	<b>EFH: larvae</b>	<b>EFH: juvenile</b>	<b>EFH: adults/spawning adults</b>	

<sup>7</sup> An **adverse effect** is any impact that reduces the quality and/or quantity of EFH. Adverse effects may include direct or indirect physical, chemical, or biological alterations of the waters or substrate and loss of, or injury to, benthic organisms, prey species and their habitat, and other ecosystem components. Adverse effects to EFH may result from actions occurring within EFH or outside of EFH and may include site-specific or habitat-wide impacts, including individual, cumulative, or synergistic consequences of actions.

<sup>8</sup> Within the Greater Atlantic Region, EFH has been designated by the New England, Mid-Atlantic, and South Atlantic Fisheries Management Councils and NOAA Fisheries.

Species	EFH is designated/mapped for:				Habitat present based on text description (optional)
	EFH: eggs	EFH: larvae	EFH: juvenile	EFH: adults/spawning adults	

## HAPCs

Select all that are in your action area.

	Summer flounder: SAV <sup>9</sup>		Alvin & Atlantis Canyons
	Sandbar shark		Baltimore Canyon
	Sand Tiger Shark (Delaware Bay)		Bear Seamount
	Sand Tiger Shark (Plymouth-Duxbury-Kingston Bay)		Heezen Canyon
	Inshore 20m Juvenile Cod		Hudson Canyon
	Great South Channel Juvenile Cod		Hydrographer Canyon
	Northern Edge Juvenile Cod		Jeffreys & Stellwagen
	Lydonia Canyon		Lydonia, Gilbert & Oceanographer Canyons
	Norfolk Canyon (Mid-Atlantic)		Norfolk Canyon (New England)
	Oceanographer Canyon		Retriever Seamount
	Veatch Canyon (Mid-Atlantic)		Toms, Middle Toms & Hendrickson Canyons
	Veatch Canyon (New England)		Washington Canyon
	Cashes Ledge		Wilmington Canyon

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<sup>9</sup> Summer flounder HAPC is defined as all native species of macroalgae, seagrasses, and freshwater and tidal macrophytes in any size bed, as well as loose aggregations, within adult and juvenile summer flounder EFH. In locations where native species have been eliminated from an area, then exotic species are included. Use local information to determine the locations of HAPC.

## More information

The [Magnuson-Stevens Fishery Conservation and Management Act \(MSA\)](#) mandates that federal agencies conduct an [essential fish habitat \(EFH\) consultation](#) with NOAA Fisheries on any actions they authorize, fund, or undertake that may adversely affect EFH. An **adverse effect** is any impact that reduces the quality and/or quantity of EFH. Adverse effects may include direct or indirect physical, chemical, or biological alterations of the waters or substrate and loss of, or injury to, benthic organisms, prey species and their habitat, and other ecosystem components. Adverse effects to EFH may result from actions occurring within EFH or outside of EFH and may include site-specific or habitat-wide impacts, including individual, cumulative, or synergistic consequences of actions.

We designed this worksheet to help you to prepare EFH assessments. It is important to remember that an adverse effect determination is a trigger to consult with us. It does not mean that a project cannot proceed as proposed, or that project modifications are necessary. It means that the effects of the proposed action on EFH must be evaluated to determine if there are ways to avoid, minimize, or offset adverse effects.

This worksheet should be used as your EFH assessment or as a guide to develop your EFH assessment. At a minimum, you should include all the information required to complete this worksheet in your EFH assessment. The level of detail that you provide should be commensurate with the magnitude of impacts associated with the proposed project. If your answers in the worksheet and supplemental information you attach do not fully evaluate the adverse effects to EFH, we may request additional information to complete the consultation.

You may need to prepare an expanded EFH assessment for more complex projects to fully characterize the effects of the project and the avoidance and minimization of impacts to EFH. While the EFH assessment worksheet may be used for larger projects, the format may not be sufficient to incorporate the extent of detail required, and a separate EFH assessment may be developed. However, regardless of format, you should include an analysis as outlined in this worksheet for an expanded EFH assessment, along with any additional necessary information. This additional information includes:

- the results of on-site inspections to evaluate the habitat and site-specific effects.
- the views of recognized experts on the habitat or the species that may be affected.
- a review of pertinent literature and related information.
- an analysis of alternatives that could avoid or minimize the adverse effects on EFH.

Please contact our Greater Atlantic Regional Fisheries Office, [Protected Resources Division](#) regarding potential impacts to marine mammals or threatened and endangered species.



## Useful Links

[National Wetland Inventory Maps](https://www.fws.gov/wetlands/)

<https://www.fws.gov/wetlands/>

[EPA's National Estuary Program \(NEP\)](https://www.epa.gov/nep/local-estuary-programs)

<https://www.epa.gov/nep/local-estuary-programs>

[Northeast Regional Ocean Council \(NROC\) Data Portal](https://www.northeastocean.org/)

<https://www.northeastocean.org/>

Mid-Atlantic Regional Council on the Ocean (MARCO) Data Portal

<http://portal.midatlanticocean.org/>

## Resources by State

### Maine

[Maine Office of GIS Data Catalog](https://geolibrary-maine.opendata.arcgis.com/datasets#data)

<https://geolibrary-maine.opendata.arcgis.com/datasets#data>

[Town shellfish information including shellfish conservation area maps](https://www.maine.gov/dmr/shellfish-sanitation-management/programs/municipal/ordinances/towninfo.html)

<https://www.maine.gov/dmr/shellfish-sanitation-management/programs/municipal/ordinances/towninfo.html>

[State of Maine Shellfish Sanitation and Management](https://www.maine.gov/dmr/shellfish-sanitation-management/index.html)

<https://www.maine.gov/dmr/shellfish-sanitation-management/index.html>

[Eelgrass maps](https://www.maine.gov/dmr/science-research/species/eelgrass/index.html)

<https://www.maine.gov/dmr/science-research/species/eelgrass/index.html>

[Casco Bay Estuary Partnership](https://www.cascobayestuary.org/)

<https://www.cascobayestuary.org/>

[Maine GIS Stream Habitat Viewer](https://www.arcgis.com/home/item.html?id=5869c2d20f0b4c3a9742bdd8abef42cb)

<https://www.arcgis.com/home/item.html?id=5869c2d20f0b4c3a9742bdd8abef42cb>

### New Hampshire

[NH's Statewide GIS Clearinghouse, NH GRANIT](http://www.granit.unh.edu/)

<http://www.granit.unh.edu/>

[NH Coastal Viewer](http://www.granit.unh.edu/nhcoastalviewer/)

<http://www.granit.unh.edu/nhcoastalviewer/>

[State of NH Shellfish Program](https://www.des.nh.gov/organization/divisions/water/wmb/shellfish/)

<https://www.des.nh.gov/organization/divisions/water/wmb/shellfish/>

### Massachusetts

[MA Shellfish Sanitation and Management Program](https://www.mass.gov/shellfish-sanitation-and-management)

<https://www.mass.gov/shellfish-sanitation-and-management>

[MassGIS Data, Including Eelgrass Maps](http://maps.massgis.state.ma.us/map_ol/oliver.php)

[http://maps.massgis.state.ma.us/map\\_ol/oliver.php](http://maps.massgis.state.ma.us/map_ol/oliver.php)

[MA DMF Recommended TOY Restrictions Document](https://www.mass.gov/files/documents/2016/08/ry/tr-47.pdf)

<https://www.mass.gov/files/documents/2016/08/ry/tr-47.pdf>

[Massachusetts Bays National Estuary Program](https://www.mass.gov/orgs/massachusetts-bays-national-estuary-program)

<https://www.mass.gov/orgs/massachusetts-bays-national-estuary-program>

[Buzzards Bay National Estuary Program](http://buzzardsbay.org/)

<http://buzzardsbay.org/>

[Massachusetts Division of Marine Fisheries](https://www.mass.gov/orgs/massachusetts-division-of-marine-fisheries)

<https://www.mass.gov/orgs/division-of-marine-fisheries>

[Massachusetts Office of Coastal Zone Management](#)

<https://www.mass.gov/orgs/massachusetts-office-of-coastal-zone-management>

#### Rhode Island

[RI Shellfish and Aquaculture](#)

<http://www.dem.ri.gov/programs/fish-wildlife/marine-fisheries/shellfish-aquaculture.php>

[RI Shellfish Management Plan](#)

<http://www.shellfishri.com/>

Eelgrass Maps

<http://edc.maps.arcgis.com/apps/View/index.html?appid=db52bb689c1e44259c06e11fd24895f8>

[RI GIS Data](#)

<http://ridemgis.maps.arcgis.com/apps/webappviewer/index.html?id=87e104c8adb449eb9f905e5f18020de5>

[Narragansett Bay Estuary Program](#)

<http://nbep.org/>

[Rhode Island Division of Marine Fisheries](#)

<http://www.dem.ri.gov/programs/fish-wildlife/marine-fisheries/index.php>

[Rhode Island Coastal Resources Management Council](#)

<http://www.crmc.ri.gov/>

#### Connecticut

[CT Bureau of Aquaculture](#)

<https://www.ct.gov/doag/cwp/view.asp?a=3768&q=451508&doagNav=>

[CT GIS Resources](#)

[https://www.ct.gov/deep/cwp/view.asp?a=2698&q=323342&deepNav\\_GID=1707](https://www.ct.gov/deep/cwp/view.asp?a=2698&q=323342&deepNav_GID=1707)

[Natural Shellfish Beds in CT](#)

<https://cteco.uconn.edu/viewer/index.html?viewer=aquaculture>

[Eelgrass Maps](#)

[https://www.fws.gov/northeast/ecologicalservices/pdf/wetlands/2012\\_CT\\_Eelgrass\\_Final\\_Report\\_11\\_26\\_2013.pdf](https://www.fws.gov/northeast/ecologicalservices/pdf/wetlands/2012_CT_Eelgrass_Final_Report_11_26_2013.pdf)

[Long Island Sound Study](#)

<http://longislandsoundstudy.net/>

[CT GIS Resources](#)

<http://cteco.maps.arcgis.com/home/index.html>

[CT DEEP Office of Long Island Sound Programs and Fisheries](#)

<https://www.ct.gov/deep/site/default.asp>

[CT River Watershed Council](#)

<https://www.ctriver.org/>

#### New York

[Eelgrass Report](#)

[http://www.dec.ny.gov/docs/fish\\_marine\\_pdf/finalseagrassreport.pdf](http://www.dec.ny.gov/docs/fish_marine_pdf/finalseagrassreport.pdf)

[Peconic Estuary Program](#)

<https://www.peconicestuary.org/>

[NY/NJ Harbor Estuary](#)

<https://www.hudsonriver.org/estuary-program>

### New York GIS Clearinghouse

<https://gis.ny.gov/>

### New Jersey

[Submerged Aquatic Vegetation Mapping](http://www.crssa.rutgers.edu/projects/sav/)

<http://www.crssa.rutgers.edu/projects/sav/>

[Barnegat Bay Partnership](https://www.barnegatbaypartnership.org/)

<https://www.barnegatbaypartnership.org/>

[NJ GeoWeb](https://www.nj.gov/dep/gis/geoweb splash.htm)

<https://www.nj.gov/dep/gis/geoweb splash.htm>

[NJ DEP Shellfish Maps](https://www.nj.gov/dep/landuse/shellfish.html)

<https://www.nj.gov/dep/landuse/shellfish.html>

### Pennsylvania

[Delaware River Management Plan](https://www.fishandboat.com/Fish/Fisheries/DelawareRiver/Documents/delaware_river_plan_exec_draft.pdf)

[https://www.fishandboat.com/Fish/Fisheries/DelawareRiver/Documents/delaware\\_river\\_plan\\_exec\\_draft.pdf](https://www.fishandboat.com/Fish/Fisheries/DelawareRiver/Documents/delaware_river_plan_exec_draft.pdf)

[PA DEP Coastal Resources Management Program](https://www.dep.pa.gov/Business/Water/Compacts%20and%20Commissions/Coastal%20Resources%20Management%20Program/Pages/default.aspx)

<https://www.dep.pa.gov/Business/Water/Compacts%20and%20Commissions/Coastal%20Resources%20Management%20Program/Pages/default.aspx>

[PA DEP GIS Mapping Tools](https://www.dep.pa.gov/DataandTools/Pages/GIS.aspx)

<https://www.dep.pa.gov/DataandTools/Pages/GIS.aspx>

### Delaware

[Partnership for the Delaware Estuary](http://www.delawareestuary.org/)

<http://www.delawareestuary.org/>

[Center for Delaware Inland Bays](http://www.inlandbays.org/)

<http://www.inlandbays.org/>

[Delaware FirstMap](http://delaware.maps.arcgis.com/home/index.html)

<http://delaware.maps.arcgis.com/home/index.html>

### Maryland

[Submerged Aquatic Vegetation Mapping](http://web.vims.edu/bio/sav/)

<http://web.vims.edu/bio/sav/>

[MERLIN](http://dnrweb.dnr.state.md.us/MERLIN/)

<http://dnrweb.dnr.state.md.us/MERLIN/>

[Maryland Coastal Bays Program](https://mdcoastalbays.org/)

<https://mdcoastalbays.org/>

### Virginia

[Submerged Aquatic Vegetation mapping](http://www.mrc.virginia.gov/regulations/Guidance_for_SAV_beds_and_restoration_final_approved_by_Commission_7-22-17.pdf)

[http://www.mrc.virginia.gov/regulations/Guidance\\_for\\_SAV\\_beds\\_and\\_restoration\\_final\\_approved\\_by\\_Commission\\_7-22-17.pdf](http://www.mrc.virginia.gov/regulations/Guidance_for_SAV_beds_and_restoration_final_approved_by_Commission_7-22-17.pdf)

[VDGIF Time of Year Restrictions \(TOYR\) and Other Guidance](https://www.dgif.virginia.gov/wp-content/uploads/VDGIF-Time-of-Year-Restrictions-Table.pdf)

<https://www.dgif.virginia.gov/wp-content/uploads/VDGIF-Time-of-Year-Restrictions-Table.pdf>

**Section III**

**New York State  
Department of Environmental Conservation**

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

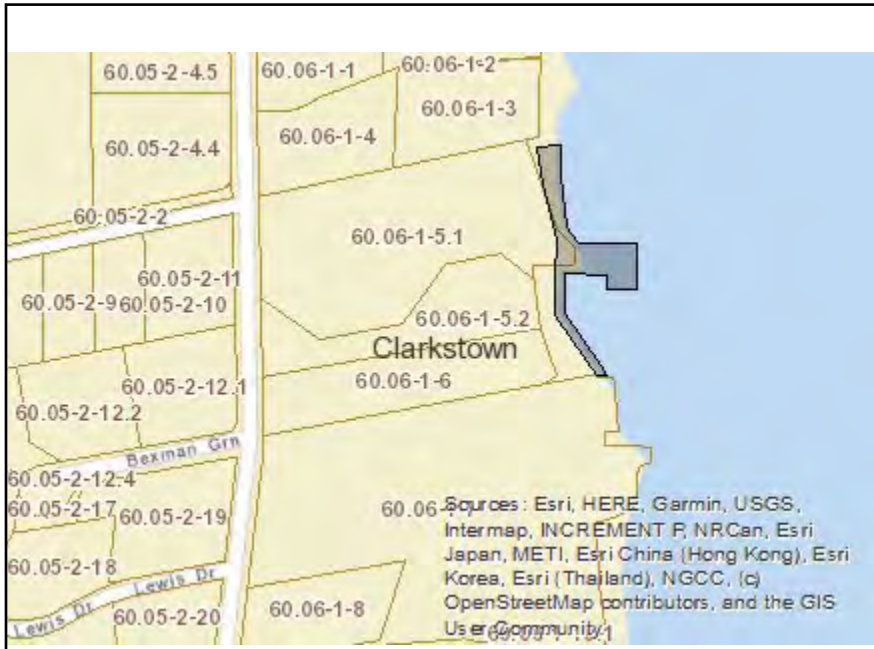
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5.     Urban           Rural (non-agriculture)           Industrial           Commercial           Residential (suburban)			
<input type="checkbox"/> Forest           Agriculture                           Aquatic           Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____  Signature: _____ Title: _____		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Shortnose Sturgeon, Atlantic Sturgeon
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	Yes





**Department of  
Environmental  
Conservation**

**APPLICATION FOR PERMIT  
FOR THE CONSTRUCTION, RECONSTRUCTION OR EXPANSION OF  
DOCKING AND MOORING FACILITIES  
(Including Platforms and Breakwaters)**

Supplement D-2

FOR AGENCY USE ONLY

DEC APPLICATION NUMBER:

U.S. ARMY CORPS OF ENGINEERS  
APPLICATION NUMBER:

Please read all instructions on the following page.  
TYPE OR PRINT CLEARLY IN INK.  
Attach additional information as needed.

**PROJECT CONSTRUCTION DESCRIPTION:**

1. TYPE OF ACTIVITY:

New Facility Construction

Substantial Reconstruction

Expansion

Change in Use

2. CAPACITY OF DOCKING FACILITY OR MOORING AREA:

Maximum number of boats to be docked:

Maximum number of boats to be moored:

Boat type and size ranges to be served:

Total surface area of facility perimeter:                      square feet

3. IDENTIFY STRUCTURE TYPES AND THE USE OF SUCH STRUCTURES, INCLUDE SIZE, TYPE OF CONSTRUCTION AND MATERIALS TO BE USED, IF SUBSTANTIAL RECONSTRUCTION IS REQUIRED, EXPLAIN EXTENT OF ACTIVITY INCLUDING PERCENTAGE OF THE TOTAL STRUCTURE SIZE AFFECTED.

(continue on attached sheet if necessary)

4. FOR NEW FACILITY, EXPANSION OF EXISTING FACILITY OR CHANGE IN USE, CHECK APPROPRIATE ITEMS AND DESCRIBE THE SERVICES TO BE PROVIDED:

Water Supply:

Sewage Disposal:

Electrical Supply:

Gas Supply:

Gasoline/Oil Supply:

Other:

(continue on attached sheet if necessary)

5. SIGNATURE:

DATE:

## **APPLICABILITY**

1. The construction, reconstruction or expansion of docking or mooring facilities on, in or above state-owned lands under water requires authorization from the New York State Office of General Services. For application requirements contact: New York State Office of General Services, Division of Real Property Planning, Bureau of Land Management, Empire State Plaza, Corning Tower, 26<sup>th</sup> Floor, Albany, NY 12242. A permit pursuant to Article 15, Title 5 of the Environmental Conservation Law may not be required from the Department of Environmental Conservation in these circumstances.
2. The determination that no permit is required from the New York State Department of Environmental Conservation does not necessarily mean that no permit is required from the United States Army Corps of Engineers. All parties considering constructing projects within the navigable waters of the State should consult directly with the United States Army Corps of Engineers to accurately determine what requirements apply.

## **INSTRUCTIONS**

1. Application shall include four (4) copies of this form, a map showing the facility location, scaled plans, cross-sections and specifications depicting all major structures and the delineated facility perimeters that include a reference point tied to a permanent structure or significant natural features.
2. This application must be accompanied by a New York State Department of Environmental Conservation JOINT APPLICATION FOR PERMIT (95-19-3).
3. Applications shall be submitted to the Regional Permit Administrator at the appropriate office of the Department, as indicated on the JOINT APPLICATION FOR PERMIT.
4. Construction, reconstruction or installation of docking and mooring structures shall NOT be started until a permit authorizing such activity has been issued by the New York State Department of Environmental Conservation.
5. The following definitions as listed in 6 NYCRR Part 608.1 apply.

