



March 15, 2022

Village of Upper Nyack
328 North Broadway
Upper Nyack, NY 10960
Attention: Building Department

Re: Building Permit Application for Exterior Renovation
641 North Broadway Waterfront Improvements

Dear Village of Upper Nyack Building Department,

On behalf of Adam Winkel, the Applicant and Property Owner, attached is the Project Narrative to supplement the Building Permit Application for Exterior Renovation for the proposed changes to 641 North Broadway, Upper Nyack, NY. Digital copies of the application and supplemental documents have been emailed to the Village of Upper Nyack's Building Department.

Should you have any questions or concerns, please feel free to contact me at (772) 214-8906 or via email at annie@tms-waterfront.com.

Best,

Annie Boggs
Senior Planner

Attachments: Project Narrative (5 copies)
Building Permit Application for Exterior Renovation (5 copies)
Deed (5 copies)
Survey (5 copies)
Signed and Sealed Site Plan and Construction Drawings (14 copies)
General Municipal Law Application (5 copies)
Environmental Assessment Form (5 copies)
Appendix: Prior Permits Received (USACE, DEC, DOS, OGS) (5 copies)



March 15, 2022

Project Narrative

The Owner proposes several waterfront improvements for their property located at 641 North Broadway, Upper Nyack, New York. The proposed work includes supplementing an existing platform, gangway, and floating dock with a fixed timber pier, gangway, and floating dock to enable the Owner to safely access their vessel and use their waterfront as intended. This work aims to restore access to the Hudson River for recreational, water-dependent uses.

Existing Structures Removal

The existing aluminum decked platform measures 16 ft by 8 ft, supported by the stone seawall and two, 12-inch diameter timber piles. The top of the platform is at an elevation of approximately +5 ft (NAVD88) and has a depth of approximately 8 inches. The platform will be removed via the work barge; the timber piles will be extracted and reused. The existing gangway is 20 ft long by 3 ft wide and will also be removed and disposed of or reused off-site. The existing floating dock is 30 ft long by 8 ft wide and extends east into the river, perpendicular from the shoreline. The dock is secured by four, 12-inch diameter timber piles; the piles will be removed and stored on the work barge for reuse on site. The floating dock will be re-used in the proposed layout. Refer to Photograph 1 for visuals of the existing conditions and structures on-site.



Photograph 1: Existing seawall, pier, and floating dock at low tide, facing north.



March 15, 2022

Pier

A fixed, timber pier is proposed to provide access to a floating dock via gangway. The pier will connect to the existing seawall and will extend approximately 65 feet into the Hudson River, reaching a depth of approximately -5.5 ft (NAVD88). The pier will be 65 feet long by 6'-8" feet wide, with two 12-inch diameter timber piles located at approximately 10-foot intervals (14 piles in total). The top of deck height will be at elevation +8 ft (NAVD88) to keep the deck above the water in cases of flooding or sea level rise. The increased elevation will preserve the pier materials and reduce maintenance requirements and associated disruption. This design seeks to balance both structural load requirements and jurisdictional recommendations. Work on the pier will be done from a floating barge.

Floating Dock and Gangway

A new floating dock (8 ft wide by 30 ft long) will be connected to the timber pier by a new, 30 ft long by 4 ft wide gangway. The gangway and dock will extend east into the Hudson River to reach greater water depths for the Owner's vessel. The proposed floating dock would draft approximately 6 to 12 inches; water depths along the length of the floating dock range from approximately - 3.4 ft to -3.6 ft at mean lower low water (MLLW). The floating dock will be secured with two, 16-inch diameter steel piles with internal collars. The piles will extend to a height of +12 ft (NAVD88). Two 16-inch diameter steel pipe piles would be placed approximately 15-18 feet from the outboard side of the floating dock to provide additional security for berthing a vessel. The additional piles are particularly beneficial to secure the vessel safely during periods of contrary wind, tide, or current in the Hudson River. Work on the dock and gangway will be done from a floating barge and crane.

Seasonal Floats

Seasonal kayak floats are proposed to accommodate personal watercraft. Placed on the northern side of the gangway along the inboard side of the 8-foot-wide floating dock where they are less prone to passing motorboat wake or wind driven waves, the seasonal floats will allow both motorized and non-motorized users safe entrance and exit from personal watercraft during the season (approximately May to early October). The seasonal floating docks will be removed from the water for the off season (approximately early October through May). Three kayak launch floats, each measuring 12 feet long and 4 feet wide, with loaded drafts of 7 to 12 inches are proposed.



March 15, 2022



Photograph 2: Example of Proposed Seasonal Floats

In-Water Work

A fixed, timber pier is proposed to provide access to a floating dock and the Owner's vessel. A gangway will connect the fixed pier and the floating dock. The pier will be 65 ft long by 6'-8" wide, with two, 12-inch diameter, timber piles located at 10-foot intervals (approximate), with 14 piles in total. A new floating dock (8 ft wide by 30 ft long) will be connected to the timber pier by a new 30 ft by 4 ft gangway. The gangway and dock will extend east into the Hudson River to reach greater water depths. The floating dock will accommodate a motorized vessel, approximately 43-foot long with a draft of up to 43 inches. The dock will be secured by two, 16-inch diameter steel pipe piles, secured with internal collars. Work on all in-water structures will be done from a floating barge.

The size and location of the fixed pier, gangway, and floating dock meets the requirements for berthing, minimizes shading, and is designed with consideration of the ASCE 24-14 guidance, *Flood Resistant Design and Construction*.

VILLAGE OF UPPER NYACK
328 NORTH BROADWAY
UPPER NYACK, NY 10960
INCORPORATED 1872
Tel. 845-358-0084 FAX. 845-358-0741
www.uppernyack-ny.us

BUILDING PERMIT APPLICATION FOR
EXTERIOR RENOVATION / NEW CONSTRUCTION
SHEDS OVER 120 SF / DECKS OVER 200 SF
IN GROUND POOLS

Application is hereby made for a Building Permit in conformance with the Zoning Ordinance of the Incorporated Village of Upper Nyack.

Submit the following:

- 2 copies of this application
- 1 copy of deed
- 1 copy of survey in current homeowner's name
- 11 copies of signed and sealed site plan, and submission of plans in pdf format
- 6 copies of elevations and construction plans with details
- 1 copy of Architectural Review Board Finish Schedule
- 1 copy of REScheck Inspection Checklist and Compliance Report for NYS
- 11 copies of signed and sealed landscape plan, if applicable
- General Municipal Law Application, if applicable
- Environmental Assessment Form, if applicable

Further information may be required by the Office of the Building Inspector, as provided by the Zoning Ordinance of the Incorporated Village of Upper Nyack, if such is considered necessary for approval of this application.

Owner(s) Adam Winkel

Address: 641 North Broadway, Upper Nyack, NY 10960

Phone # 917-575-0221

Email Address: ajwinkel@ajwinkel.com

Property Address to which permit pertains: 641 North Broadway, Upper Nyack, NY 10960

PLEASE COMPLETE THE FOLLOWING

Proposed work: A fixed timber pier will be constructed from the existing seawall, and a gangway and floating dock will be installed.

Total valuation of work: 65,000

County Tax ID Number of Property: 60.06-1-7

Zoning District R-40, Hudson Riverfront Overlay

Zoning: Single Family Two Family _____ Other (specify) _____

Sewage disposal: Public sewers Septic system _____

Distance to nearest stream, river, or waterway 0 ft

Engineer: TMS Waterfront Phone # 917-763-2564

Address: 1 Van Houten Street, Nyack, NY 10960

Architect: Not applicable. Phone # _____

Address: _____

Contractor Information

General Contractor To be determined.