*Docking Facility* means any marine, boat basin, marine terminal, and any other areas on navigable waters containing a single structure or a collection of related structures, such as docks, piers, platforms, bulkheads, breakwaters, and pilings, used for the reception, securing, and protection of boats, ships, barges or other water craft.

*Mooring* means a float, buoy, chain, cable, rope, pile, spar, dolphin or any other device or combination of devices that are anchored or fixed in navigable waters of the state to which a vessel can be made fast.

*Mooring Area* means a collection of individual moorings located within a definable area of navigable waters of the state and under single private ownership or control.

*Perimeter* means a boundary of a docking facility or mooring area consisting of a series of connected imaginary lines on a plan or map, encompassing all related structures such as docks, bulkheads, breakwaters, pilings, piers, platforms or moorings and the travel lanes and berthing areas that function together to create a facility or area at which vessels may be docked or moored.

*Platform* means a generally horizontal, flat surface located in, on or over a waterbody, on which structures can be constructed or any activities can be conducted.

*Substantial reconstruction* of structures means restoration or rebuilding, involving fifty percent (50%) or more of an existing fixed structure's surface area.



By signing this permission form for submission with an application for a permit(s) to the Department of Environmental Conservation ("DEC"), the signer consents to inspection by DEC staff of the project site or facility for which a permit is sought and, to the extent necessary, areas adjacent to the project site or facility. This consent allows DEC staff to enter upon and pass through such property in order to inspect the project site or facility, without prior notice, between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday. If DEC staff should wish to conduct an inspection at any other times, DEC staff will so notify the applicant and will obtain a separate consent for such an inspection.

Inspections may take place as part of the application review prior to a decision to grant or deny the permit(s) sought. By signing this consent form, the signer agrees that this consent remains in effect as long as the application is pending, and is effective regardless of whether the signer, applicant or an agent is present at the time of the inspection. In the event that the project site or facility is posted with any form of "posted" or "keep out" notices, or fenced in with an unlocked gate, this permission authorizes DEC staff to disregard such notices or unlocked gates at the time of inspection.

The signer further agrees that during an inspection, DEC staff may, among other things, take measurements, may analyze physical characteristics of the site including, but not limited to, soils and vegetation (taking samples for analysis), and may make drawings and take photographs.

Failure to grant consent for an inspection is grounds for, and may result in, denial of the permit(s) sought by the application.

Permission is granted for inspection of property located at the following address(es):

649 North Broadway, Upper Nyack, NY 10960

By signing this form, I affirm under penalty of perjury that I am authorized to give consent to entry by DEC staff as described above. I understand that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.\*

Richard Tiatkiewicz

Print Name and Title

Signature

8/23/19

Date

- \*The signer of this form must be an individual or authorized representative of a legal entity that:
- owns fee title and is in possession of the property identified above;
  - maintains possessory interest in the property through a lease, rental agreement or other legally binding agreement; or
  - is provided permission to act on behalf of an individual or legal entity possessing fee title or other possessory interest in the property for the purpose of consenting to inspection of such property.

**Section IV**

**New York State  
Department of State Coastal Management Program**

NEW YORK STATE DEPARTMENT OF STATE  
COASTAL MANAGEMENT PROGRAM

Federal Consistency Assessment Form

An applicant, seeking a permit, license, waiver, certification or similar type of approval from a federal agency which is subject to the New York State Coastal Management Program (CMP), shall complete this assessment form for any proposed activity that will occur within and/or directly affect the State's Coastal Area. This form is intended to assist an applicant in certifying that the proposed activity is consistent with New York State's CMP as required by U.S. Department of Commerce regulations (15 CFR 930.57). It should be completed at the time when the federal application is prepared. The Department of State will use the completed form and accompanying information in its review of the applicant's certification of consistency.

A. APPLICANT (please print)

1. Name: 649 North Broadway, LLC
2. Address: 150 Broadway, Suite 900, New York, NY 10038
3. Telephone: Area Code (646) 220-7424

B. PROPOSED ACTIVITY

1. Brief description of activity:

The proposed project will 1) install a floating dock to berth a 35-foot motorized vessel for private, recreational use, and 2) rehabilitate sections of an existing stone seawall.

2. Purpose of activity:

Repairing the seawall will protect existing upland development and ensure safe, continued access to the waterfront. Installing the floating dock will encourage recreational activities on the water.

3. Location of activity:

<u>Rockland</u>	<u>Upper Nyack</u>	<u>649 North Broadway</u>
County	City, Town, or Village	Street or Site Description

4. Type of federal permit/license required: Individual Permit: Clean Waters Act, Rivers & Harbors Act

5. Federal application number, if known: \_\_\_\_\_

6. If a state permit/license was issued or is required for the proposed activity, identify the state agency and provide the application or permit number, if known:

NYSDEC - Docks, Moorings, NYSDOS - Coastal Consistency Concurrency

C. COASTAL ASSESSMENT Check either "YES" or "NO" for each of these questions. The numbers following each question refer to the policies described in the CMP document (see footnote on page 2) which may be affected by the proposed activity.

1. Will the proposed activity result in any of the following: YES / NO

- a. Large physical change to a site within the coastal area which will require the preparation of an environmental impact statement? (11, 22, 25, 32, 37, 38, 41, 43) . . . . .
- b. Physical alteration of more than two acres of land along the shoreline, land under water or coastal waters? (2, 11, 12, 20, 28, 35, 44) . . . . .
- c. Revitalization/redevelopment of a deteriorated or underutilized waterfront site? (1) . . . . .
- d. Reduction of existing or potential public access to or along coastal waters? (19, 20) . . . . .
- e. Adverse effect upon the commercial or recreational use of coastal fish resources? (9,10) . . .
- f. Siting of a facility essential to the exploration, development and production of energy resources in coastal waters or on the Outer Continental Shelf? (29) . . . . .
- g. Siting of a facility essential to the generation or transmission of energy? (27) . . . . .
- h. Mining, excavation, or dredging activities, or the placement of dredged or fill material in coastal waters? (15, 35) . . . . .
- i. Discharge of toxics, hazardous substances or other pollutants into coastal waters? (8, 15, 35) . . .
- j. Draining of stormwater runoff or sewer overflows into coastal waters? (33) . . . . .
- k. Transport, storage, treatment, or disposal of solid wastes or hazardous materials? (36, 39) . . .
- l. Adverse effect upon land or water uses within the State's small harbors? (4) . . . . .

2. Will the proposed activity affect or be located in, on, or adjacent to any of the following: YES / NO

- a. State designated freshwater or tidal wetland? (44) . . . . .
- b. Federally designated flood and/or state designated erosion hazard area? (11, 12, 17,) . . . . .
- c. State designated significant fish and/or wildlife habitat? (7) . . . . .
- d. State designated significant scenic resource or area? (24) . . . . .
- e. State designated important agricultural lands? (26) . . . . .
- f. Beach, dune or barrier island? (12) . . . . .
- g. Major ports of Albany, Buffalo, Ogdensburg, Oswego or New York? (3) . . . . .
- h. State, county, or local park? (19, 20) . . . . .
- i. Historic resource listed on the National or State Register of Historic Places? (23) . . . . .

3. Will the proposed activity require any of the following: YES / NO

- a. Waterfront site? (2, 21, 22) . . . . .
- b. Provision of new public services or infrastructure in undeveloped or sparsely populated sections of the coastal area? (5) . . . . .
- c. Construction or reconstruction of a flood or erosion control structure? (13, 14, 16) . . . . .
- d. State water quality permit or certification? (30, 38, 40) . . . . .
- e. State air quality permit or certification? (41, 43) . . . . .

4. Will the proposed activity occur within and/or affect an area covered by a State approved local waterfront revitalization program? (see policies in local program document) . . . . .

D. ADDITIONAL STEPS

1. If all of the questions in Section C are answered "NO", then the applicant or agency shall complete Section E and submit the documentation required by Section F.
2. If any of the questions in Section C are answered "YES", then the applicant or agent is advised to consult the CMP, or where appropriate, the local waterfront revitalization program document\*. The proposed activity must be analyzed in more detail with respect to the applicable state or local coastal policies. On a separate page(s), the applicant or agent shall: (a) identify, by their policy numbers, which coastal policies are affected by the activity, (b) briefly assess the effects of the activity upon the policy; and, (c) state how the activity is consistent with each policy. Following the completion of this written assessment, the applicant or agency shall complete Section E and submit the documentation required by Section F.

E. CERTIFICATION

The applicant or agent must certify that the proposed activity is consistent with the State's CMP or the approved local waterfront revitalization program, as appropriate. If this certification cannot be made, the proposed activity shall not be undertaken. If this certification can be made, complete this Section.

"The proposed activity complies with New York State's approved Coastal Management Program, or with the applicable approved local waterfront revitalization program, and will be conducted in a manner consistent with such program."

Applicant/Agent's Name: Shea Thorvaldsen

Address: 181 Westchester Ave., Suite 409, Port Chester, NY 10574

Telephone: Area Code (914 )294-1042

Applicant/Agent's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

F. SUBMISSION REQUIREMENTS

1. The applicant or agent shall submit the following documents to the **New York State Department of State, Office of Coastal, Local Government and Community Sustainability, Attn: Consistency Review Unit, 1 Commerce Plaza, 99 Washington Avenue - Suite 1010, Albany, New York 12231.**

- a. Copy of original signed form.
- b. Copy of the completed federal agency application.
- c. Other available information which would support the certification of consistency.

2. The applicant or agent shall also submit a copy of this completed form along with his/her application to the federal agency.

3. If there are any questions regarding the submission of this form, contact the Department of State at (518) 474-6000.

\*These state and local documents are available for inspection at the offices of many federal agencies, Department of environmental Conservation and Department of State regional offices, and the appropriate regional and county planning agencies. Local program documents are also available for inspection at the offices of the appropriate local government.

**649 North Broadway  
Upper Nyack, New York**

Addendum to  
New York State Department of State  
Coastal Management Program  
Federal Consistency Assessment Form

Applicant: 649 North Broadway, LLC  
150 Broadway, Suite 900  
New York, NY 10038

Agent: TMS Waterfront  
181 Westchester Ave., Suite 409  
Port Chester, NY 10573

**Coastal Assessment C.2.c.:**

*Policy 7: Significant coastal fish and wildlife habitats will be protected, preserved, and where practical, restored so as to maintain their viability as habitats.*

Please refer to the EFH worksheet included in this package. While there will be temporary disturbance during construction, any turbidity, increased siltation, and noise will return to normal at the completion of work.

**Coastal Assessment C.3.a.:**

*Policy 2: Facilitate the siting of water-dependent uses and facilities on or adjacent to coastal waters.*

The project site is a private residence along the Hudson River. The water-dependent use for this dock structure has been established and this project will provide access for water-dependent recreational use.

*Policy 21: Water-dependent and water-enhanced recreation will be encouraged and facilitated and will be given priority over non-water-related uses along the coast.*

The project, a proposed floating dock structure, encourages and facilitates water-dependent and water-enhanced recreation.





## 649 North Broadway Upper Nyack, New York

*Policy 22: Development, when located adjacent to the shore, will provide for water-related recreation, whenever such use is compatible with reasonably anticipated demand for such activities, and is compatible with the primary purpose of the development.*

The project, a proposed floating dock structure, encourages and facilitates water-dependent and water-enhanced recreation.

### **Coastal Assessment C.3.c:**

*Policy 13: The construction or reconstruction of erosion protection structures shall be undertaken only if they have reasonable probability of controlling erosion for at least thirty years as demonstrated in design and construction standards and/or assured maintenance or replacement programs.*

One aspect of the project is to restore sections of an existing seawall. The seawall has been designed to support upland development in conjunction with concurrent site development. The seawall is made of stone and has provided adequate protection from erosion to date, however, toe protection will be added to the entire length of seawall to address the minimal scouring that has been observed.

*Policy 14: Activities and development including the construction or reconstruction of erosion protection structures shall be undertaken so that there will be no measurable increase in erosion or flooding at the site of such activities or development, or at other locations.*

One aspect of the project is to restore sections of an existing seawall. The seawall has been designed to support upland development in conjunction with concurrent site development. The seawall is made of stone and has provided adequate protection from erosion to date, however, toe protection will be added to the entire length of seawall to address the minimal scouring that has been observed.

*Policy 16: Public funds shall only be used for erosion protective structures where necessary to protect human life, new development which requires a location within or adjacent to an erosion hazard area to be able to function, or existing development; and only where the public benefits outweigh the long-term monetary and other costs including the potential for increasing erosion and adverse effects on natural protective features.*

No public funds are intended for use at the project site.



# 649 North Broadway Upper Nyack, New York

## Coastal Assessment C.3.d.:

*Policy 30: Municipal, industrial, and commercial discharge of pollutants, including but not limited to, toxic and hazardous substances, into coastal waters will conform to state and national water quality standards.*

There will be no discharge of any materials into coastal waters as a result of this project. Due to the waterfront location, silt fences, hay bales and turbidity curtains will be utilized to control runoff, erosion, and turbidity on the project site. Additionally, machines with fuel, oils etc., equipment, and vehicles will be stationed, when not in use, 50 feet away from the river, and secured. All machines are to be maintained in good working order such that spills, drips, leaks etc. are prevented. Moreover, an SPCC plan will be active on site and oil spill response kits stationed throughout the work area.

*Policy 38: The quality and quantity of surface water and groundwater supplies will be conserved and protected, particularly where such waters constitute the primary or sole source of water supply.*

The project does not affect surface water or groundwater supplies. Due to the waterfront location, silt fences, hay bales and turbidity curtains will be utilized to control runoff, erosion, and turbidity on the project site. Additionally, machines with fuel, oils etc., equipment, and vehicles will be stationed, when not in use, 50 feet away from the river, and secured. All machines are to be maintained in good working order such that spills, drips, leaks etc. are prevented. Moreover, an SPCC plan will be active on site and oil spill response kits stationed throughout the work area.

*Policy 40: Effluent discharged from major steam electric generating and industrial facilities into coastal waters will not be unduly injurious to fish and wildlife and shall conform to state water quality standards.*

There will be no effluent from facilities on this project.



**Section V**

**Site Photos**

649 North Broadway  
Upper Nyack, New York

SITE PHOTOGRAPHS



Photograph 1: Existing seawall - Facing northwest.



649 North Broadway  
Upper Nyack, New York



Photograph 2: Existing seawall at low tide – Facing northwest.



649 North Broadway  
Upper Nyack, New York



Photograph 3: Existing seawall – Facing northwest.



649 North Broadway  
Upper Nyack, New York



Photograph 4: Existing seawall at low tide – Facing northwest.



649 North Broadway  
Upper Nyack, New York



Photograph 5: Existing seawall at low tide – Facing northwest.





649 North Broadway  
Upper Nyack, New York



Photograph 6: Existing pier and seawall – Facing southeast.



649 North Broadway  
Upper Nyack, New York



Photograph 7: Existing pier - Facing east.



649 North Broadway  
Upper Nyack, New York



Photograph 8: Existing pier and dolphin – Facing west.



649 North Broadway  
Upper Nyack, New York



Photograph 9: Existing pier – Facing northwest.



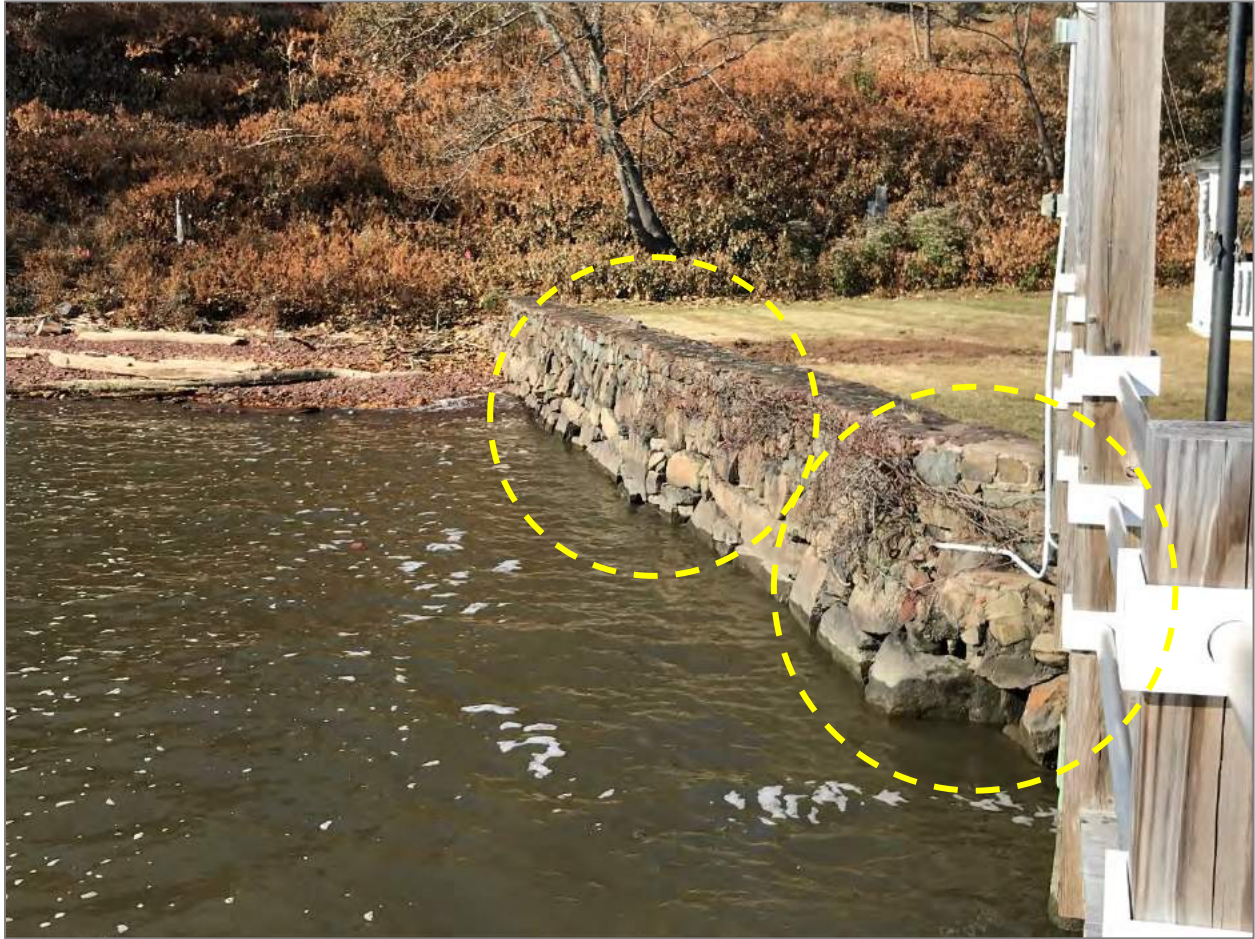
**649 North Broadway  
Upper Nyack, New York**



Photograph 10: Existing pier – Facing south.



649 North Broadway  
Upper Nyack, New York



Photograph 11: Existing seawall - Facing west.



649 North Broadway  
Upper Nyack, New York



Photograph 12: Existing seawall with vegetation - Facing west.



649 North Broadway  
Upper Nyack, New York



Photograph 13: Existing seawall - Facing north.





649 North Broadway  
Upper Nyack, New York



Photograph 14: Existing seawall - Facing east.

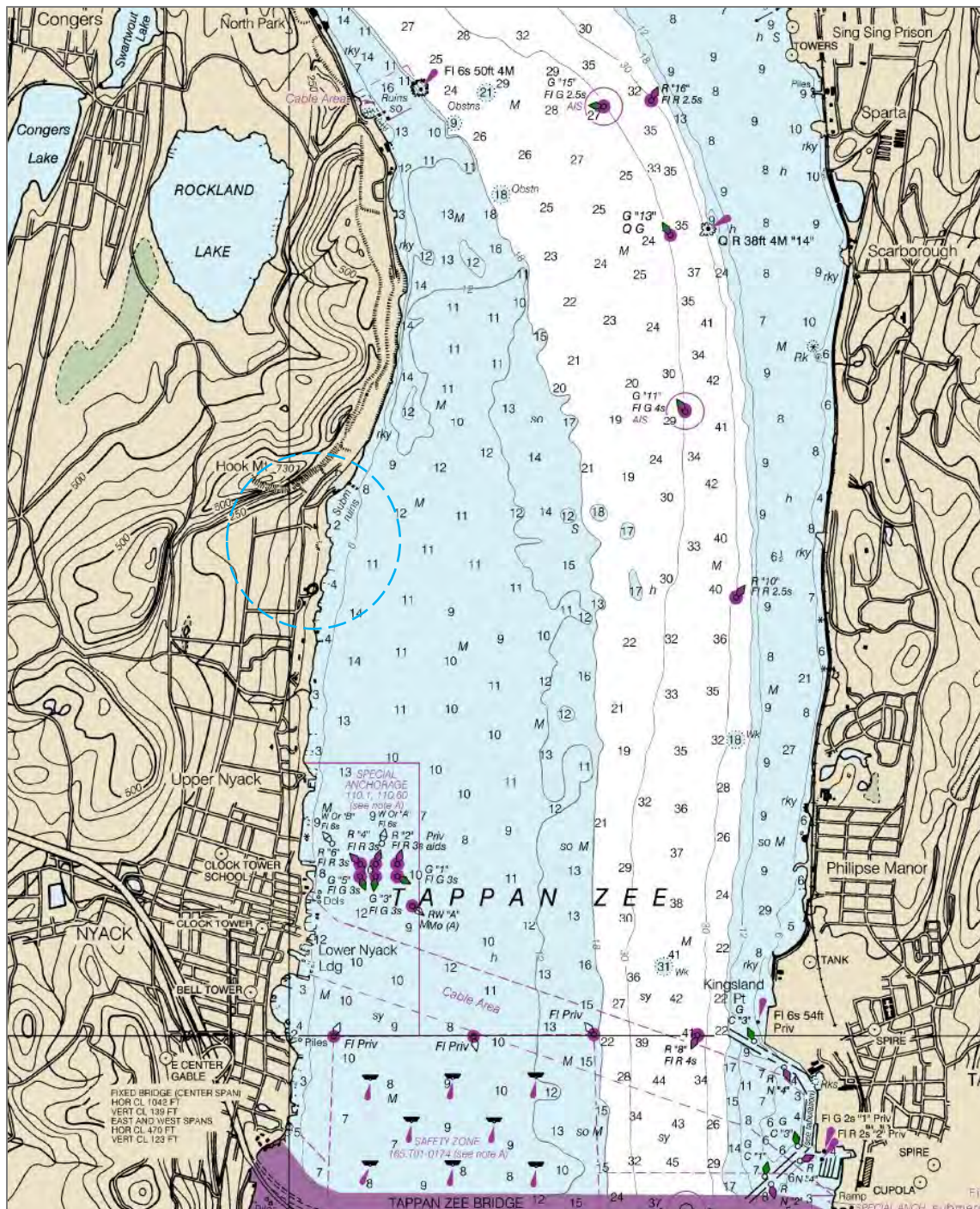


## **Section VI**

### **Location Maps, Charts and Diagrams**

# 649 North Broadway Upper Nyack, New York

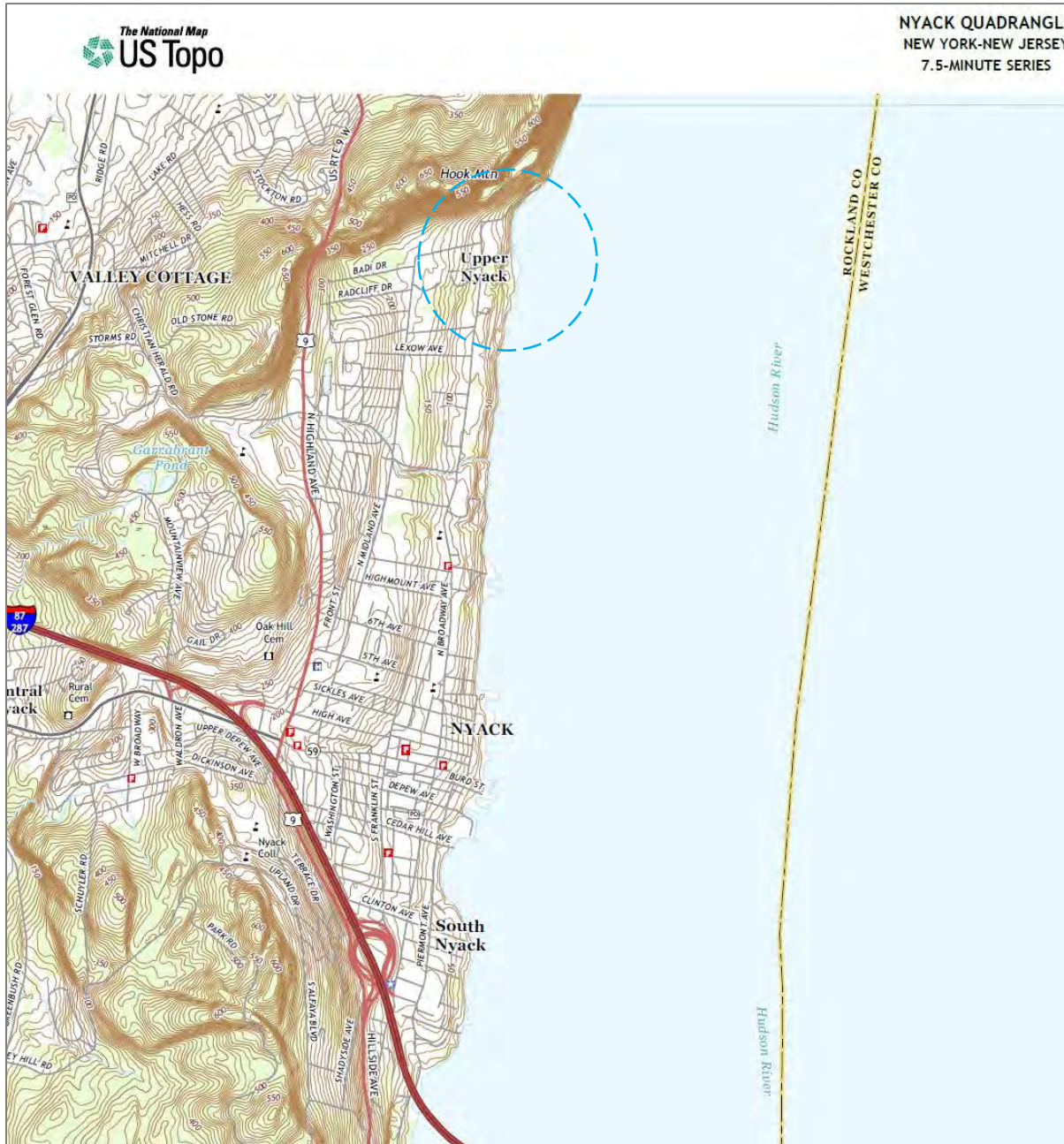
## LOCATION MAPS, CHARTS AND DIAGRAMS



NOAA Chart 12343



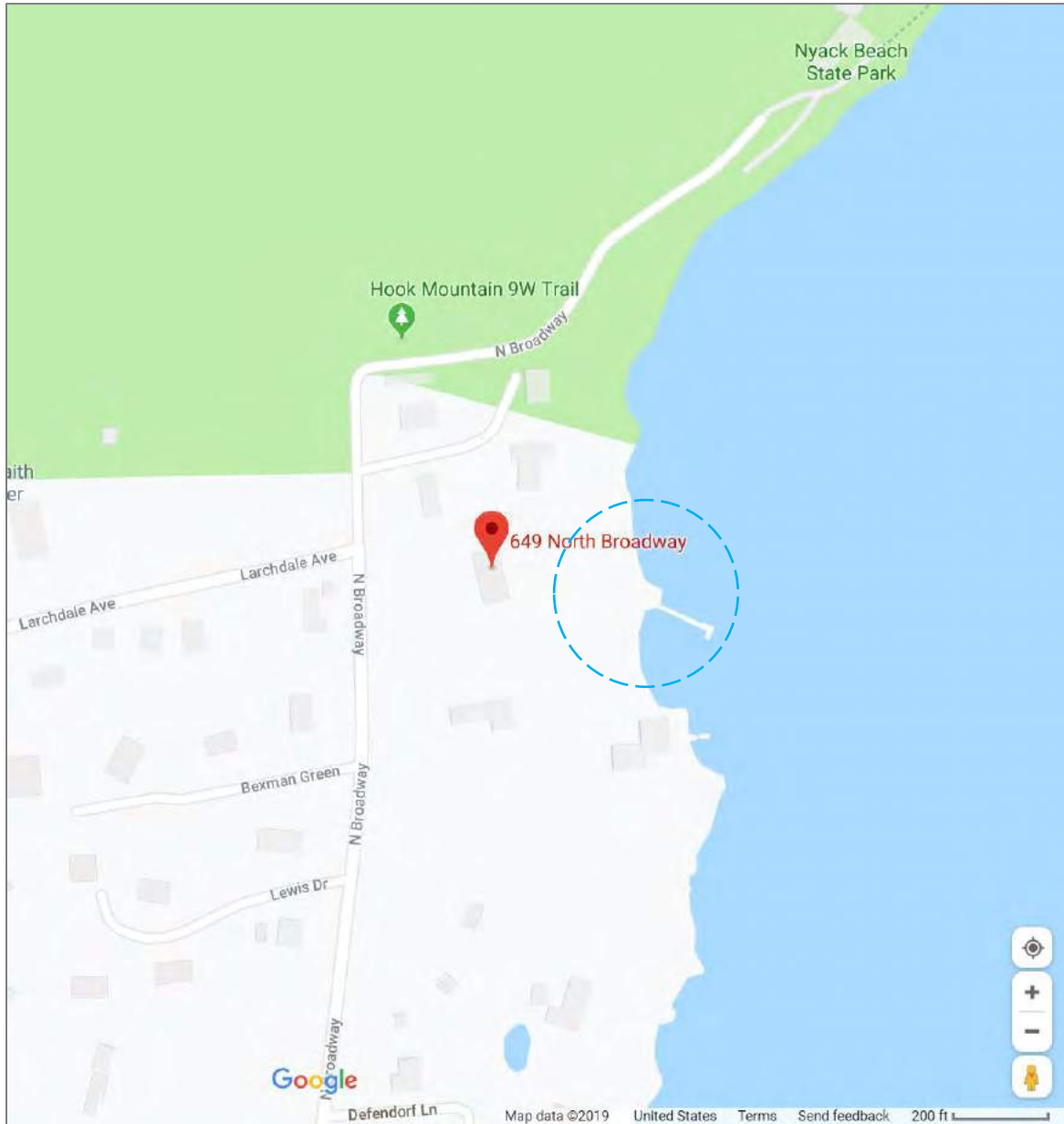
# 649 North Broadway Upper Nyack, New York



USGS Quad Map



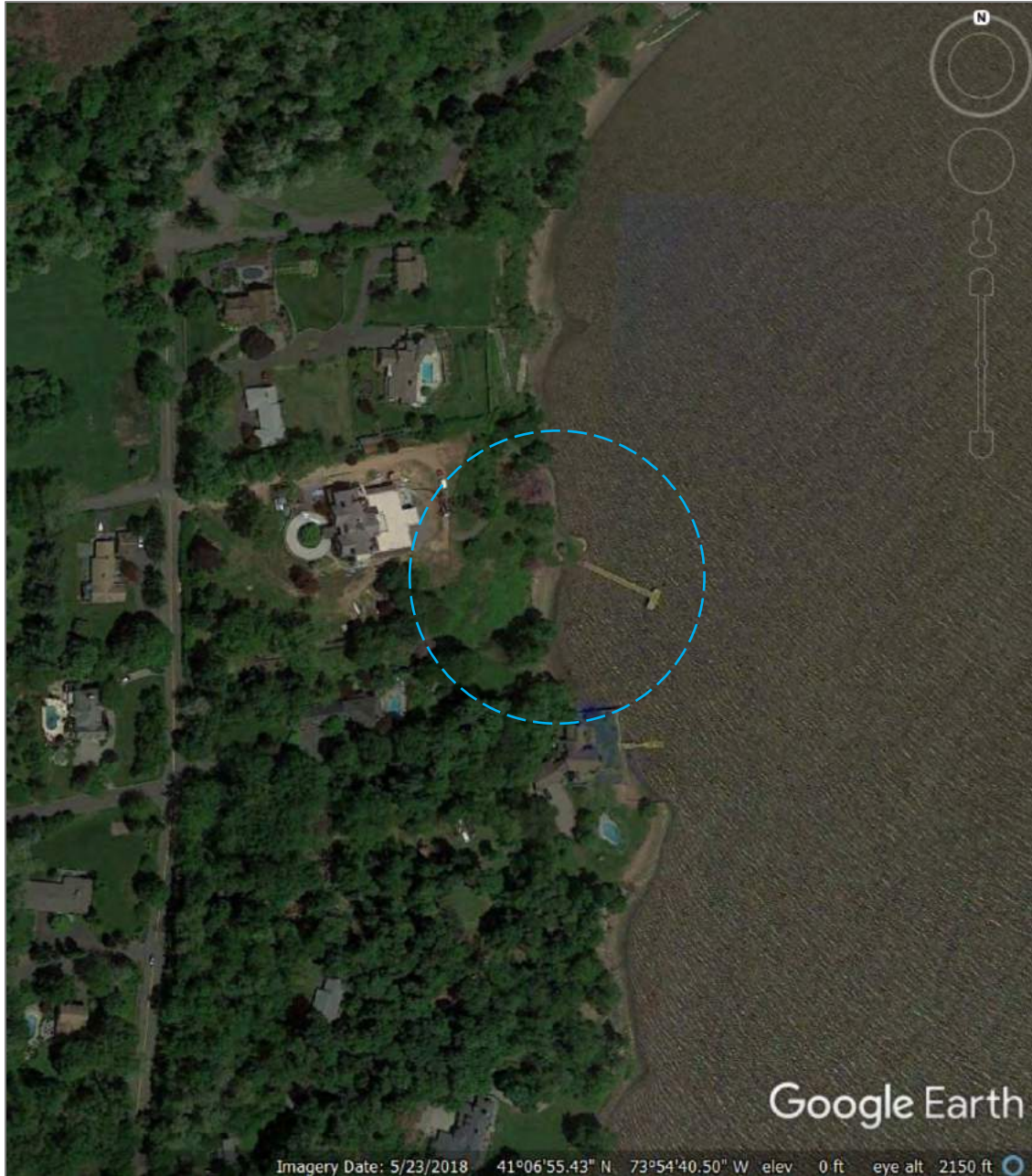
# 649 North Broadway Upper Nyack, New York



Street Map – Google Maps 2019



649 North Broadway  
Upper Nyack, New York



Aerial Photo - Google 2018



**Section VII**

**Drawings**

# 649 NORTH BROADWAY

## SEAWALL REHABILITATION AND DOCK INSTALLATION

UPPER NYACK, NEW YORK  
SEPTEMBER 5, 2019

PREPARED FOR:  
649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038

### DRAWING LIST:

T-001 COVER SHEET  
V-100 VICINITY MAP  
C-101 SITE PLAN  
C-102 SEAWALL PLAN  
C-103 DOCK PLAN  
C-301 SEAWALL SECTION  
C-302 DOCK SECTION  
S-100 PIER RECONSTRUCTION

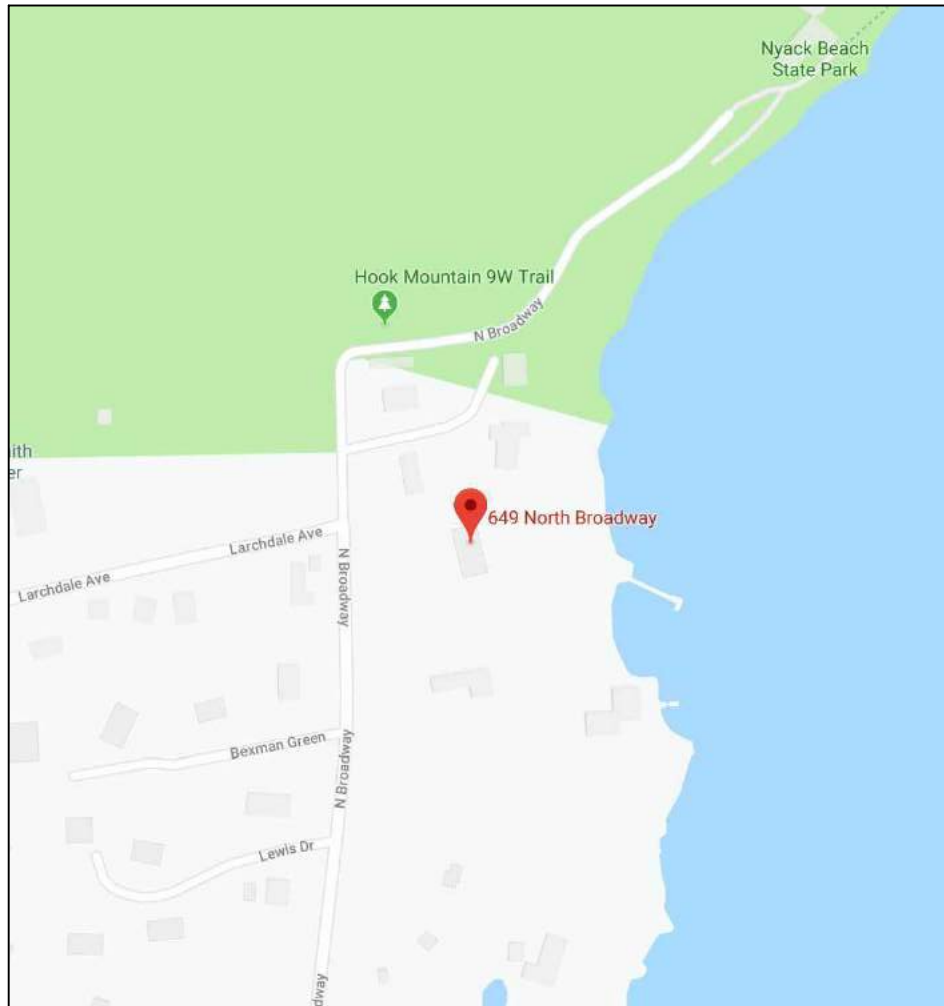


LOCATION MAP (NTS)