Address: _____

Phone: _____

Mechanical Contractor / Plumber _____

Address: _____

Phone: _____

HVAC Contractor _____

Address: _____

Phone: _____

Electrician _____

Address: _____

Phone: _____

OFFICE OF THE BUILDING INSPECTOR
INCORPORATED VILLAGE OF UPPER NYACK
PROPERTY OWNER CERTIFICATION

Inc. Village of Upper Nyack
County of Rockland
State of New York


Property Owner: Adam Winkel

Certifies that he/she resides at 641 North Broadway, Upper Nyack, NY 10960

and that he/she is the owner of all that certain lot, parcel of land and/or building located at
641 North Broadway, Upper Nyack, NY 10960. Tax map section 60.06, Block 1, Lot 7

and proposed construction will be performed in accordance with the New York State Building Code;
in conformance with the Zoning Ordinance of the Incorporated Village of Upper Nyack; and in
accordance with plans and specifications submitted herewith.

Signature



Date

2022-03-09

**STATEMENT BELOW ONLY TO BE FILLED OUT IN THE EVENT THIS
APPLICATION IS MADE BY PERSON OTHER THAN OWNER OF PROPERTY**

Inc. Village of Upper Nyack
County of Rockland
State of New York

Agent Name: Dena Prastos being duly sworn deposes and says:

That Adam Winkel is the owner of the land that is the subject of this permit.
The deponent is duly authorized to make this application by said owner.
That the proposed work is authorized by said owner.

Agent Signature:

Sworn to before me this 14th day of March 2022



(Notary Public)

EILEEN JESSUP
Notary Public, State of New York
No. 01JE6369758
Qualified in Dutchess County
Commission Expires 1/22/2026

Paul Piperato, County Clerk
1 South Main St., Ste. 100
New City, NY 10956
(845) 638-5070

Rockland County Clerk Recording Cover Sheet

Received From :
JADE NEW YORK TITLE AGENCY
151 SOUTH MAIN STREET
NEW CITY, NY 10956

Return To :
JADE NEW YORK TITLE AGENCY
151 SOUTH MAIN STREET
NEW CITY, NY 10956

Method Returned : ERECORDING

First GRANTOR

HELMKE, ROBERT

First GRANTEE

WINKEL, ADAM

Index Type : Land Records

Instr Number : 2019-00001707

Book : Page :

Type of Instrument : Deed

Type of Transaction : Deed

Recording Fee: \$196.00

Recording Pages : 6

The Property affected by this instrument is situated in Clarkstown, in the
County of Rockland, New York

Real Estate Transfer Tax

RETT # : 3405

Deed Amount : \$5,200,000.00

RETT Amount : \$72,800.00

Total Fees : \$72,996.00

State of New York

County of Rockland

I hereby certify that the within and foregoing was
recorded in the Clerk's office for Rockland County,
New York

On (Recorded Date) : 01/18/2019

At (Recorded Time) : 9:12:00 AM



Paul Piperato, County Clerk



34906 JNY

**BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S
ACTS (INDIVIDUAL OR CORPORATION)**

FORM 8002 (short version), FORM 8007 (long version)

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

THIS INDENTURE, made the 16th day of January, 2019

BETWEEN

ROBERT HELMKE,

residing at 641 North Broadway, Nyack, New York 10960,
party of the first part, and

ADAM WINKEL and ABIGAIL WINKEL, husband and wife,

residing at 61 Perry Street, New York, New York 10014
party of the second part;

WITNESSETH, that the party of the first part, in consideration of One Dollar and No Cents (\$1.00), lawful money of the United States, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the, Town of Clarkstown, County of Rockland and State of New York, and more particularly described as follows:

SEE ATTACHED SCHEDULE "A"

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

BEING and intended to be the same premises conveyed to Robert Helmke by the following two deeds: by deed from Patricia H. Ladew dated February 12, 2002 and recorded in the Rockland County Clerk's office dated April 16 2002 as Instrument NO. 2002-23582; and by deed from James B. Shannon dated February 27, 2006 and recorded in the Rockland County Clerk's office as Instrument No. 2006-20913.

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

SCHEDULE A (description of premises)
AMENDED

ALL that certain plot, piece or parcel of land situate, lying and being in the Village of Upper Nyack, Town of Clarkstown, County of Rockland and State of New York, being bounded and described as follows:

BEGINNING at a point on the Easterly side of North Broadway where the division line between the premises herein described and the Southerly side of lands as shown on Map of Property Belonging to the heirs of Garret Snediker, Deceased, at Upper Nyack, (Map No. 4), said point being distant 26.08 feet Easterly from the center line of North Broadway; running thence

1. along said division line North 88° 57' 00" East 218.42 feet; thence
2. North 89° 17' 00" East 398.00 feet; thence
3. South 76° 37' 22" East 45.63 feet; thence
4. South 3° 07' 00" West 104.10 feet; thence
5. North 80° 53' 00" West 24.54 feet; thence
6. South 15° 07' 00" West 24.01 feet; thence
7. South 77° 50' 00" East 91.53 feet; thence
8. South 15° 40' 00" West 30.13 feet; thence
9. South 86° 40' 00" West 12.63 feet; thence
10. South 67° 10' 00" West 9.68 feet; thence
11. South 31° 50' 00" West 5.43 feet; thence
12. South 13° 20' 00" West 56.44 feet; thence
13. South 20° 20' 00" West 6.34 feet; thence
14. South 49° 20' 00" West 11.36 feet; thence
15. South 58° 50' 00" West 11.04 feet; thence
16. South 68° 00' 00" West 18.93 feet; thence
17. South 77° 40' 00" West 36.12 feet; thence
18. North 88° 20' 00" West 11.22 feet; thence
19. South 11° 23' 49" West 77.91 feet; thence
20. South 04° 03' 06" East 29.67 feet; thence
21. South 23° 15' 38" West 37.46 feet; thence
22. South 00° 06' 23" West 47.11 feet; thence
23. South 10° 49' 20" West 23.29 feet; thence
24. North 76° 18' 00" West 41.69 feet; thence
25. North 82° 58' 40" West 42.28 feet; thence
26. North 86° 27' 45" West 64.15 feet; thence
27. North 88° 14' 50" West 49.69 feet; thence
28. North 83° 40' 00" West 52.18 feet; thence
29. North 74° 44' 10" West 26.00 feet; thence
30. North 84° 30' 30" West 115.15 feet; thence
31. South 61° 20' 05" West 22.79 feet; thence
32. South 78° 27' 05" West 42.84 feet; thence
33. North 79° 53' 15" West 33.76 feet; thence
34. North 85° 05' 55" West 75.36 feet; thence
35. North 89° 20' 55" West 116.42 feet to the Easterly side of North Broadway; thence
36. Northerly along the Easterly side of North Broadway North 15° 30' 00" East 9.44 feet; thence

- continued -

SCHEDULE A (description of premises)
AMENDED
Continued....

37. North 88° 57' 02" East 278.19 feet; thence
38. North 28° 06' 45" East 164.66 feet; thence
39. South 88° 57' 00" West 315.70 feet to the Easterly side of North Broadway; thence
40. Northerly along the Easterly side of North Broadway North 15° 30' 00" East 300.00 feet to the point and place of BEGINNING.

TOGETHER WITH and SUBJECT TO Easements as set forth in Liber 526 page 194 and Liber 794 page 361.

FOR CONVEYANCING ONLY: NOT FOR POLICY

Together with title to any lands lying under the Hudson River adjoining the said premises, as granted in Letters Patent in Liber 128 page 286.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.