REVISION 01: 10/11/2019  
REVISION 02: 11/27/2019  
REVISION 03: 01/24/2020  
REVISION 04: 05/15/2020

PERMIT SUBMISSION (REV. 4)





VICINITY MAP  
(NTS)

LATITUDE: 41° 7'2.91"N  
 LONGITUDE: 73°54'44.22"W  
 WATERWAY: HUDSON RIVER  
 ADDRESS: 649 NORTH BROADWAY,  
 NYACK, NY 10960

APPLICANT:  
  
 649 NORTH BROADWAY, LLC  
 150 BROADWAY, SUITE 900  
 NEW YORK, NY 10038

AGENT:  
  
 TMS WATERFRONT  
 247 W. 35TH STREET  
 10TH FLOOR N  
 NEW YORK, NY 10001  
 T: (917) 426-6788  
 www.tms-waterfront.com

PROJECT NAME:  
  
 649 NORTH BROADWAY

NAME OF WATERBODY:  
 HUDSON RIVER  
 TOWN: UPPER NYACK  
 COUNTY: ROCKLAND  
 STATE: NEW YORK

REVISION	DATE
01	USACE PERMIT APP 10/11/19

DATE: 5/15/2020

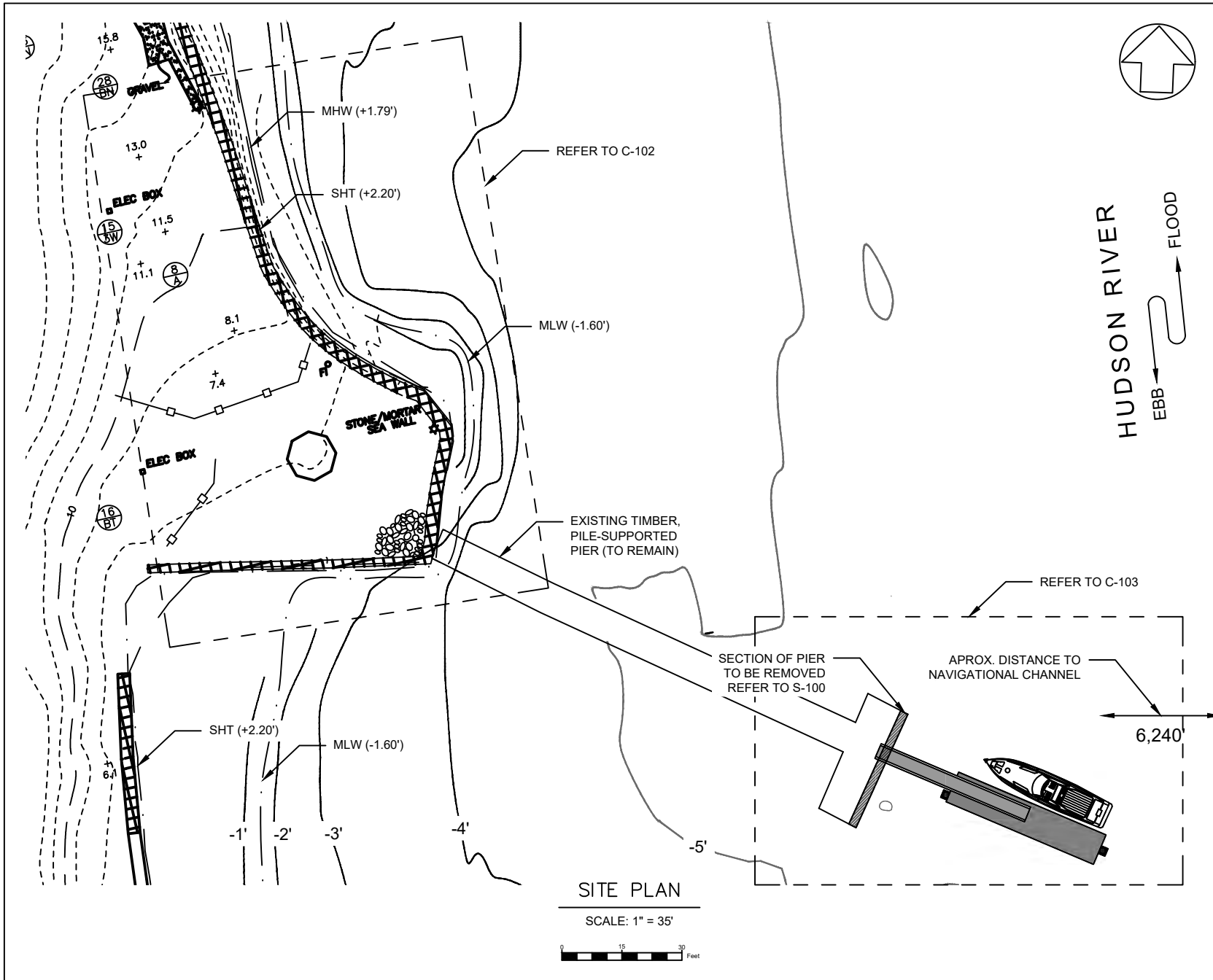
DRAWN BY: EGB

CHECKED BY: SET

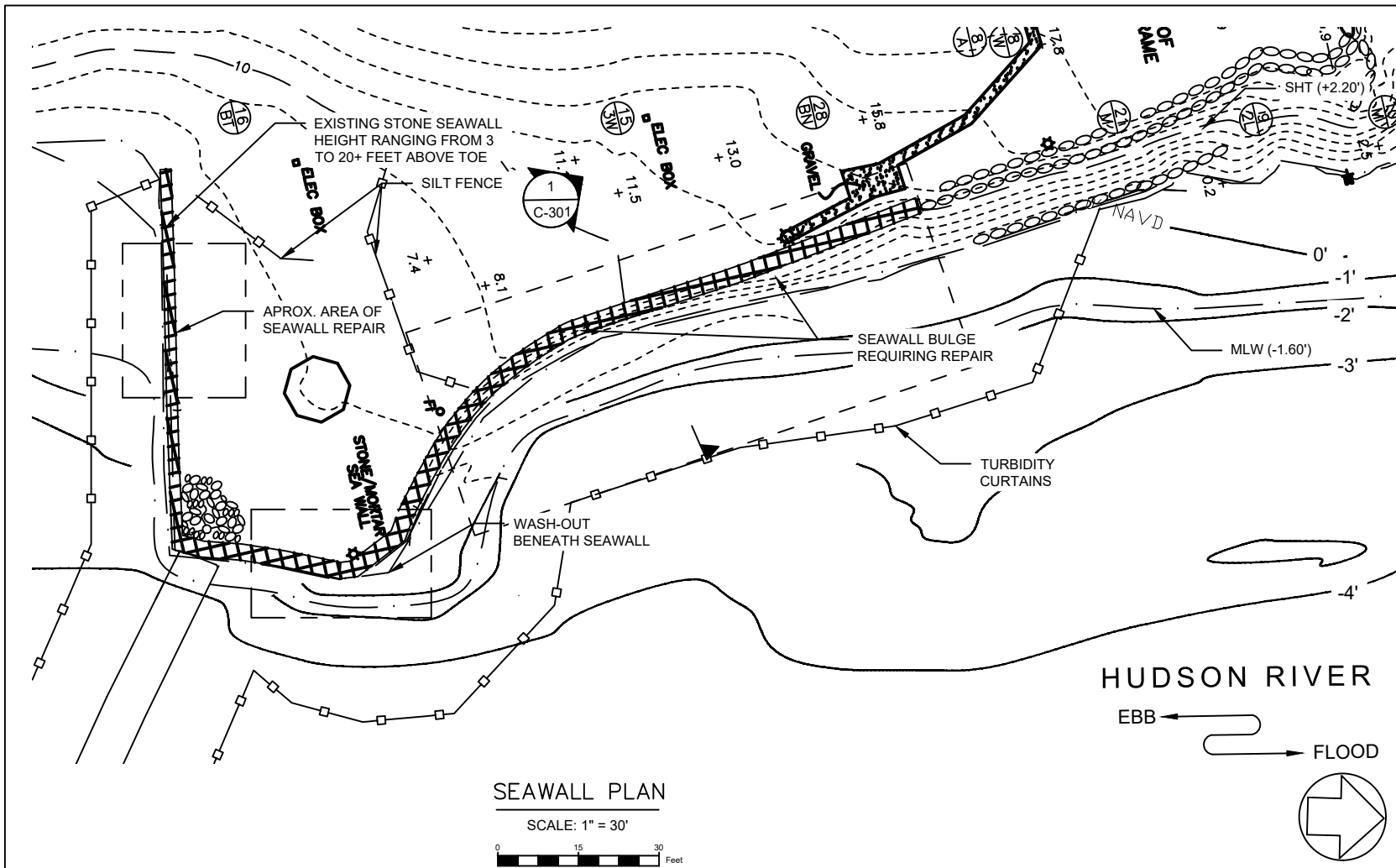
PROJECT NO.: 19011

SHEET TITLE:  
  
 VICINITY  
 MAP

DRAWING NO.  
  
 V-100  
  
 2 OF 8 SHEETS



<b>APPLICANT:</b> 649 NORTH BROADWAY, LLC 150 BROADWAY, SUITE 900 NEW YORK, NY 10038	
<b>AGENT:</b> TMS WATERFRONT 247 W. 35TH STREET 10TH FLOOR N NEW YORK, NY 10001 T: (917) 426-6788 www.tms-waterfront.com	
<b>PROJECT NAME:</b> 649 NORTH BROADWAY	
<b>NAME OF WATERBODY:</b> HUDSON RIVER TOWN: UPPER NYACK COUNTY: ROCKLAND STATE: NEW YORK	
<b>REVISION</b>	<b>DATE</b>
01 USACE PERMIT APP	10/11/19
02 USACE PERMIT APP	11/27/19
03 USACE & DOS	1/27/20
04 USACE PERMIT APP	5/15/20
<b>DATE:</b> 5/15/2020	
<b>DRAWN BY:</b> EGB	
<b>CHECKED BY:</b> SET	
<b>PROJECT NO.:</b> 19011	
<b>SHEET TITLE:</b> SITE PLAN	
<b>DRAWING NO.</b> C-101	
3 OF 8 SHEETS	



**SEAWALL PLAN**

SCALE: 1" = 30'



**NOTES:**

1. SELECT SECTIONS OF WALL WILL BE REHABILITATED USING EXISTING MATERIALS.
2. THE HYDROGRAPHIC SURVEY AND TIDAL DIAGRAM WERE COMPLETED BY HYDROGRAPHIC SURVEYS ON 7/19/2019. THE INFORMATION DEPICTED REPRESENTS THE RESULTS OF THE SURVEY PERFORMED ON 7/19/2019 AND CAN ONLY BE CONSIDERED AS THE GENERAL CONDITIONS AT THAT TIME.
3. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
5. PROPOSED SHADING OVER SHT = 338 SQUARE FEET.
6. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED NO LESS THAN ONCE A WEEK AND ANY NECESSARY REPAIRS IMMEDIATELY MADE.

**APPLICANT:**

649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038

**AGENT:**

TMS WATERFRONT  
247 W. 35TH STREET  
10TH FLOOR N  
NEW YORK, NY 10001  
T: (917) 426-6788  
www.tms-waterfront.com

**PROJECT NAME:**

649 NORTH BROADWAY

**NAME OF WATERBODY:**

HUDSON RIVER  
TOWN: UPPER NYACK  
COUNTY: ROCKLAND  
STATE: NEW YORK

**REVISION DATE**

REVISION	DATE
01 USACE PERMIT APP	10/11/19
02 USACE PERMIT APP	11/27/19

DATE: 5/15/2020

DRAWN BY: EGB

CHECKED BY: SET

PROJECT NO.: 19011

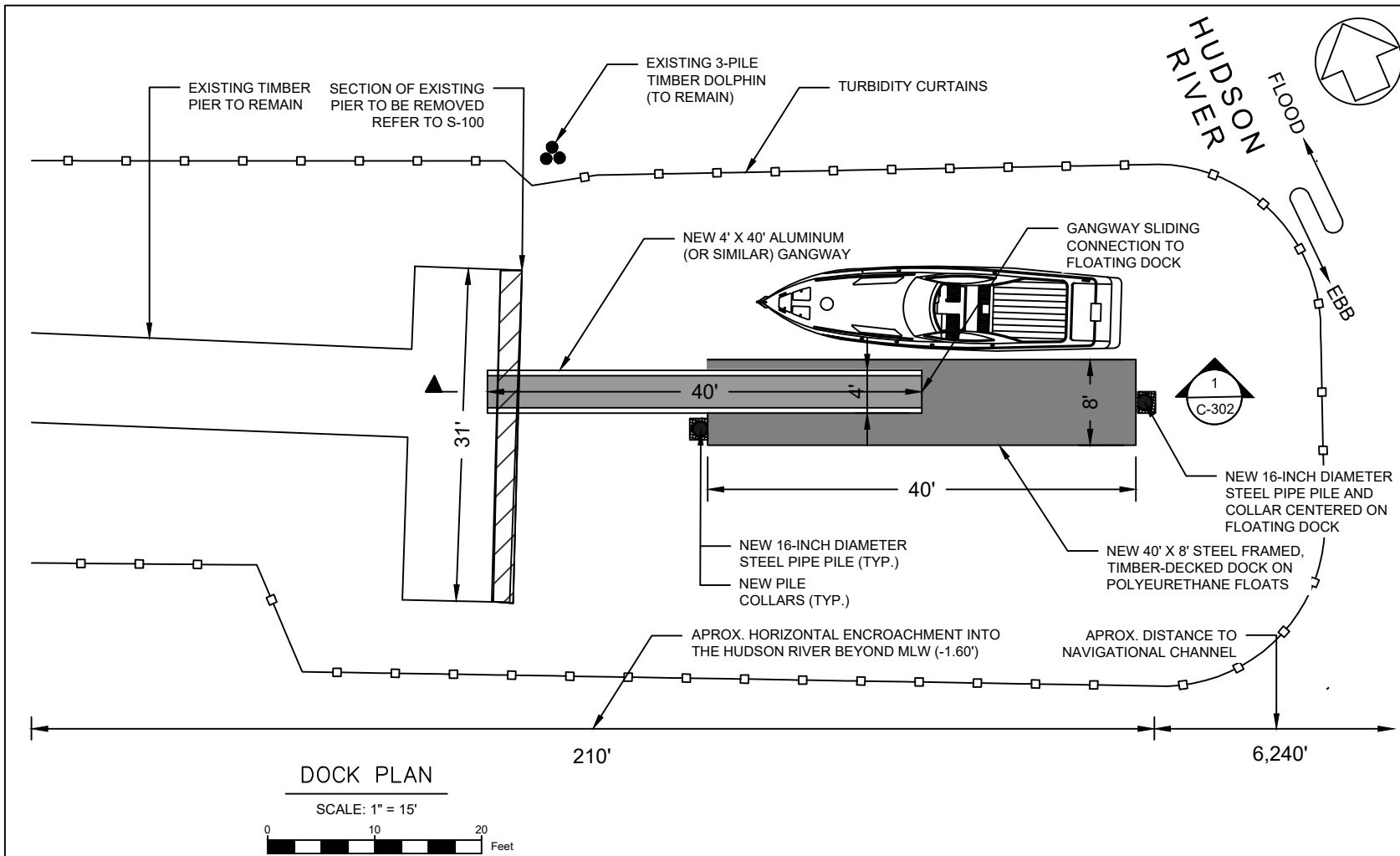
SHEET TITLE:

**SEAWALL  
PLAN**

DRAWING NO.

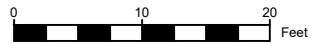
C-102

4 OF 8 SHEETS



DOCK PLAN

SCALE: 1" = 15'



NOTES:

1. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
2. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
3. THE WORKING AREA WILL BE SURROUNDED BY SEDIMENT BOOMS/TURBIDITY CURTAINS.
4. TWO (2) 16-INCH DIAMETER STEEL PIPE PILES WILL BE INSTALLED TO SECURE THE FLOATING BARGE.
5. PROPOSED SHARING OVER SHT = 338 SQUARE FEET.

APPLICANT:

649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038

AGENT:

TMS WATERFRONT  
247 W. 35TH STREET  
10TH FLOOR N  
NEW YORK, NY 10001  
T: (917) 426-6788  
www.tms-waterfront.com

PROJECT NAME:

649 NORTH BROADWAY

NAME OF WATERBODY:

HUDSON RIVER  
TOWN: UPPER NYACK  
COUNTY: ROCKLAND  
STATE: NEW YORK

REVISION DATE

REVISION	DATE
01	USACE PERMIT APP 10/11/19
02	USACE PERMIT APP 11/27/19
03	USACE & DOS 1/27/20
04	USACE PERMIT APP 5/15/20

DATE: 5/15/2020

DRAWN BY: EGB

CHECKED BY: SET

PROJECT NO.: 19011

SHEET TITLE:

DOCK PLAN

DRAWING NO.

C-103

5 OF 8 SHEETS

APPLICANT:  
 649 NORTH BROADWAY, LLC  
 150 BROADWAY, SUITE 900  
 NEW YORK, NY 10038

AGENT:  
 TMS WATERFRONT  
 247 W. 35TH STREET  
 10TH FLOOR N  
 NEW YORK, NY 10001  
 T: (917) 426-6788  
 www.tms-waterfront.com

PROJECT NAME:  
 649 NORTH BROADWAY

NAME OF WATERBODY:  
 HUDSON RIVER  
 TOWN: UPPER NYACK  
 COUNTY: ROCKLAND  
 STATE: NEW YORK

REVISION	DATE
01 USACE PERMIT APP	10/11/19
02 USACE PERMIT APP	11/27/19

DATE: 5/15/2020

DRAWN BY: EGB

CHECKED BY: SET

PROJECT NO.: 19011

SHEET TITLE:  
 SEAWALL SECTION

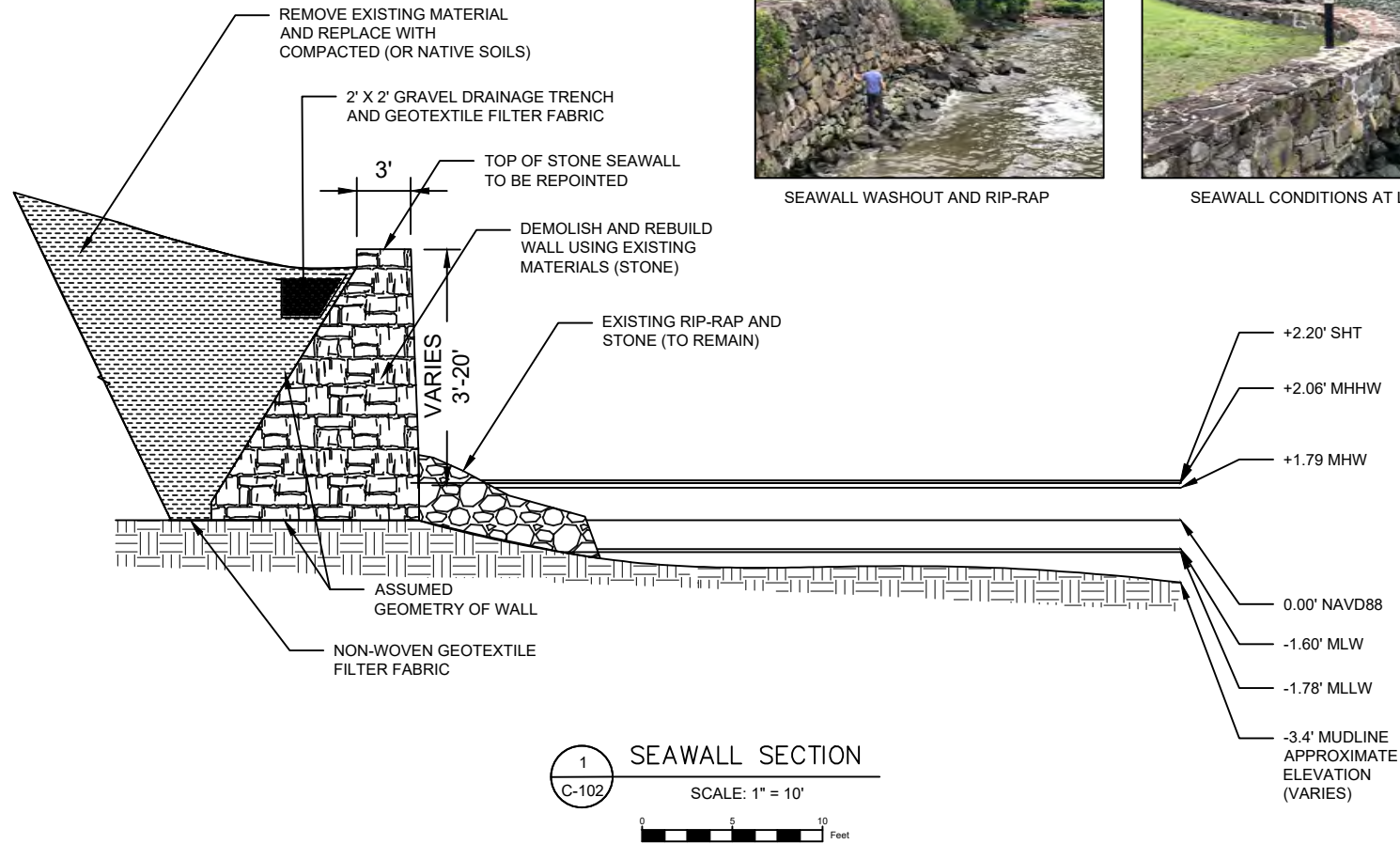
DRAWING NO.  
 C-301  
 6 OF 8 SHEETS



SEAWALL WASHOUT AND RIP-RAP

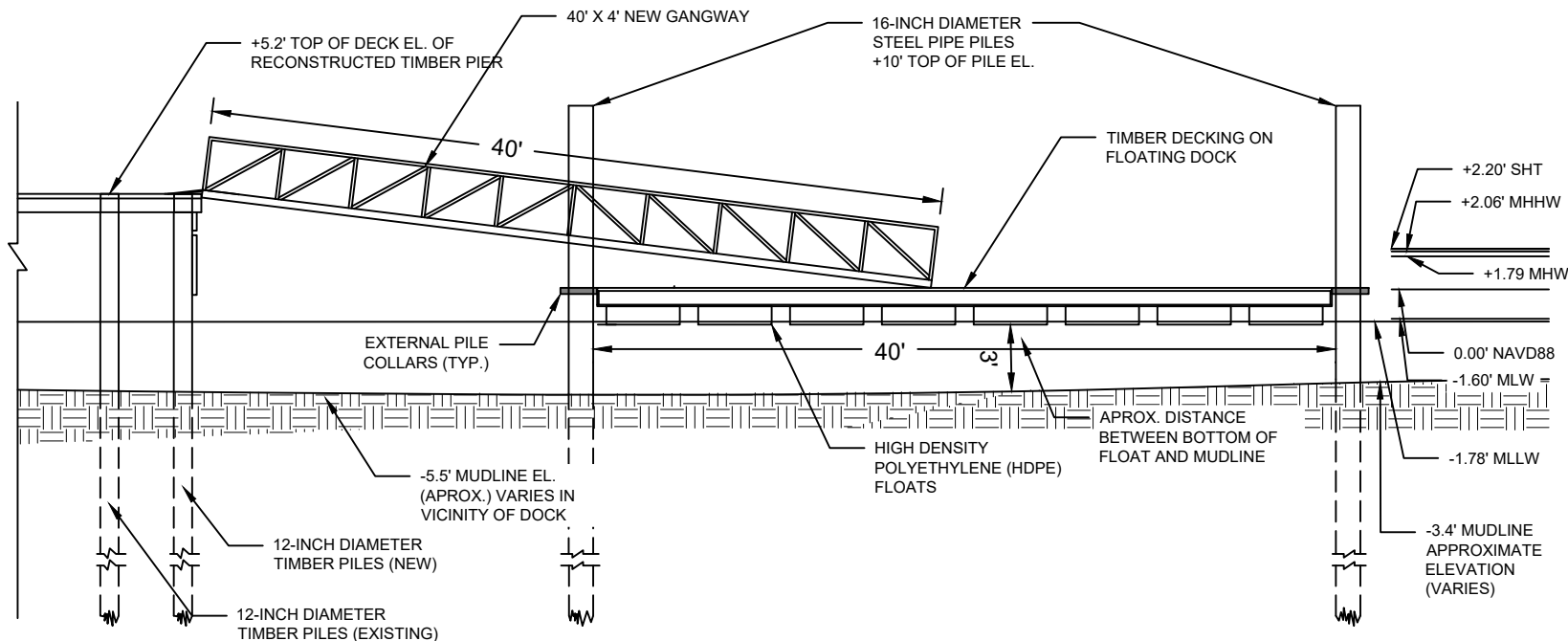


SEAWALL CONDITIONS AT LOW TIDE



1 SEAWALL SECTION  
 C-102 SCALE: 1" = 10'  
 0 5 10 Feet

- NOTES:
- THREE AREAS OF SEAWALL WILL BE REHABILITATED USING EXISTING MATERIALS (10 LF, 20 LF, AND 25 LF SECTIONS, TOTALING APPROXIMATELY 55 LF).
  - LARGEST STONE PIECES WILL BE PLACED AT THE BASE OF THE RECONSTRUCTED SEAWALL TO PREVENT WASHOUT.
  - ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  - THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
  - CONTRACTOR TO STAGE WORK FROM LAND.
  - CARE WILL BE EXERCISED IN DEMOLITION; WORKING SO MATERIAL FALLS AND STAYS UPLAND TOWARDS SHORE.

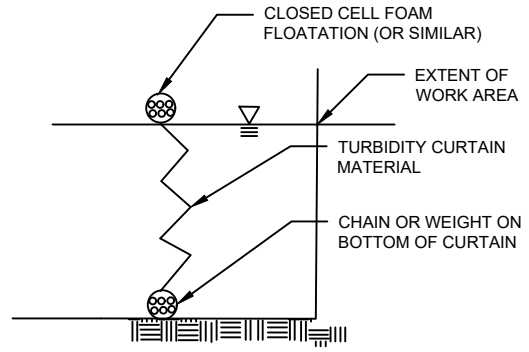


1  
C-103

**DOCK SECTION**

SCALE: 1" = 10'

- NOTES:
1. THE TIDAL ELEVATION INFORMATION DEPICTED REPRESENTS THE RESULTS OF THE SURVEY PERFORMED ON 7/19/2019 BY HYDROGRAPHIC SURVEYS AND CAN ONLY BE CONSIDERED AS THE GENERAL CONDITIONS AT THAT TIME.
  2. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  3. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
  4. THE WORKING AREA WILL BE SURROUNDED BY SEDIMENT BOOMS/TURBIDITY CURTAINS.
  5. TWO (2) 16-INCH DIAMETER STEEL PIPE PILES WILL BE INSTALLED TO SECURE THE FLOATING BARGE.
  6. EXISTING AND PROPOSED RAILINGS ARE NOT SHOWN ON THE PIER FOR CLARITY.
  7. TURBIDITY CURTAINS WILL BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA TO PREVENT MATERIAL DISRUPTED DURING CONSTRUCTION FROM MIGRATING OUT OF THE IMMEDIATE WORK AREA. TURBIDITY CURTAINS WILL BE CHECKED NO LESS THAN ONCE A WEEK AND ANY NECESSARY REPAIRS WILL BE IMMEDIATELY MADE.



**TURBIDITY CURTAIN DETAIL**

SCALE: NTS

APPLICANT:  
649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038

AGENT:  
TMS WATERFRONT  
247 W. 35TH STREET  
10TH FLOOR N  
NEW YORK, NY 10001  
T: (917) 426-6788  
www.tms-waterfront.com

PROJECT NAME:  
649 NORTH BROADWAY

NAME OF WATERBODY:  
HUDSON RIVER  
TOWN: UPPER NYACK  
COUNTY: ROCKLAND  
STATE: NEW YORK

REVISION	DATE
01 USACE PERMIT APP	10/11/19
02 USACE PERMIT APP	11/27/19
04 USACE PERMIT APP	5/15/20

DATE: 5/15/2020

DRAWN BY: EGB

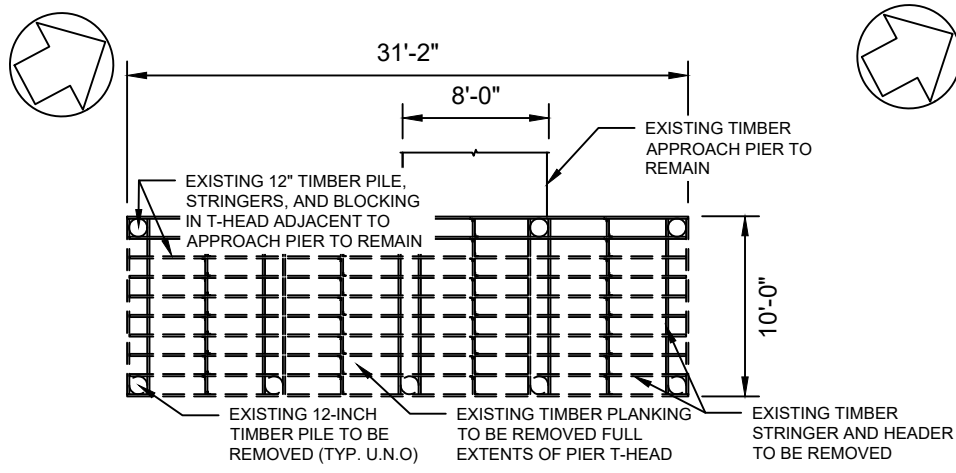
CHECKED BY: SET

PROJECT NO.: 19011

SHEET TITLE:  
**DOCK SECTION**

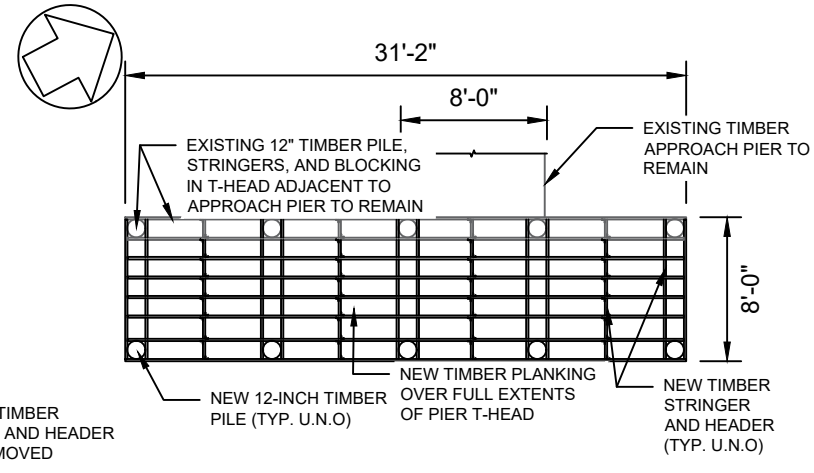
DRAWING NO.  
C-302

7 OF 8 SHEETS



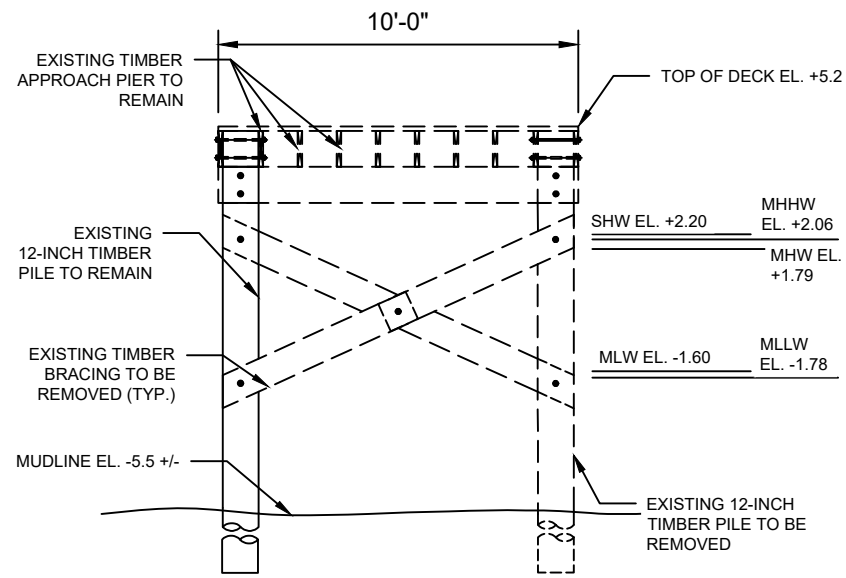
**EXISTING PIER HEAD PLAN**

SCALE: 1/128" = 1'-0"

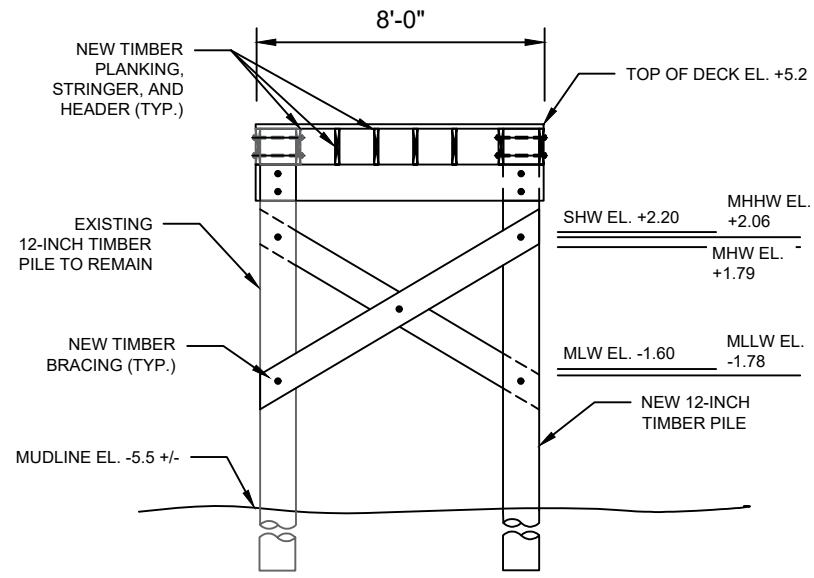


**PROPOSED PIER HEAD PLAN**

SCALE: 1/128" = 1'-0"



**A** **EXISTING PIER HEAD SECTION**  
SCALE: 1/64" = 1'-0"



**B** **PROPOSED PIER HEAD SECTION**  
SCALE: 1/64" = 1'-0"

**APPLICANT:**

649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038

**AGENT:**

TMS WATERFRONT  
247 W. 35TH STREET  
10TH FLOOR N  
NEW YORK, NY 10001  
T: (917) 426-6788  
www.tms-waterfront.com

**PROJECT NAME:**

649 NORTH BROADWAY

**NAME OF WATERBODY:**

HUDSON RIVER  
TOWN: UPPER NYACK  
COUNTY: ROCKLAND  
STATE: NEW YORK

REVISION	DATE

DATE: 5/15/2020

DRAWN BY: BDB

CHECKED BY: SET

PROJECT NO.: 19011

**SHEET TITLE:**

PIER RE-CONSTRUCTION

**DRAWING NO.**

S-100

8 OF 8 SHEETS

# 649 NORTH BROADWAY

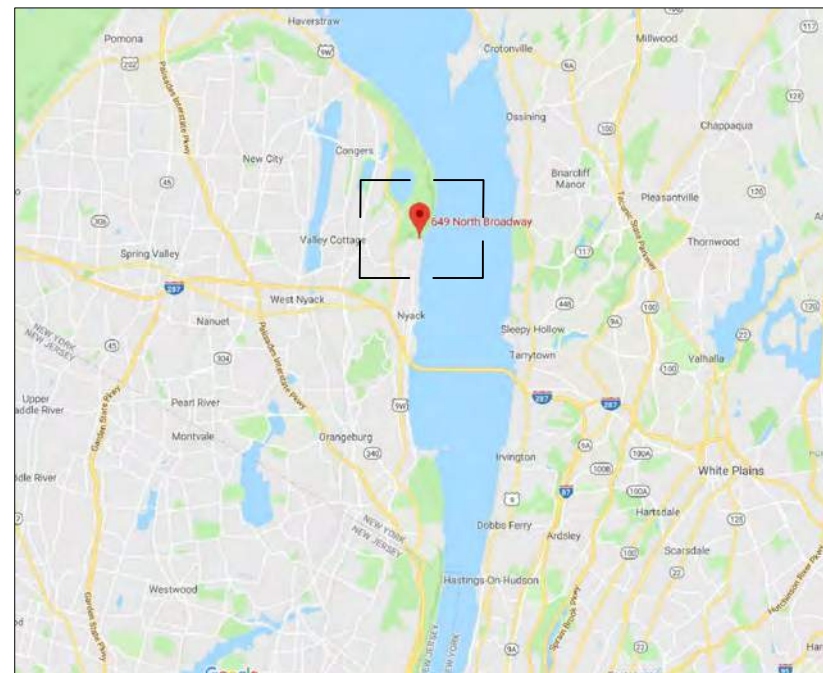
## SEAWALL REHABILITATION AND DOCK INSTALLATION

REVISION 01: 10/11/2019  
REVISION 02: 11/27/2019  
REVISION 03: 02/13/2020  
REVISION 04: 05/13/2020

UPPER NYACK, NEW YORK  
SEPTEMBER 5, 2019

PREPARED BY:  
TMS WATERFRONT  
181 WESTCHESTER AVENUE  
PORT CHESTER, NEW YORK 10573

PREPARED FOR:  
649 NORTH BROADWAY, LLC  
150 BROADWAY, SUITE 900  
NEW YORK, NY 10038



VICINITY MAP (NTS)