ROBERT HELMKE

IN PRESENCE OF:

STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)

On the 16th day of January, 2019, before me, the undersigned, personally appeared **ROBERT HELMKE** personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that they executed the same in their capacity(ies), and that by their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC

Cynthia A. Costa-Trahan
Notary Public, State of New York
No. 02CO5074644
Qualified in Rockland County
Commission Expires 5/17/2019

**BARGAIN AND SALE DEED WITH
COVENANT AGAINST GRANTOR'S ACTS
Title No. 34096 JNY**

**HELMKE
TO
WINKEL**

**Section 60.6
Block 1
Lot 7
County of ROCKLAND, Town of CLARKSTOWN,
Village of UPPER NYACK**

**Street Address : 641 N. Broadway
Upper Nyack, New York 10960**

Return By Mail To:

Steve M. Greco, Esq.
4 Executive Boulevard, Suite 204
Suffern, New York 10901

FOR COUNTY USE ONLY

C1. SWIS Code 392001
 C2. Date Deed Recorded 1/18/2019
 C3. Book 2019 C4. Page 1707



New York State Department of Taxation and Finance
 Office of Real Property Tax Services
RP- 5217-PDF
 Real Property Transfer Report (8/10)

PROPERTY INFORMATION

1. Property Location 641 CLARKSTOWN N. BROADWAY UPPER NYACK
 * STREET NUMBER * CITY OR TOWN * STREET NAME * VILLAGE * ZIP CODE
 2. Buyer Name WINKEL ADAM
 * LAST NAME/COMPANY FIRST NAME
WINKEL ABIGAIL
 * LAST NAME/COMPANY FIRST NAME
 3. Tax Billing Address Indicate where future Tax Bills are to be sent if other than buyer address(at bottom of form)
641 N. BROADWAY UPPER NYACK NY 10960
 * STREET NUMBER AND NAME * CITY OR TOWN * STATE * ZIP CODE
 4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR Part of a Parcel (Only if Part of a Parcel) Check as they apply:
 4A. Planning Board with Subdivision Authority Exists
 5. Deed Property Size X * FRONT FEET OR 6.42 * DEPTH * ACRES 4B. Subdivision Approval was Required for Transfer
 4C. Parcel Approved for Subdivision with Map Provided
 6. Seller Name HELMKE ROBERT
 * LAST NAME/COMPANY FIRST NAME
 * LAST NAME/COMPANY FIRST NAME
 *7. Select the description which most accurately describes the use of the property at the time of sale:
 A. One Family Residential
 Check the boxes below as they apply:
 8. Ownership Type is Condominium
 9. New Construction on a Vacant Land
 10A. Property Located within an Agricultural District
 10B. Buyer received a disclosure notice indicating that the property is in an Agricultural District

SALE INFORMATION

11. Sale Contract Date 09/28/2018
 *12. Date of Sale/Transfer 01/16/2019
 *13. Full Sale Price 5,200,000.00
 (Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.
 14. Indicate the value of personal property included in the sale .00
 15. Check one or more of these conditions as applicable to transfer:
 A. Sale Between Relatives or Former Relatives
 B. Sale between Related Companies or Partners in Business
 C. One of the Buyers is also a Seller
 D. Buyer or Seller is Government Agency or Lending Institution
 E. Deed Type not Warranty or Bargain and Sale (Specify Below)
 F. Sale of Fractional or Less than Fee Interest (Specify Below)
 G. Significant Change in Property Between Taxable Status and Sale Dates
 H. Sale of Business is Included in Sale Price
 I. Other Unusual Factors Affecting Sale Price (Specify Below)
 J. None
 Comment(s) on Condition:

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

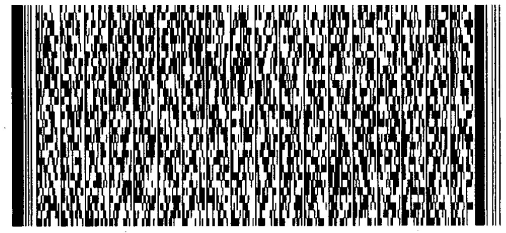
16. Year of Assessment Roll from which information taken(YY) 18 *17. Total Assessed Value 870,000
 *18. Property Class 210 *19. School District Name NYACK UNION FEE CSD
 *20. Tax Map Identifier(s)/Roll Identifier(s) (If more than four, attach sheet with additional identifier(s))
60.6-1-7

CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and I understand that the making of any willful false statement of material fact herein subject me to the provisions of the penal law relative to the making and filing of false instruments.

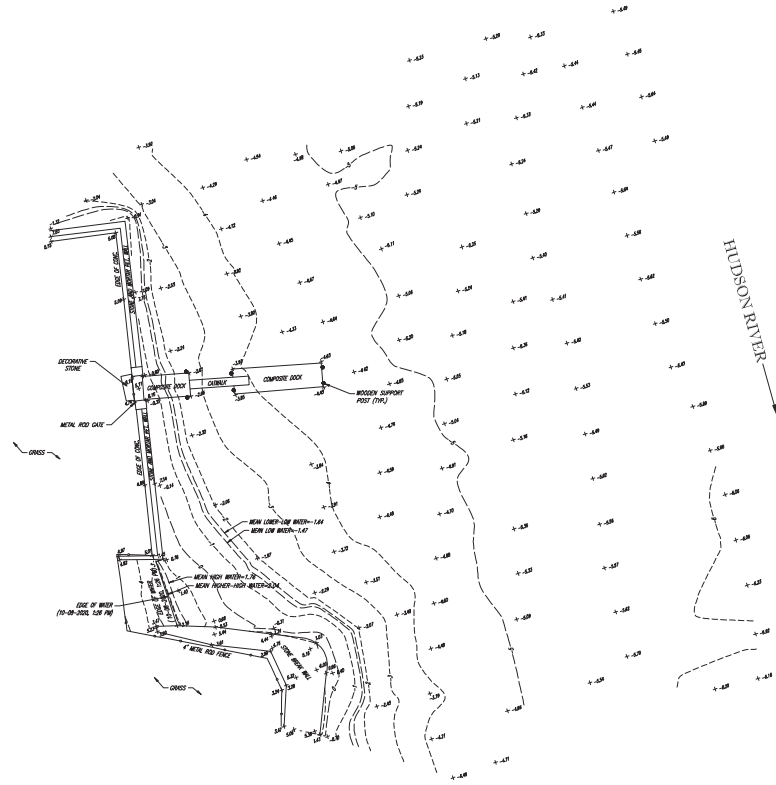
SELLER SIGNATURE
[Signature] 1/16/19
 SELLER SIGNATURE DATE
BUYER SIGNATURE
[Signature] 1/16/19
 BUYER SIGNATURE DATE

BUYER CONTACT INFORMATION
 (Enter information for the buyer. Note: If buyer is LLC, society, association, corporation, joint stock company, estate or entity that is not an individual agent or fiduciary, then a name and contact information of an individual responsible party who can answer questions regarding the transfer must be entered. Type or print clearly.)
WINKEL ADAM and ABIGAIL
 * LAST NAME FIRST NAME
845 357-8977
 * AREA CODE * TELEPHONE NUMBER (Ex: 999-9999)
61 PERRY STREET
 * STREET NUMBER * STREET NAME
NEW YORK NY 10014
 * CITY OR TOWN * STATE * ZIP CODE
BUYER'S ATTORNEY
GRECO STEVE M.
 LAST NAME FIRST NAME
(845) 357-8977
 AREA CODE TELEPHONE NUMBER (Ex: 999-9999)



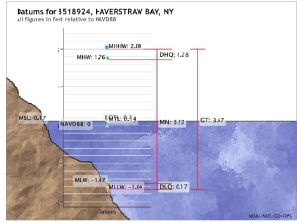


VICINITY MAP
©2008 DeLorme, Street Atlas USA



- NOTES:
1. UPLAND PROPERTY KNOWN AS LOT 7, BLOCK 1 AS SHOWN IN THE OFFICIAL TAX MAP OF THE VILLAGE OF GRAND VEVOCH-HUGSON, ROCKLAND COUNTY, NEW YORK, SHEET 6026.
 2. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 3. LOCATION OF UNDERGROUND UTILITIES ARE NOT SHOWN.
 4. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
 5. MEAN LOWER LOW WATER = -1.64 (NAVD88)
MEAN LOW WATER = -1.47 (NAVD88)
MEAN HIGH WATER = -1.14 (NAVD88)
MEAN HIGHER HIGH WATER = -0.78 (NAVD88)
 6. MAP(S) IS/ARE PREPARED ON NAD83 STATE PLANE COORDINATE SYSTEM - NEW YORK EAST ZONE.

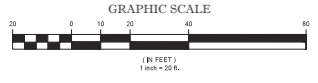
- REFERENCES:
1. THE OFFICIAL TAX ASSESSOR'S MAP OF VILLAGE OF NYACK, ROCKLAND COUNTY, NEW YORK, SHEET #6026



- LEGEND
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - FENCE
 - WOODEN POST
 - EOP EDGE OF PAVEMENT



THE STATE OF NEW YORK requires the signature of all registrants of the State of New York Professional Land Surveyors. ALL RIGHTS RESERVED.



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7205, SUB-DIVISION 2, OF THE NEW YORK STATE GEOGRAPHY LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY, MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL, SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

WILLIAM T. WHIMPLE
NEW YORK PROFESSIONAL LAND SURVEYOR #5026



11-13-2020

NO.	PER CLIENT COMMENT	DATE	STATUS	APPROVED	REVISIONS
1	10-8-2020				
2	11-13-2020				
3					
4					
5					
6					
7					
8					
9					
10					

TOPOGRAPHIC SURVEY
TMS-WATERFRONT
641 NORTH BROADWAY
TOWN OF NYACK
VILLAGE OF UPPER NYACK, ROCKLAND COUNTY
STATE OF NEW YORK

CONTROL POINT ASSOCIATES, INC. PC
25 AVENUE ROAD
ALBANY, NY 12205
D.J.D.
CONTROL POINT ASSOCIATES, INC. PC
5026 FAVERSTRAW BAY, NY 10924

DATE: 11-13-2020

PROJECT: TMS-WATERFRONT

DATE: 11.05.2020

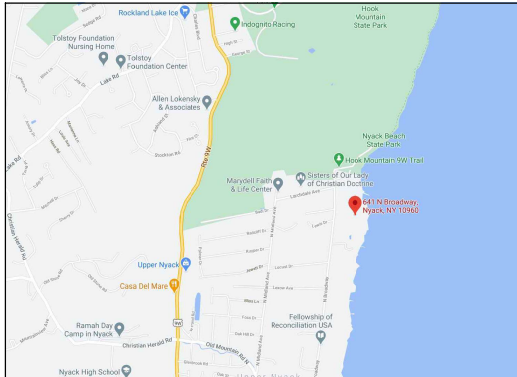
SCALE: 1" = 20'

DATE: 09-200174

SHEET: 1 OF 1

641 NORTH BROADWAY WATERFRONT ACCESS

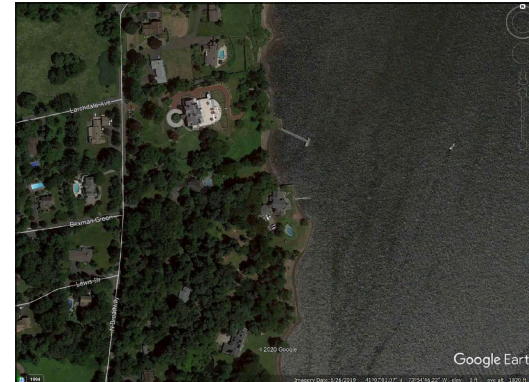
641 NORTH BROADWAY
UPPER NYACK, NEW YORK 10960
MARCH 2022



VICINITY MAP (NTS)

DRAWING LIST

- T-001 COVER SHEET
- G-001 GENERAL NOTES
- SP-100 SITE PLAN
- V-100 HYDROGRAPHIC SURVEY
- DM-100 DEMOLITION PLAN
- C-100 DOCK PLAN
- C-101 FACILITY PERIMETER PLAN
- C-300 GANGWAY AND DOCK SECTIONS
- C-301 PIER AND SEAWALL SECTION
- C-302 PIER FRAMING DETAILS
- C-303 PIER DETAILS
- C-304 PIER DETAILS II
- C-305 GANGWAY DETAILS
- C-306 FLOATING DOCK DETAILS
- C-500 EROSION CONTROL DETAILS
- C-501 TURBIDITY CONTROL DETAILS



LOCATION MAP (NTS)



ADAM WINKEL
641 NORTH BROADWAY
UPPER NYACK, NY 10960
+1 917 573-0221

INDIGO RIVER ARCHITECTURE
AND ENGINEERING, D.P.C.
ONE VAN HOUTEN STREET
NYACK, NY 10960
+1 917 244-8788

REV	DATE	ISSUE
00	03/14/2022	ISSUE FOR CONSTRUCTION



SHEET NAME

COVER SHEET

DATE	DRAWN BY	CHECKED BY
MAR 14, 2022	DAZ	DAS
FORMAT	SCALE	
ANSI B	NTS	

SHEET NO. 1 OF 16
T-001

ISSUE FOR CONSTRUCTION

© 2014 AutoCAD LT. All rights reserved. Autodesk reserves the right to alter product offerings and specifications at any time without notice, and is not responsible for typographical or graphical errors that appear in this document.

GENERAL NOTES

- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- EXISTING TOPOGRAPHIC AND BATHYMETRIC INFORMATION IS BASED ON FIELD SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC. DATED OCTOBER 22, 2020 WITH REVISIONS DATED NOVEMBER 17, 2020 AND REPRESENT CONDITIONS OF THE SITE AT THE TIME OF THE SURVEY.
- TIDAL DATA ARE COMPUTED FROM VDATUM 3.9 SOFTWARE PUBLISHED BY THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION.
 - A. MEAN HIGHER HIGH WATER (MHHW) EL. +2.04
 - B. MEAN HIGH WATER (MHW) EL. +1.76
 - C. MEAN LOW WATER (MLW) EL. -1.47
 - D. MEAN LOWER LOW WATER (MLLW) EL. -1.64
- THE OWNER HAS SECURED CERTAIN PERMITS REQUIRED BY FEDERAL AND STATE AUTHORITIES FOR THE PROPOSED ACTIVITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PERMITS. THE CONTRACTOR SHALL POST COPIES OF THE PERMITS AT THE SITE THROUGHOUT THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMITS ASSOCIATED WITH THE LEGAL DISPOSAL OF CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL SECURE REQUIRED LOCAL AUTHORIZATIONS AND PERMITS.
- PRIOR TO CONSTRUCTION AND FABRICATION OF CONSTRUCTION MATERIALS, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS.

DESIGN CRITERIA

- DESIGN CRITERIA ARE IN CONFORMANCE WITH "MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES" PUBLISHED BY THE AMERICAN SOCIETY OF PROFESSIONAL ENGINEERS, 2016 (ASCE 7-16).
- THE FACILITY IS DESIGNED FOR TWO CONDITIONS:
 - A. SERVICE CONDITIONS IS THE MAXIMUM ALLOWABLE ENVIRONMENTAL CONDITIONS IN WHICH THE FACILITY MAY REMAIN IN OPERATION. WHEN ENVIRONMENTAL CONDITIONS ARE EXPECTED TO EXCEED SERVICE CONDITIONS, VESSELS SHALL BE MOVED TO A SAFE HARBOR.
 - B. EXTREME CONDITIONS DENOTE THE MAXIMUM ALLOWABLE ENVIRONMENTAL CONDITIONS WITHIN WHICH THE STRUCTURE IS DESIGNED TO MAINTAIN ITS STRUCTURAL INTEGRITY USING SAFETY FACTORS FROM THE CODE.
- DESIGN LIVE LOAD SHALL BE A UNIFORMLY DISTRIBUTED LOAD OF 50 PSF UNLESS NOTED OTHERWISE. NO LIVE LOADING IS ALLOWED FOR EXTREME CONDITIONS.
- THE FACILITY IS DESIGNED TO ACCOMMODATE MOORING AND BERTHING LOADS ASSOCIATED WITH A BOAT WITH 40 FOOT OVERALL LENGTH. THE FLOATING DOCK IS DESIGNED TO ACCOMMODATE MOORING OF TWO DESIGN VESSELS, ONE ON EITHER SIDE OF THE DOCK, CONCURRENTLY.
- DESIGN WIND LOAD PARAMETERS FOR EXTREME CONDITIONS INCLUDE A BASIC WIND SPEED OF 110 MILES PER HOUR, EXPOSURE CATEGORY C, AND STRUCTURAL OCCUPANCY/RISK CATEGORY I. FOR SERVICE CONDITIONS, THE WIND SPEED IS LIMITED TO 55 MILES PER HOUR.
- EXTREME ENVIRONMENTAL CONDITIONS ARE BASED ON A MAXIMUM WATER LEVEL AT ELEVATION +7.0 PER FEMA FIRM PANELS FOR THE SITE. THE DESIGN WAVE IS CHARACTERIZED BY A SIGNIFICANT WAVE HEIGHT OF 4.2 FEET AND A PERIOD OF 3.1 SECONDS.