### DRAWING LIST:

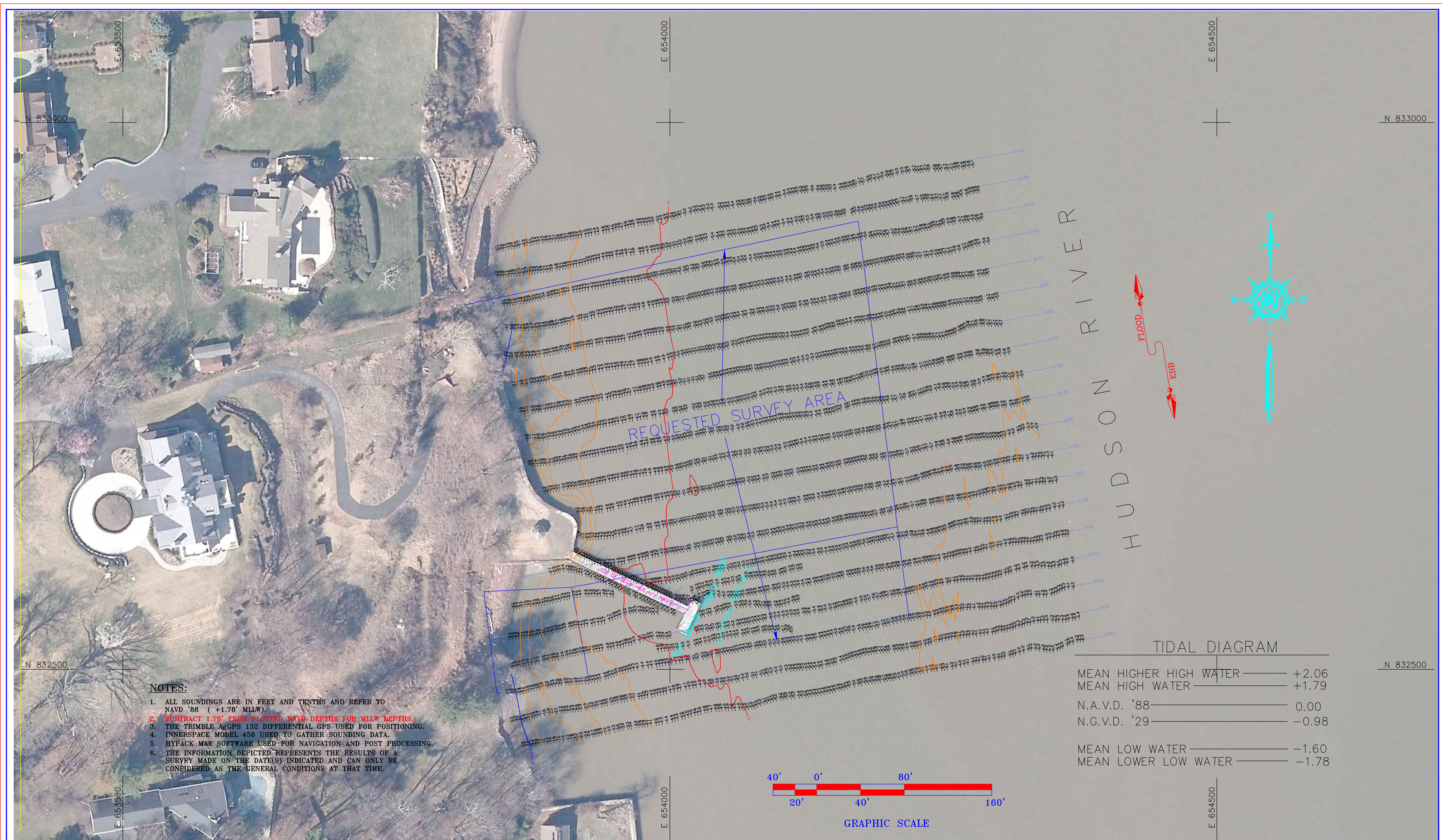
- G-001 COVER SHEET
- V-100 HYDROGRAPHIC SURVEY
- V-101 TOPOGRAPHIC SURVEY
- C-100 SITE PLAN AND EXISTING CONDITIONS
- C-101 SEAWALL PLAN
- C-102 DOCK PLAN
- C-103 FACILITY PERIMETER PLAN
- C-300 SEAWALL SECTION
- C-301 DOCK SECTION
- S-100 PIER RECONSTRUCTION



LOCATION MAP (NTS)

PERMIT SUBMISSION (REV. 04)



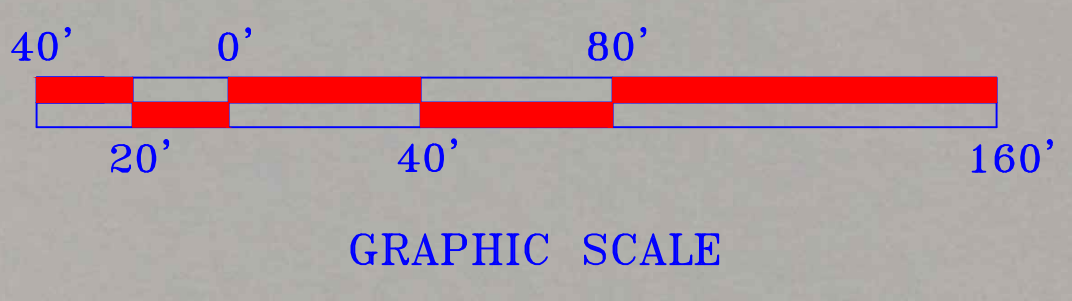


**NOTES:**

1. ALL SOUNDINGS ARE IN FEET AND TENTHS AND REFER TO NAVD '88 (+1.78' MLLW).
2. **SUBTRACT 1.78' FROM PLOTTED NAVD DEPTHS FOR MLLW DEPTHS.**
3. THE TRIMBLE AgGPS 132 DIFFERENTIAL GPS USED FOR POSITIONING.
4. INNERSPACE MODEL 456 USED TO GATHER SOUNDING DATA.
5. HYPACK MAX SOFTWARE USED FOR NAVIGATION AND POST PROCESSING.
6. THE INFORMATION DEPICTED REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE(S) INDICATED AND CAN ONLY BE CONSIDERED AS THE GENERAL CONDITIONS AT THAT TIME.

**TIDAL DIAGRAM**

MEAN HIGHER HIGH WATER	+2.06
MEAN HIGH WATER	+1.79
N.A.V.D. '88	0.00
N.G.V.D. '29	-0.98
MEAN LOW WATER	-1.60
MEAN LOWER LOW WATER	-1.78



NO.	DATE	DESCRIPTION	APR.
R1	08.01.19	CONVERT TO NAVD AS REQUESTED REVISION	JLS

**PROJECT:**  
**MOONBEAM CAPITAL**  
**VILLAGE OF UPPER NYACK**  
**ROCKLAND COUNTY, NEW YORK**  
**CONDITION SOUNDINGS**  
**25' X 5' GRID**

**DWN. BY** JLS  
**CHK. BY** MJG  
**APR. BY** AWB  
**SCALE:** 1"=40'

**FATHOMETRIC SURVEY PREPARED FOR:**  
 TMS-Waterfront  
 181 Westchester Avenue  
 Suite 409  
 Port Chester, New York 10573

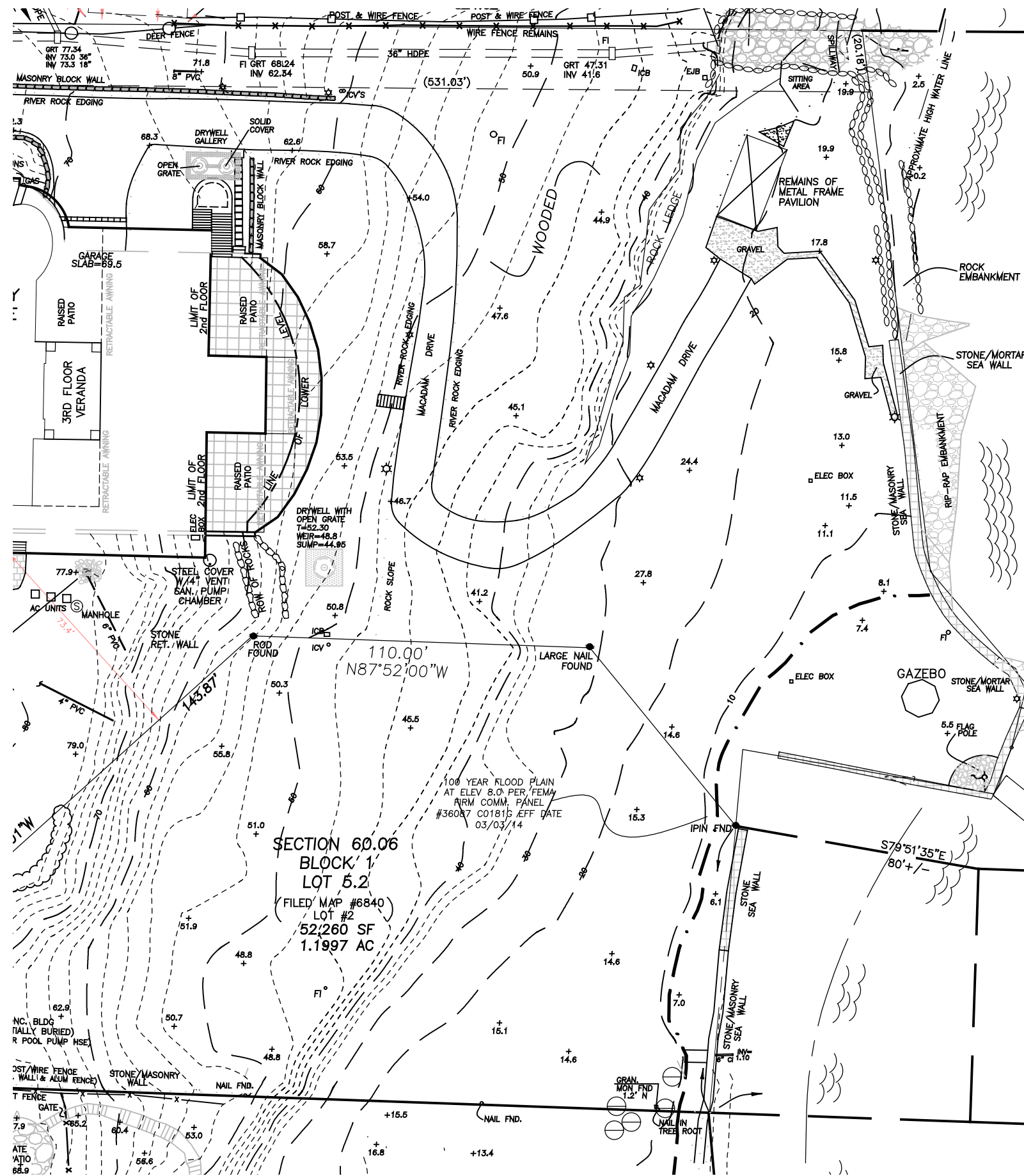
I hereby certify that all work was performed under my direct supervision and is a true representation of conditions existing on the dates of the survey.

*Alfred W. Benson III*  
 Alfred W. Benson III  
 #50 NATIONALLY CERTIFIED INSHORE HYDROGRAPHER

**HYDROGRAPHIC SURVEYS**

237 DELSEA DRIVE SEWELL, NEW JERSEY 08080 PHONE: 856-589-8546 FAX: 856-589-4897  
 JIM STEFFEN - Data Processing Manager NATIONALLY CERTIFIED HYDROGRAPHERS BILL BENSON - Field Operations Manager  
 15-Mile Hydrographic Coverage MICHELE E. GAMBONE - Office Manager TOLL FREE: 1-800-807-8881 FPN08546  
 OVER 35 YEARS IN BUSINESS & OVER 2,000 PROJECTS

<b>HYPACK TAG:</b> TAG	<b>DATE:</b> JULY 19, 2019
<b>ANALOG #:</b> 071919	<b>LINE FILE:</b> MOONBEAMCAPITOL.LNW
<b>SHEET:</b> 1 OF 1	<b>DRAWING NO.:</b> 19-TMSW-N/A-9805-4048



APPROX. LINE OF LAND UNDERWATER PER FILED MAP #6840

PREPARED BY **JAY A. GREENWELL, PLS, LLC** 555' +/-

LAND SURVEYING - LAND PLANNING  
 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901  
 PHONE 845-357-0830 FAX 845-357-0756

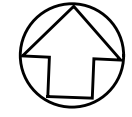
**LEGEND**

		CATCH BASIN/FIELD INLET
		DRAIN LINE
		SANITARY MANHOLE / PIPE
		EDGE OF PAVEMENT
		CONCRETE CURB
		GAS LINE/ VALVE
		WATER LINE / VALVE
		UTILITY POLE
		LIGHT POLE
		OVERHEAD WIRES
		UNDERGROUND ELECTRIC
		IRRIGATION CONTROL BOX

- SURVEY NOTES/REFERENCES:**
- (A) DEED REFERENCE (TAX LOT 5.1): INSTR. #1998-00038606
  - (B) DEED REFERENCE (TAX LOT 5.2): L.4070, P. 435
  - (C) DEED REFERENCE (TAX LOT 6): INSTR #1997-37842
  - MAP REFERENCE: "SUBDIVISION PLAT PREPARED FOR DR. WILLIAM D. HARDY JR. ..." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6840 ON SEPT. 27, 1994.
  - MAP REFERENCE: "SUBDIVISION FOR RASO, MANN, BESSO & ENGLEMOHR" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6813.
  - "BOUNDARY & TOPOGRAPHIC SURVEY OF PROPERTY, LOT 6, BLOCK 1, SECTION 60.06" BY JOHN E. COLLAZUOL & ASSOC. LAST REV. 4/25/03
  - DEED FOR GOTTlieb TO LIEFER (TAX LOT 60.06-1-6) IN INSTR ID: 1997-37842 DOES NOT CLOSE MATHEMATICALLY; BEARING DIRECTIONS ARE REVERSED; FROM THE POINT OF BEGINNING, THE DESCRIPTION IS INTENDED TO RUN COUNTERCLOCKWISE BUT THE BEARING DIRECTIONS ARE INCORRECT AND INCONSISTENT.
  - DATUM: NGVD 29

**TOPOGRAPHIC SURVEY**

SCALE: 1" = 40'



APPROX. LINE OF LAND UNDERWATER PER FILED MAP #6840



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OWNER

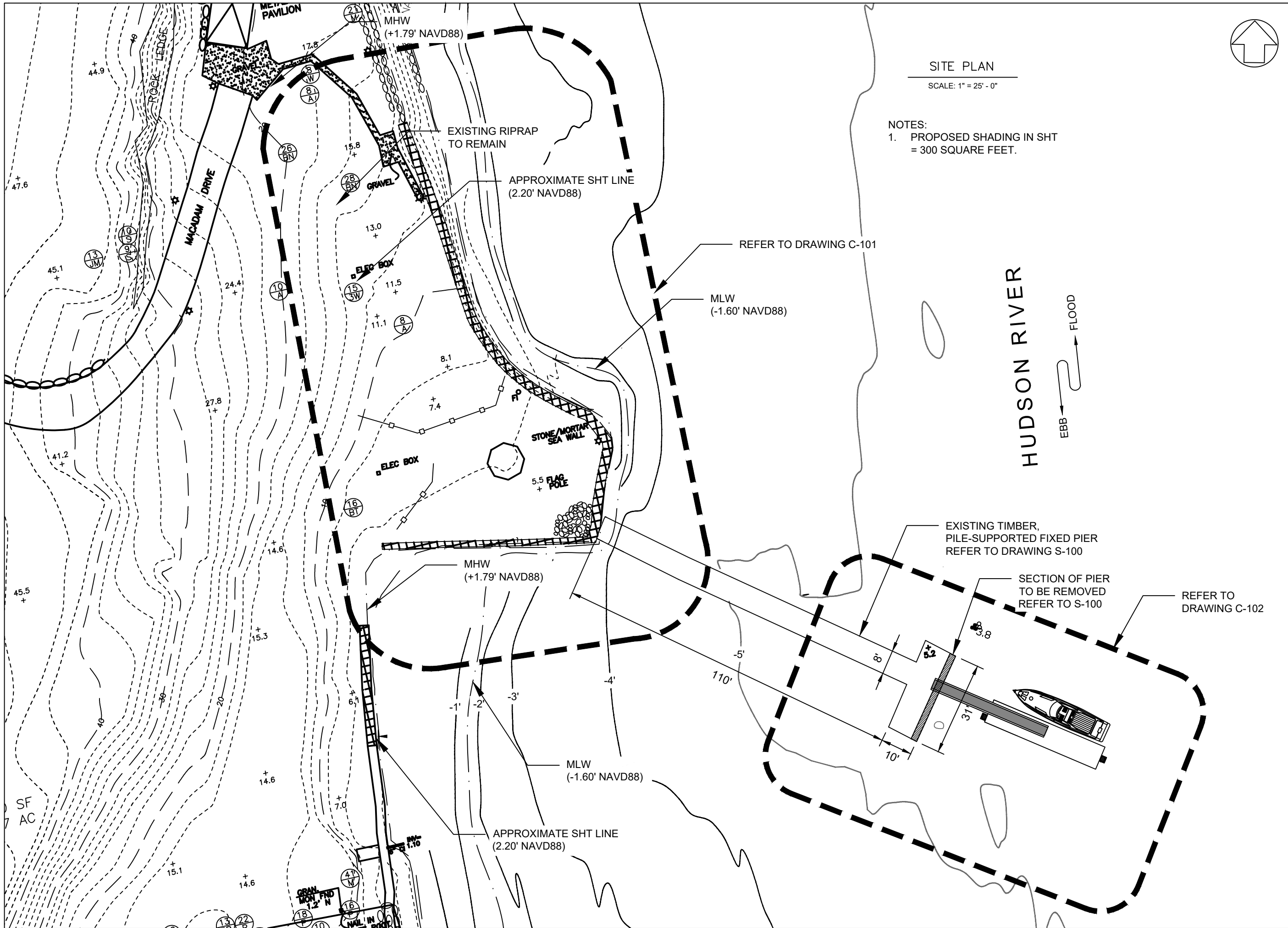
649 NORTH BROADWAY, LLC  
 150 BROADWAY, SUITE 900  
 NEW YORK, NY 10038

CONSULTANTS

11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE
DATE	SUBMISSIONS / REVISIONS
SHEET TITLE	

**TOPOGRAPHIC SURVEY**

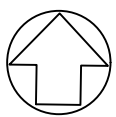
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00.00.00	19011
DRAWN BY:	CHECKED BY:
FDA	FBA
SCALE:	SHEET NO:
1:40'	3 OF 10
DRAWING NO:	



SITE PLAN

SCALE: 1" = 25' - 0"

NOTES:  
1. PROPOSED SHADING IN SHT = 300 SQUARE FEET.