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL COMPLY WITH THE CURRENT EDITION OF THE "STEEL CONSTRUCTION MANUAL", PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- WELDING SHALL CONFORM TO THE 'STRUCTURAL WELDING CODE - STEEL', AS ADOPTED BY THE AMERICAN WELDING SOCIETY (AWS D1.1).
- WELDING ELECTRODES SHALL BE E70XX AND COMPLY WITH AWS A5.1 AND AWS A5.5.
- STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A572, GRADE 50. STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE B.
- HIGH-STRENGTH BOLTS, NUTS AND WASHERS SHALL BE IN ACCORDANCE WITH SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A 325 BOLTS.
- HIGH STRENGTH STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325 WITH HEX HEADS. NUTS SHALL CONFORM TO ASTM A563.
- WASHERS BETWEEN THE BOLT HEAD OR NUT AND STRUCTURAL STEEL SHALL BE HIGH STRENGTH WASHERS CONFORMING TO ASTM F436. WASHERS AGAINST TIMBER SHALL BE COMMON DOCK WASHERS.
- ALL STEEL COMPONENTS SHALL BE HOT-DIP GALVANIZED UNLESS NOTED OTHERWISE. GALVANIZING SHALL CONFORM TO ASTM A123 OR ASTM 153 AS APPLICABLE.
- BOLTED CONNECTIONS SHALL USE 3/8" DIAMETER A 325 HIGH STRENGTH BOLTS UNLESS NOTED OTHERWISE.
- CONNECTIONS SHALL BE DESIGNED AND DETAILED BY THE STEEL FABRICATOR EXCEPT FOR THOSE SPECIFICALLY DETAILED IN THE CONTRACT DOCUMENTS.

TIMBER

- VISUALLY GRADED STRUCTURAL LUMBER AND WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND SUPPLEMENT, "DESIGN VALUES FOR WOOD CONSTRUCTION", NDS 2018, PUBLISHED BY THE NATIONAL FOREST AND PAPER ASSOCIATION.
- TIMBER SHALL MEET THE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU, "STANDARD GRADING RULES FOR SOUTHERN PINE LUMBER", TIMBER GRADE SHALL BE NO. 1 OR BETTER.
- ALL TIMBER SHALL BE TREATED WITH ALKALINE COPPER QUATERNARY (ACO) TO A PENETRATION OF 0.60 POUNDS PER CUBIC FOOT.
- CUT AND DRILLED EXPOSED TIMBER AND LUMBER SURFACES SHALL BE LIBERALLY RECOATED BY BRUSH WITH A FIELD TREATMENT ACCEPTED BY THE ENGINEER OF RECORD.

STEEL PILES

- STEEL PIPE PILE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A252, GRADE 3. PILES SHALL BE LONGITUDINALLY WELDED WITH SEAMS SPECIFIED AS COMPLETE PENETRATION WELD.
- STEEL PIPE PILES SHALL BE DRIVEN TO A MINIMUM CAPACITY OR MINIMUM EMBEDMENT LENGTH AS INDICATED ON THE CONTRACT DRAWINGS WHICHEVER IS LARGER.
- DO NOT FIELD SPICE PILE IN LOWER 40 FEET. BOTH UPPER AND LOWER SECTIONS OF PILE ENDS, SHALL BE SMOOTH, SQUARE AND FLAT PRIOR TO SPLICING.
- ALL WELDING REQUIRED FOR THE STEEL PIPE PILES SHALL BE FULL PENETRATION WELDS CONFORMING TO AWS D1.1 WELDING CODE AND SHALL BE CAPABLE OF DEVELOPING THE PILE CROSS-SECTION IN TENSION AND BENDING.
- STEEL PIPE PILES SHALL BE SHOP COATED, ON OUTER SURFACES ONLY, TO A MINIMUM OF TEN (10) FEET BELOW THE DESIGN MUDLINE DEPTH ELEVATION OR AS INDICATED ON THE DRAWINGS.

PROTECTIVE COATING

- MATERIAL USED FOR FACTORY EPOXY COATING OF ALL SCHEDULED SURFACES SHALL BE BAR-RUST 235 MULTI-PURPOSE EPOXY COATING AS MANUFACTURED BY DEVCO COATINGS OR EQUIVALENT ACCEPTED BY THE ENGINEER OF RECORD.
- FIELD TOUCH-UP COATING SHALL BE IDENTICAL TO FACTORY COATING AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- PROTECTIVE COATING TOP COAT SHALL BE BLACK UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR BY THE OWNER.
- SURFACES SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE PROTECTIVE COATING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
- THE PROTECTIVE COATING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. COATING IS TO BE APPLIED IN TWO COATS TO ACHIEVE A MINIMUM OVERALL DRY FILM THICKNESS OF 15 MILS.
- ALL HOLIDAYS OR OTHER IMPERFECTIONS IN THE COATING SHALL BE REMOVED OR REPAIRED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL ACCEPTANCE OF THE WORK.

PILE DRIVING

- INSTALL PILES USING VIBRATORY METHODS TO CAPACITY AND TOE ELEVATIONS WITHOUT DAMAGING THE PILE HEAD, WHERE REQUIRED, CUT OFF HEADS OF PILES ACCURATELY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AFTER COMPLETION OF DRIVING.
- DRIVE THE PILES STRAIGHT AND TRUE AT INDICATED LOCATIONS, WITH DEVIATION FROM THE LONGITUDINAL AXIS OF NOT MORE THAN 1/4 INCH PER FOOT.
- LOCATE THE PILES WITHIN 3 INCHES OF THE POSITIONS INDICATED ON THE DRAWINGS.
- WITHDRAW PILES THAT ENCOUNTER UNDERGROUND OBSTRUCTIONS SUFFICIENT TO IMPEDE PILE DRIVING, RE-DRIVE AS CLOSE AS POSSIBLE TO ORIGINAL POSITION, SUBJECT TO REVIEW OF THE OWNER. REMOVE PILES WHICH BREAK OR DRIVE OUT OF LINE. DRIVE ANOTHER PILE IN ITS PLACE.
- DRIVE PILES TO THEIR FULL PENETRATION WITHOUT BENDING, RUPTURING, OR MODERATELY DAMAGING THE PILES. IF FAILURE IN THE ABOVE RESPECTS IS ENCOUNTERED, PULL THE PILE AND DRIVE A NEW PILE AT NO ADDITIONAL COST TO THE OWNER.
- JETTING TO ASSIST PENETRATION WILL NOT BE PERMITTED UNLESS ACCEPTED BY THE ENGINEER OF RECORD. WHERE ACCEPTED, PRE-DRILLING TO ASSIST PENETRATION MAY BE USED WHERE EXTREME DRIVING RESISTANCE IS ENCOUNTERED, OR WHERE VIBRATIONS FROM DRIVING MAY BE DETRIMENTAL TO ADJACENT STRUCTURES.
- WHERE PILES ARE PUSHED UP BY PRESSURE FROM DRIVING OF ADJACENT PILES, RE-DRIVE AS REQUIRED AND AT NO ADDITIONAL COST TO THE OWNER.

ABBREVIATIONS AND SYMBOLS

ADD'L	ADDITIONAL
ALT.	ALTERNATE
BOT.	BOTTOM
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
DWG.	DRAWING
EA.	EACH
EF.	EACH FACE
EL.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
FT. OR	FOOT
GALV.	GALVANIZED
H.D.G.	HOT-DIP GALVANIZED
LD.	INSIDE DIAMETER
IN. OR	INCHES
KSI.	KIPS PER SQUARE INCH
LONG.	LONGITUDINAL
MAX.	MAXIMUM
N.	NORTH
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPP.	OPPOSITE
PL.	PLATE
PSI.	POUNDS PER SQUARE INCH
PSF.	POUNDS PER SQUARE FOOT
R	RADIUS
REINF.	REINFORCING
REF.	REFERENCE
REQD.	REQUIRED
S.	SOUTH
SECT.	SECTION
SIM.	SIMILAR
SPL.	SPACING
SS.	STAINLESS STEEL
TRF.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
∅	CENTERLINE
±	DIAMETER
±	PLUS OR MINUS
↑	NORTH ARROW

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NO.	03/14/2022	ISSUE FOR CONSTRUCTION
REV	DATE	ISSUE



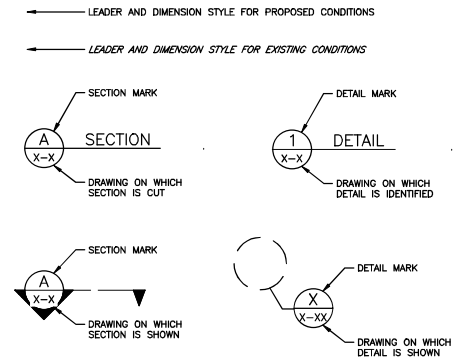
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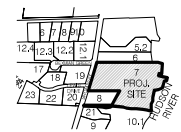
GENERAL NOTES

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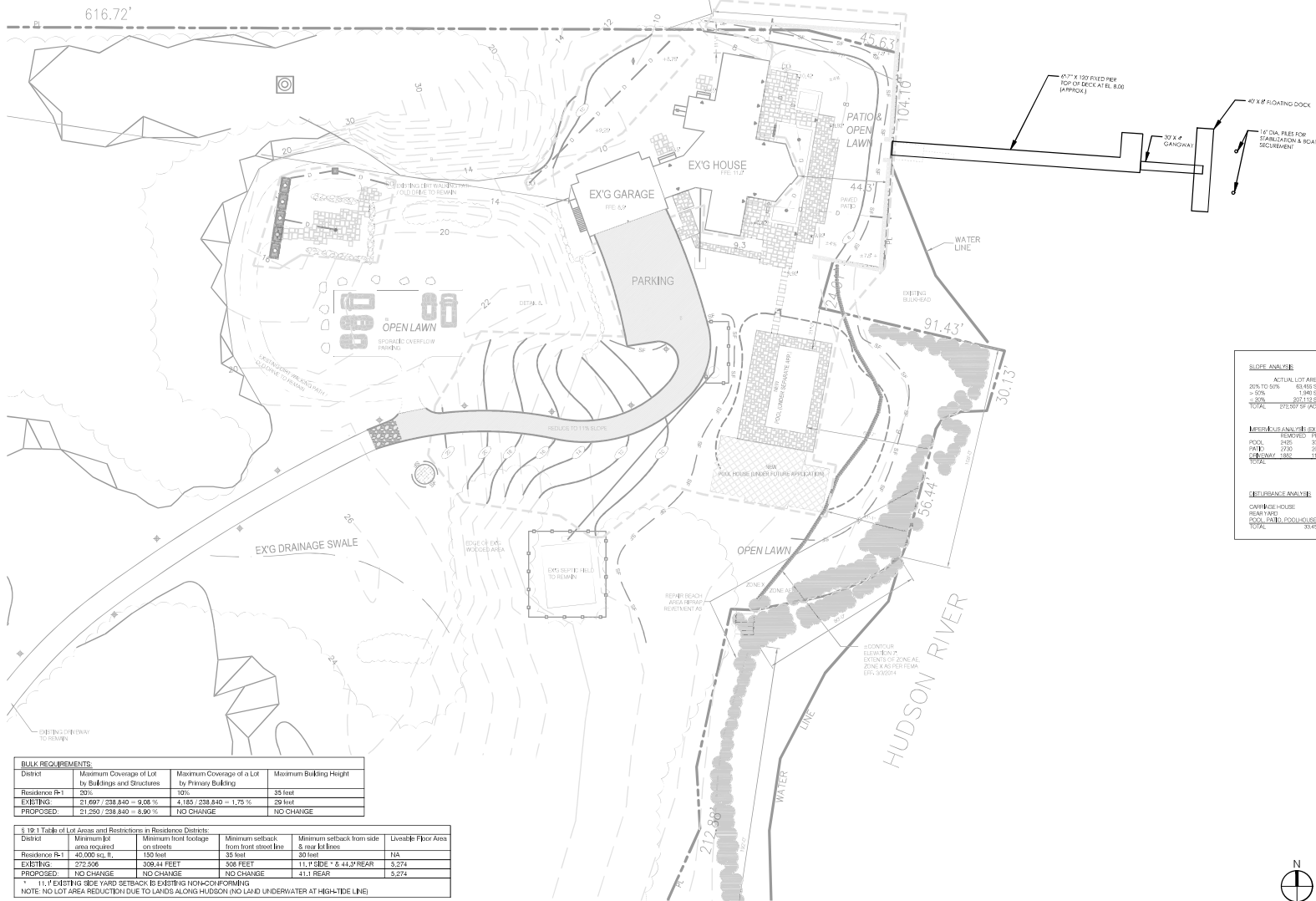
SHEET NO. **G-001** OF 16

DRAWING CONVENTIONS





WATERFRONT ACCESS
641 NORTH BROADWAY
UPPER HAVEN, NY 10960



SLOPE ANALYSIS

ACTUAL LOT AREA	CREDITED LOT AREA
26% TO 50% = 60,650 SF	50% OF 60,650 SF = 30,325 SF
50% TO 55% = 1,980 SF	15% OF 1,980 SF = 297 SF
55% TO 60% = 20,110 SF	10% OF 20,110 SF = 2,011 SF
TOTAL	32,633 SF CREDITED LOT AREA

RESURFACING ANALYSIS (EXISTING VS PROPOSED)

POOL	REMOVED	PROPOSED	NET DIFFERENCE
PAVE	2,930	2,930	-0
CONCRETE	1,882	1,155	-727
TOTAL			-727 SF (147 SF REMOVED)

SETBACK ANALYSIS

EXISTING HOUSE	2,500
REAR YARD	2,200
TOTAL	4,700

CLIENT

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ENGINEER CONSULTANT

INDIGO RIVER ARCHITECTURE AND ENGINEERING, D.P.C.
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HYACHT, NY 10960
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SITE PLAN

BULK REQUIREMENTS:

District	Maximum Coverage of Lot by Buildings and Structures	Maximum Coverage of a Lot by Primary Building	Maximum Building Height
Residence R-1	30%	10%	25 feet
EXISTING	21.697 / 238.840 = 9.06 %	4.185 / 238.840 = 1.75 %	28 feet
PROPOSED	21.250 / 238.840 = 8.90 %	NO CHANGE	NO CHANGE

§ 19-1 Table of Lot Areas and Restrictions in Residence Districts:

District	Minimum lot area required	Minimum front footage on streets	Minimum setback from front street line	Minimum setback from side & rear lot lines	Living Floor Area
Residence R-1	45,000 sq. ft.	150 feet	35 feet	30 feet	NA
EXISTING	572,506	309.44 FEET	308 FEET	11.9' SIDE * 6.44' REAR	5,274
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	41.1 REAR	5,274

* 11.1' EXISTING REAR YARD SETBACK IS EXISTING NON-COMFORMING.
NOTE: NO LOT AREA REDUCTION DUE TO LANDS ALONG HUDSON (NO LAND UNDERWATER AT HIGH-TIDE LINE)