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HUDSON RIVER



DATE	SUBMISSIONS / REVISIONS
05.13.20	DEC RESPONSE
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

SITE PLAN AND  
EXISTING  
CONDITIONS

ISSUE DATE:	PROJECT NO:
09.06.19	19011
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FDA	EGB
SCALE:	SHEET NO:
1:25'	4 OF 10
DRAWING NO:	



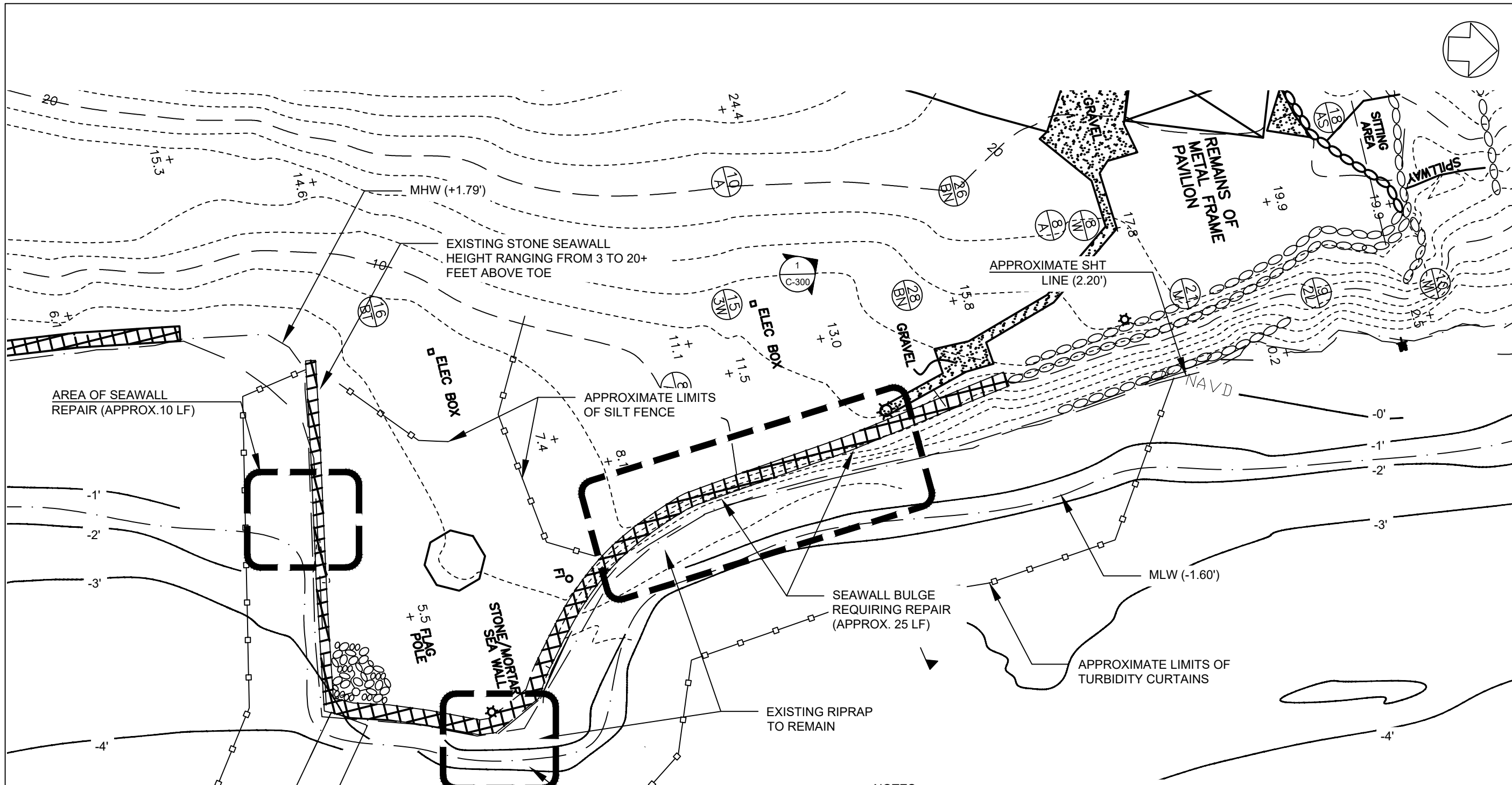
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HUDSON RIVER  
 EBB ← FLOOD →

SEAWALL PLAN  
 SCALE: 1" = 20'-0"

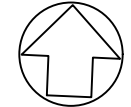
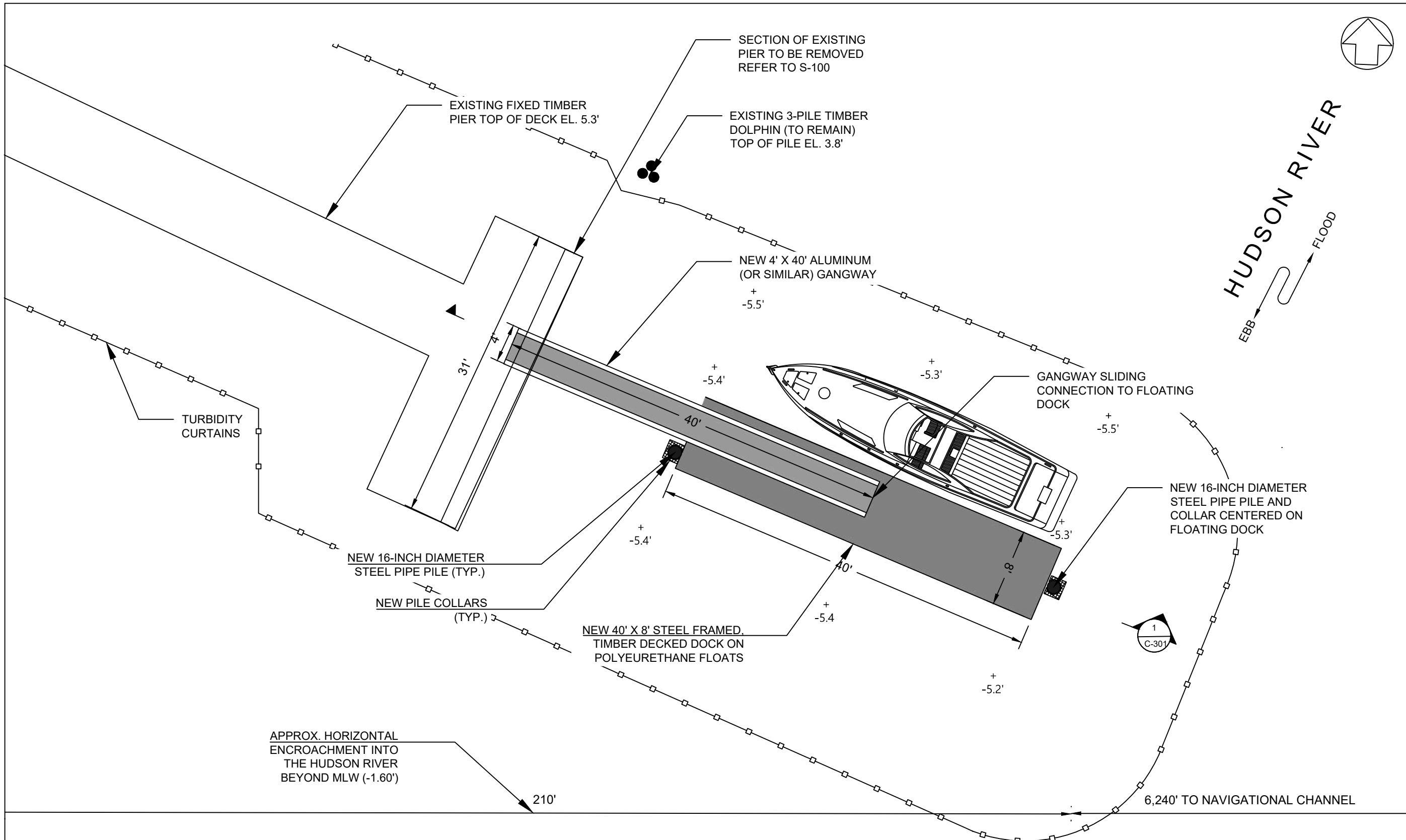
- NOTES:
1. THREE AREAS OF SEAWALL WILL BE REHABILITATED USING EXISTING MATERIALS (10 LF, 20 LF, AND 25 LF SECTIONS, TOTALING APPROXIMATELY 55 LF).
  2. THE HYDROGRAPHIC SURVEY AND TIDAL DIAGRAM SHOWN WERE COMPLETED BY HYDROGRAPHIC SURVEYS ON 7/19/2019. THE INFORMATION DEPICTED REPRESENTS THE RESULTS OF THE SURVEY MADE ON 7/19/2019 AND CAN ONLY BE CONSIDERED AS THE GENERAL CONDITIONS AT THAT TIME.
  3. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  4. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
  5. PROPOSED SHADING IN SHT = 300 SQUARE FEET
  6. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED NO LESS THAN ONCE A WEEK AND ANY NECESSARY REPAIRS IMMEDIATELY MADE.
  7. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE IF SEDIMENT ACCUMULATES AT LEAST 6 INCHES AT THE FENCE AND THE BARRIER WILL BE REPAIRED AS NEEDED.

DATE	SUBMISSIONS / REVISIONS
05.13.20	DEC RESPONSE
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

SEAWALL PLAN

ISSUE DATE:	PROJECT NO:
09.06.19	19011
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SCALE:	SHEET NO:
1:20'	5 OF 10
DRAWING NO:	



HUDSON RIVER  
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DATE	SUBMISSIONS / REVISIONS
05.13.20	DEC RESPONSE
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

DOCK  
 PLAN

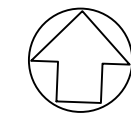
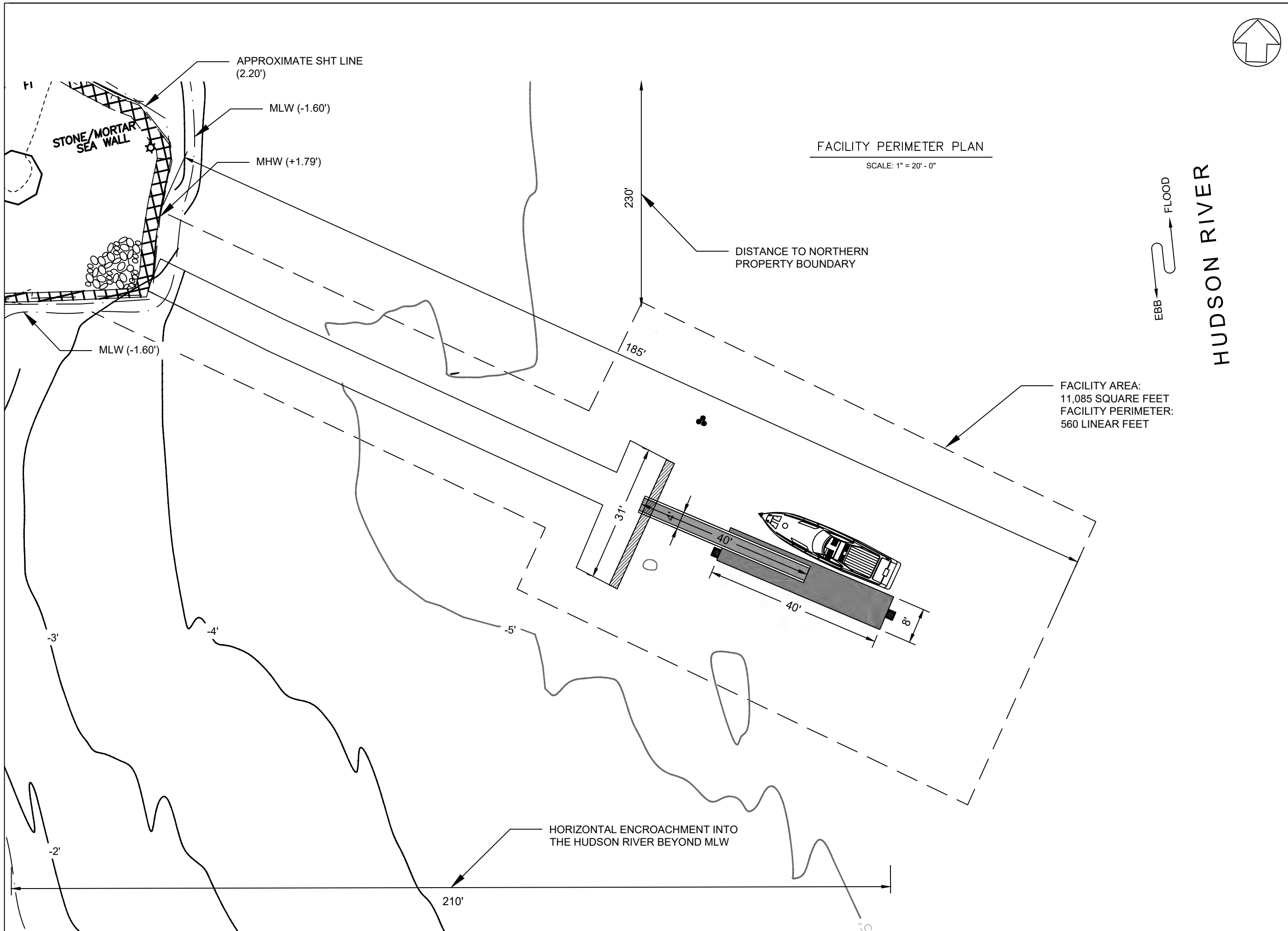
DOCK PLAN

SCALE: 1" = 10' - 0"

NOTES:

1. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
2. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
3. THE WORKING AREA WILL BE SURROUNDED BY SEDIMENT BOOMS/TURBIDITY CURTAINS.
4. TWO (2) 16-INCH DIAMETER STEEL PIPE PILES WILL BE INSTALLED TO SECURE THE FLOATING BARGE.
5. TO INSTALL NEW TIMBER PILES, TEMPORARILY REMOVE PORTIONS OF EXISTING TIMBER DECK. REINSTALL AFTER PILE INSTALATION.

ISSUE DATE:	PROJECT NO:
09.06.19	19011
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FDA	FBA
SCALE:	SHEET NO:
1:10'	6 OF 10
DRAWING NO:	



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02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

**FACILITY PERIMETER PLAN**

ISSUE DATE:	PROJECT NO:
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FDA	FBA
SCALE:	SHEET NO:
1:25'	7 OF 10
DRAWING NO:	



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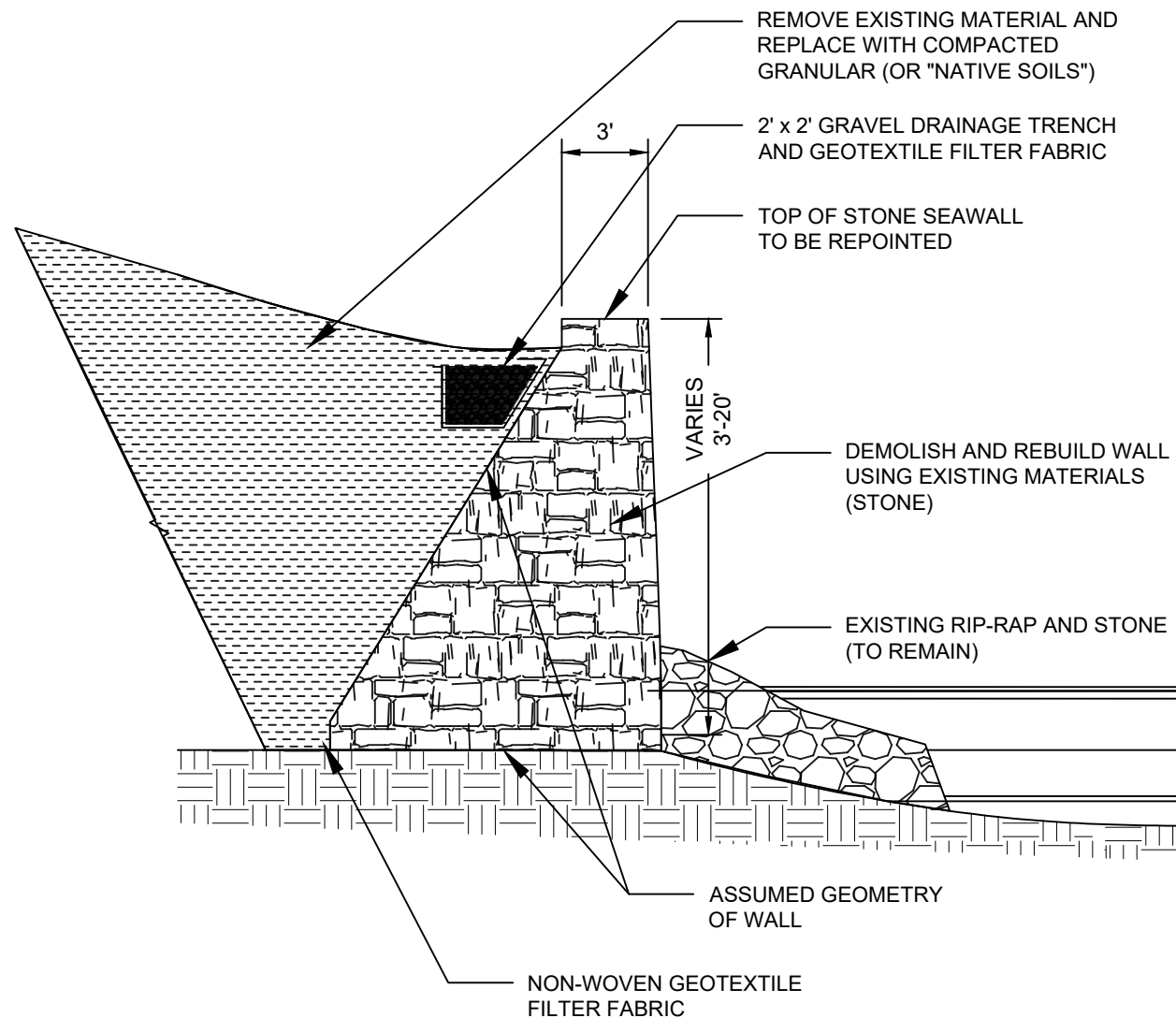
OWNER

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NOTES:

1. THREE AREAS OF SEAWALL WILL BE REHABILITATED USING EXISTING MATERIALS (10 LF, 20 LF, AND 25 LF SECTIONS, TOTALING APPROXIMATELY 55 LF).
2. LARGEST STONE PIECES WILL BE PLACED AT THE BASE OF THE RECONSTRUCTED SEAWALL TO PREVENT WASHOUT.
3. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
5. CONTRACTOR TO STAGE WORK FROM LAND.
6. CARE WILL BE EXERCISED IN DEMOLITION; WORKING SO MATERIAL FALLS AND STAYS UPLAND TOWARDS SHORE



SEAWALL WASHOUT AND RIP-RAP



SEAWALL CONDITIONS AT LOW TIDE

- +2.20' SHT
- +2.06' MHHW
- +1.79 MHW
- 0.00' NAVD88
- 1.60' MLW
- 1.78' MLLW
- 3.4' MUDLINE APPROXIMATE ELEVATION (VARIES)

1 SEAWALL SECTION  
C-101 SCALE: 1" = 1'-4"

DATE	SUBMISSIONS / REVISIONS
05.13.20	DEC RESPONSE
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

SEAWALL SECTION

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FDA	FBA
SCALE:	SHEET NO:
1:1'-4"	8 OF 10
DRAWING NO:	



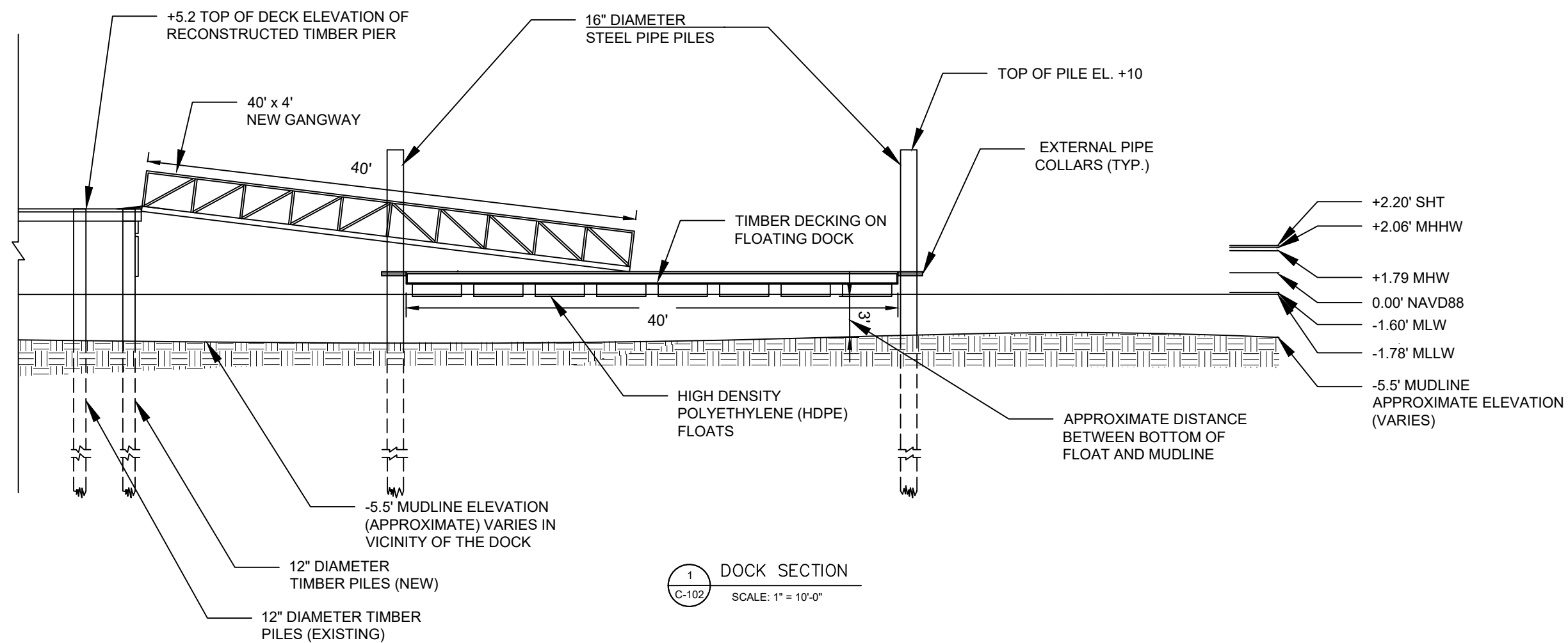
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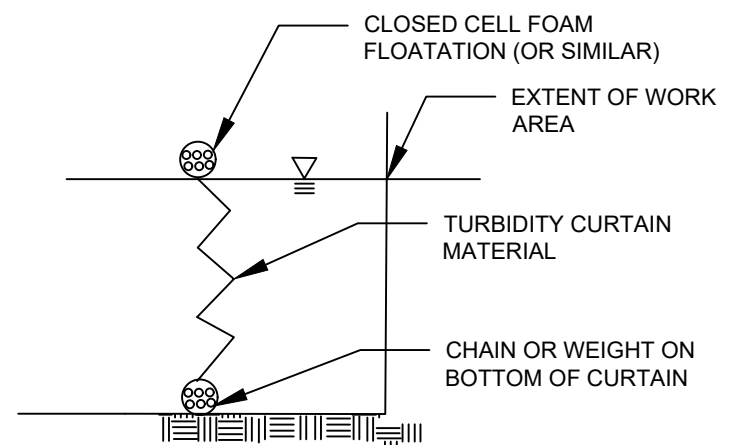
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1 DOCK SECTION  
 C-102 SCALE: 1" = 10'-0"



TURBIDITY CURTAIN DETAIL  
 SCALE: NTS

NOTES:

1. THE TIDAL ELEVATION INFORMATION DEPICTED REPRESENTS THE RESULTS OF THE SURVEY PERFORMED ON 7/19/2019 BY HYDROGRAPHIC SURVEYS AND CAN ONLY BE CONSIDERED AS THE GENERAL CONDITIONS AT THAT TIME.
2. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THESE DRAWINGS ARE INTENDED FOR USE IN REGULATORY APPROVALS AND ARE NOT TO BE USED AS CONSTRUCTION DRAWINGS.
4. THE WORKING AREA WILL BE SURROUNDED BY SEDIMENT BOOMS/TURBIDITY CURTAINS.
5. TWO (2) 16-INCH DIAMETER STEEL PIPE PILES WILL BE INSTALLED TO SECURE THE FLOATING BARGE.
6. EXISTING AND PROPOSED RAILINGS ARE NOT SHOWN ON THE PIER FOR CLARITY.
7. TURBIDITY CURTAINS WILL BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA TO PREVENT MATERIAL DISRUPTED DURING CONSTRUCTION FROM MIGRATING OUT OF THE IMMEDIATE WORK AREA. TURBIDITY CURTAINS WILL BE CHECKED NO LESS THAN ONCE A WEEK AND ANY NECESSARY REPAIRS WILL BE IMMEDIATELY MADE.

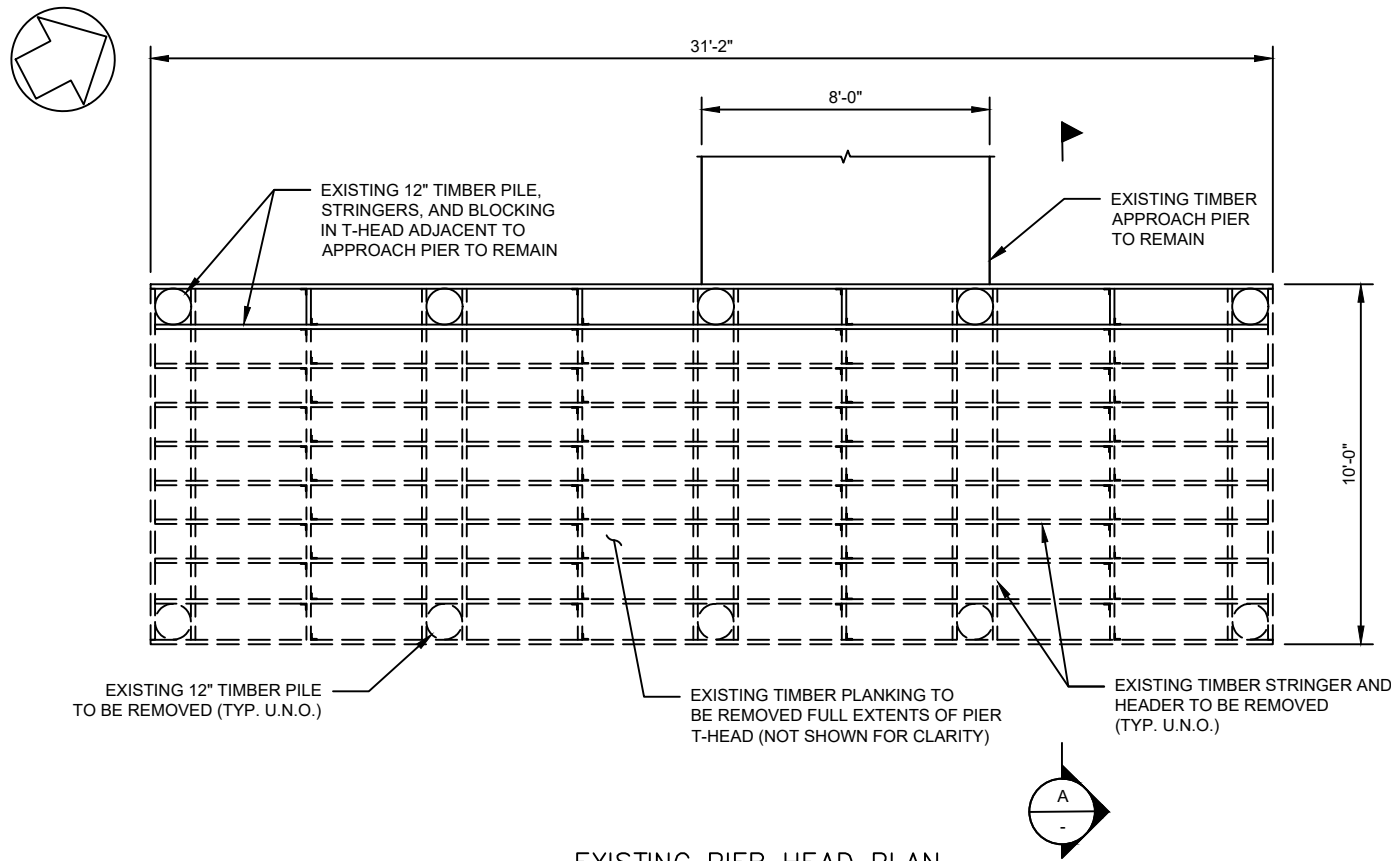
05.13.20	DEC RESPONSE
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE
DATE	SUBMISSIONS / REVISIONS

SHEET TITLE

DOCK SECTION

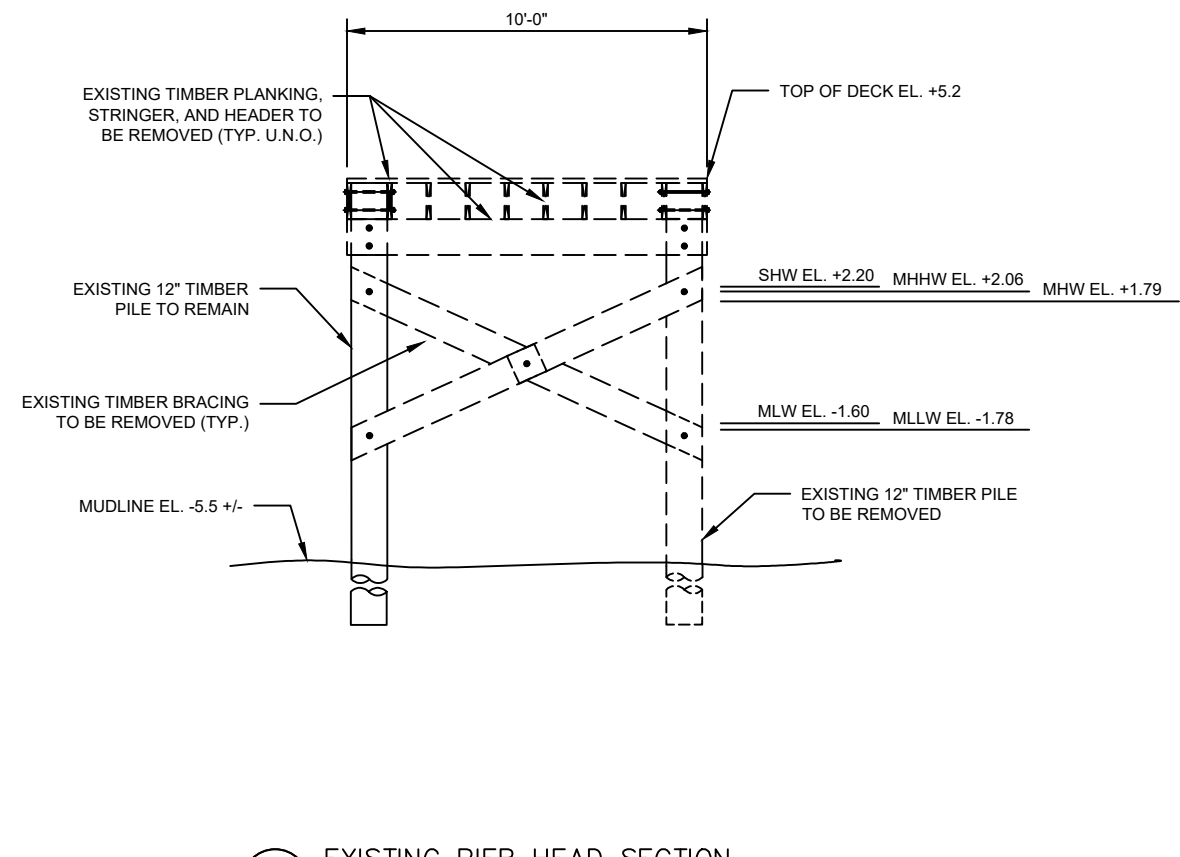
ISSUE DATE:	PROJECT NO:
11.27.19	19011
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FDA	FBA
SCALE:	SHEET NO:
1:10'	9 OF 10
DRAWING NO:	





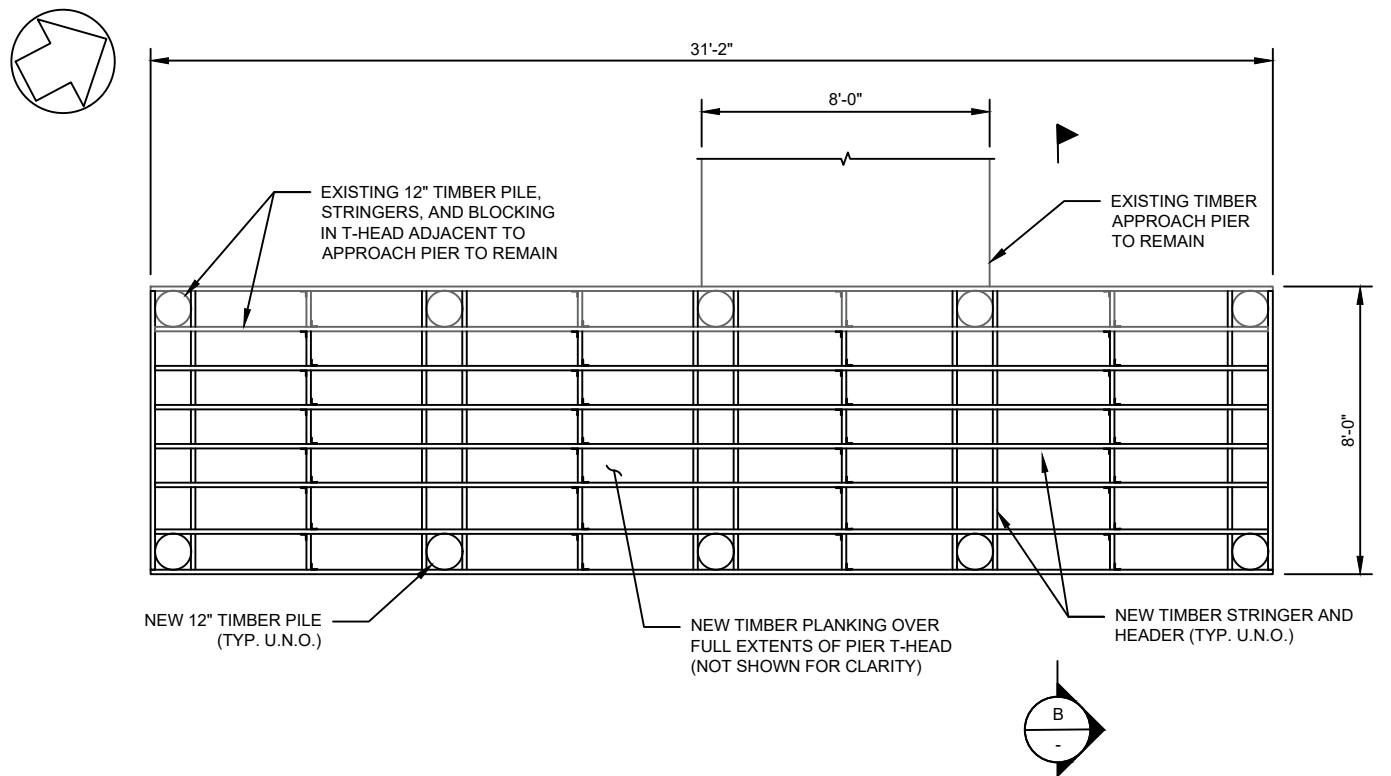
EXISTING PIER HEAD PLAN

SCALE: 3/16" = 1'-0"



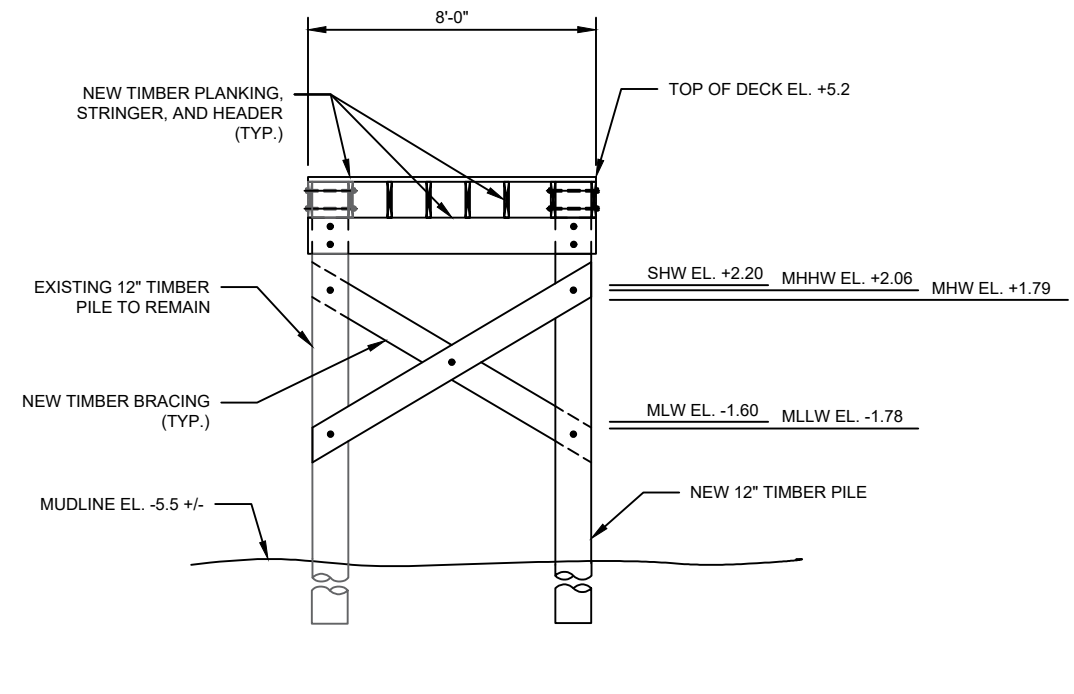
EXISTING PIER HEAD SECTION

SCALE: 3/16" = 1'-0"



PROPOSED PIER HEAD PLAN

SCALE: 3/16" = 1'-0"



PROPOSED PIER HEAD SECTION

SCALE: 3/16" = 1'-0"



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DATE	SUBMISSIONS / REVISIONS
02.13.20	DEC RESPONSE
11.27.19	DEC RESPONSE
10.11.19	USACE RESPONSE

SHEET TITLE

PIER  
RECONSTRUCTION

ISSUE DATE:	PROJECT NO:
09.06.19	19011
DRAWN BY:	CHECKED BY:
BDB	EGB
SCALE:	SHEET NO:
1:10'	10 OF 10
DRAWING NO:	

**Section VIII**

**Supplement**

**649 North Broadway  
Upper Nyack, NY**

SUPPLEMENT: LIST OF ADJACENT PROPERTY OWNERS

The following properties are located within a 200-foot radius of the project site:

KATHRYN AND CHESTER MAYER  
657 NORTH BROADWAY  
UPPER NYACK, NY 10960  
60.06-1-3

JOERN HENRIK PETERSEN  
655 NORTH BROADWAY  
UPPER NYACK, NY 10960  
60.06-1-4

THELMA AND PETER HUBER  
654 NORTH BROADWAY  
UPPER NYACK, NY 10960  
60.06-1-11

WILLARD DASILVA  
652 NORTH BROADWAY  
UPPER NYACK, NY 10960  
60.06-1-12.1

NO CURRENT OCCUPANT  
645 NORTH BROADWAY  
UPPER NYACK, NY 10960  
60.06-1-7

SUPPLEMENT: LIST OF REMEDIATION SITES

The New York State Department of Environmental Conservation Environmental Site Remediation Database indicated no records found for the project site.