- LEGEND:**
- [Symbol] EXISTING DWELLING FOOTPRINT
 - [Symbol] NEW ASPHALT PAVEMENT
 - [Symbol] NEW PAVE
 - [Symbol] NEW POOL HOUSE
 - [Symbol] EXG BLUE-ROAD TO BE REPAIRED
 - [Symbol] EXISTING STRUCTURE
 - [Symbol] STORAGE BIN
 - [Symbol] CLEANOUT
 - [Symbol] EXTENTS OF EX-BROOKED AREA
 - [Symbol] NEW PLANTER DRINK
 - [Symbol] PROPERTY LINE
 - [Symbol] STORM LINE
 - [Symbol] MAJOR TOPO CONTOUR
 - [Symbol] MINOR TOPO CONTOUR
 - [Symbol] PROPOSED TOPO CONTOUR
 - [Symbol] 10' OFFSET FROM COMPONENT
 - [Symbol] AREA OF DISTURBANCE (27' AC)
 - [Symbol] BELT FENCE
 - [Symbol] BELT CURTAIN
 - [Symbol] CONSTRUCTION FENCE, DFL 1
 - [Symbol] EXISTING TREE TO REMAIN
 - [Symbol] EXISTING TREE TO BE REMOVED
 - [Symbol] FEMA FLOODPLAIN ELEV. X
 - [Symbol] REPAIR/REMOVEMENT TO BE REPAIRED

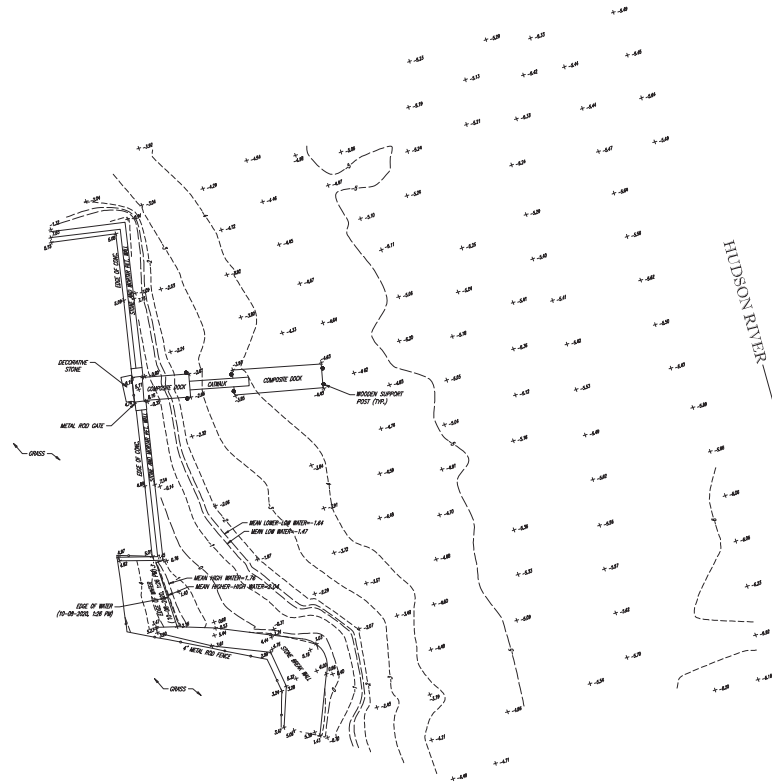
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FORMAT: ANSI B **SCALE:** 1" = 50'

SHEET NO.: 3 OF 16

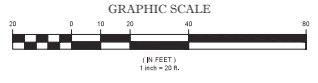
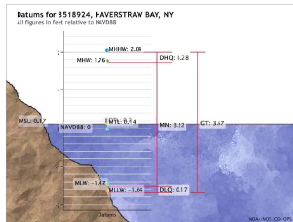
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- NOTES:
1. UPLAND PROPERTY KNOWN AS LOT 7, BLOCK 1 AS SHOWN IN THE OFFICIAL TAX MAP OF THE VILLAGE OF GRAND VEVOCH-HUGSON, ROCKLAND COUNTY, NEW YORK, SHEET 6026.
 2. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 3. LOCATION OF UNDERGROUND UTILITIES ARE NOT SHOWN.
 4. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
 5. MEAN LOWER-LOW WATER = +1.84 (NAVD88)
 MEAN LOW WATER = +4.47 (NAVD88)
 MEAN HIGH WATER = +1.78 (NAVD88)
 MEAN HIGHER-HIGH WATER = +2.28 (NAVD88)
 6. MAP IS PREPARED ON NAD83 STATE PLANE COORDINATE SYSTEM - NEW YORK EAST ZONE.

- REFERENCES:
1. THE OFFICIAL TAX ASSESSOR'S MAP OF VILLAGE OF N'ACK, ROCKLAND COUNTY, NEW YORK, SHEET #6026



- LEGEND
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - FENCE
 - WOODEN POST
 - EDGE OF PAVEMENT

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7206, SUB-DIVISION 2, OF THE NEW YORK STATE GEOGRAPHY LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY, MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL, SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

WILLIAM T. WHIMPLE
 NEW YORK PROFESSIONAL LAND SURVEYOR #5026



11-13-2020
 DATE

NO.	PER CLIENT COMMENT	DATE	STATUS	APPROVED	REVISIONS
1	10-8-2020				
2	11-05-2020				
3					
4					
5					
6					
7					
8					
9					
10					

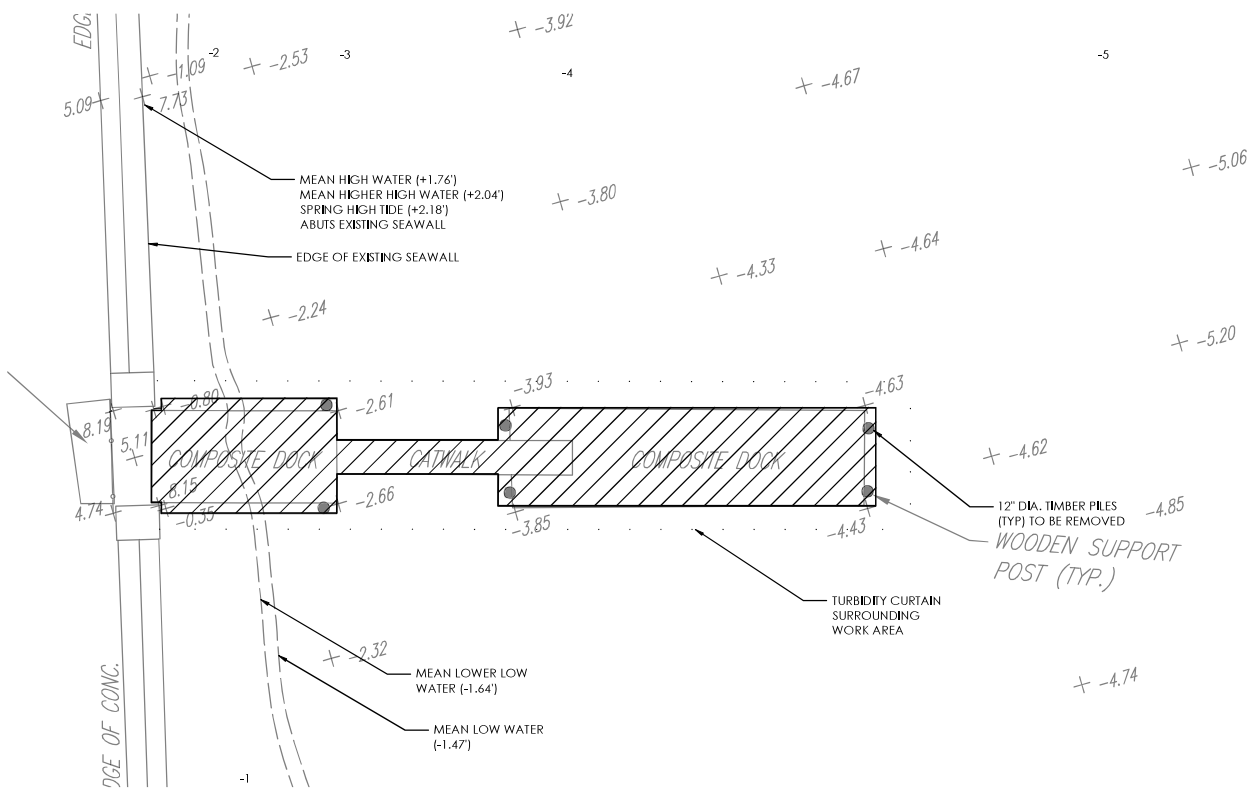
TOPOGRAPHIC SURVEY
TMS-WATERFRONT
 641 NORTH BROADWAY
 TOWN SO.02-1-2
 VILLAGE OF UPPER NYACK, ROCKLAND COUNTY
 STATE OF NEW YORK

CONTROL POINT ASSOCIATES, INC. PC
 25 AVENUE ROAD
 ALBANY, NY 12205
 D.J.D.
 CONTROL POINT ASSOCIATES, INC. PC
 25 AVENUE ROAD, ALBANY, NY 12205

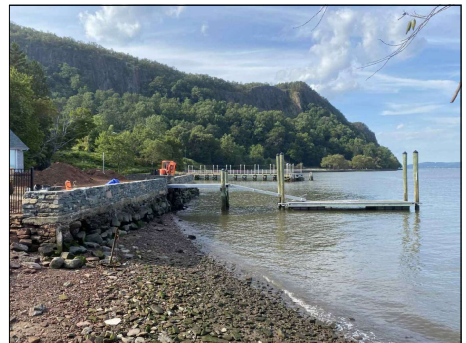
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 DATE: 11-05-2020
 SCALE: 1" = 20'

DATE: 11-13-2020
 SCALE: 1" = 20'

1 OF 1



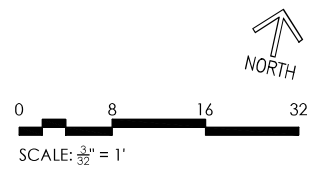
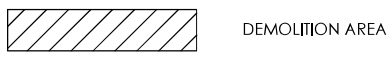
DEMOLITION PLAN



VIEW FROM SHORE

NOTES:

1. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
2. EXISTING BATHYMETRIC INFORMATION SHOWN IS BASED ON FIELD SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC. ON 10/22/2020.
3. DRAWING IS INTENDED FOR USE IN REGULATORY APPROVALS ONLY.
4. TOTAL AREA OF DEMOLITION = 428 SF
5. PILES REMOVED = 6, 12-INCH DIAMETER TIMBER PILES
 - 5.1. TOTAL VOLUME OF MATERIAL (PILES) REMOVED BELOW MHW = 0.96 CY
 - 5.2. TOTAL VOLUME OF MATERIAL (PILES) REMOVED BELOW SHT = 1.03 CY



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00	03/14/2022	ISSUE FOR CONSTRUCTION



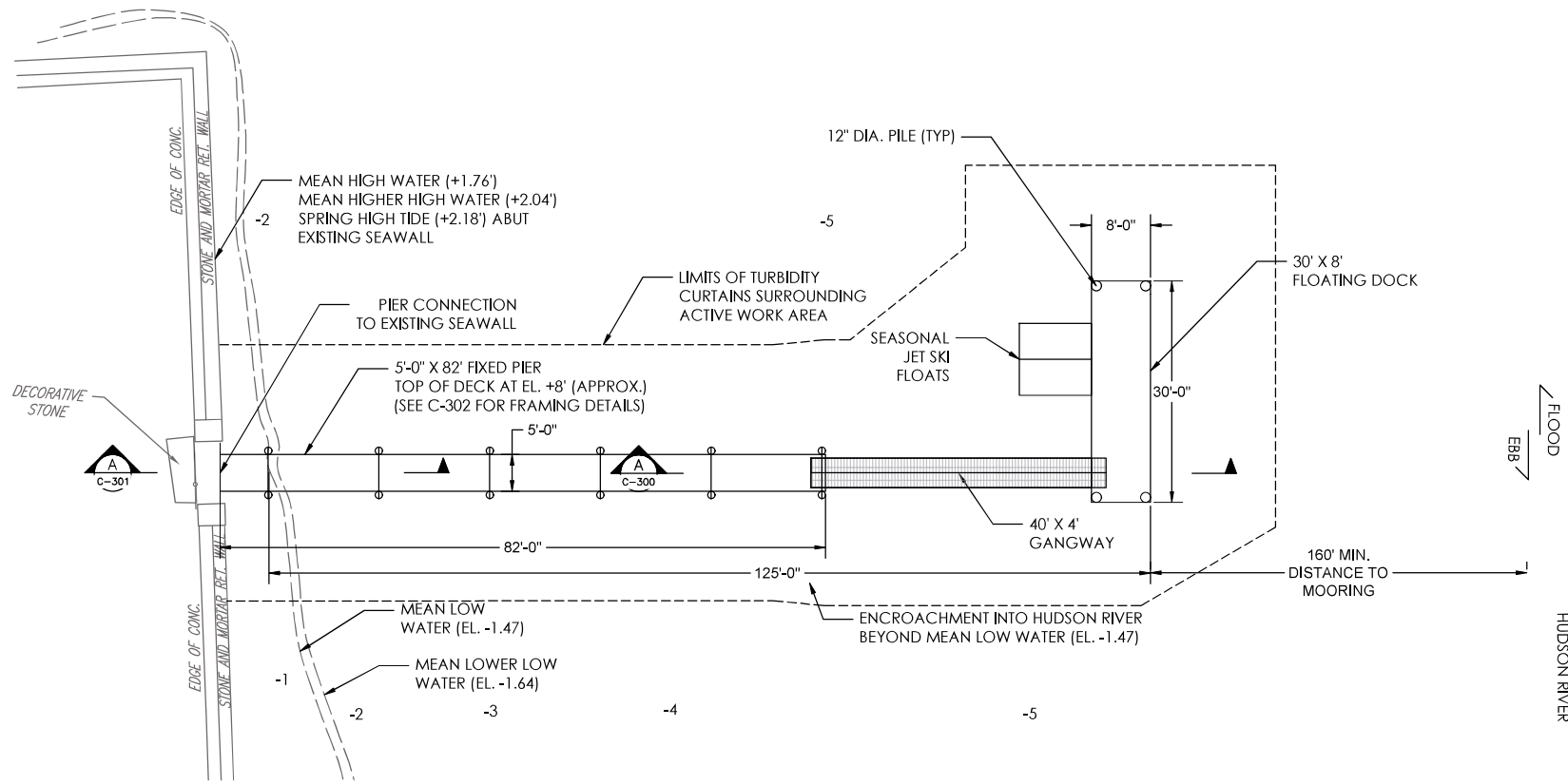
DEMOLITION PLAN

DATE: MAR 14, 2022 DRAWN BY: DAZ CHECKED BY: DAS

FORMAT: ANSI B SCALE: 1" = 100'

SHEET NO. 5 OF 16

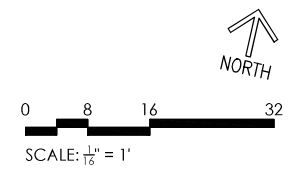
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SITE PLAN

- NOTES:
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 - EXISTING BATHYMETRIC INFORMATION SHOWN IS BASED ON FIELD SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC. ON 10/22/2020.
 - DRAWING IS INTENDED FOR USE IN REGULATORY APPROVALS ONLY.
 - MEAN HIGH WATER (EL. 1.76), MEAN HIGHER HIGH WATER (EL. 2.04), AND SPRING HIGH TIDE (EL. 2.18) ELEVATIONS ABUT EXISTING SEAWALL.
 - TIMBER PILES, GANGWAY, AND 8'X30' FLOATING DOCK REMOVED DURING DEMOLITION WILL BE REUSED IF APPROVED BY THE ENGINEER OF RECORD.
 - MOORING DETAILS ARE SHOWN ON C-501. THE MOORING WILL BE SET A MINIMUM OF 160' EAST OF THE EDGE OF THE FLOATING DOCK TO ALLOW A VESSEL DRAFTING OF UP TO 3' AT LEAST 2' OF CLEARANCE AT MEAN LOWER LOW WATER ELEVATIONS. TOTAL ENCROACHMENT INTO THE HUDSON RIVER, INCLUDING THE MOORING, IS 285'.
 - THE APPROXIMATE LOCATION OF THE MOORING WILL BE 41° 7' 1.03" N, 73° 54' 41.37" W.

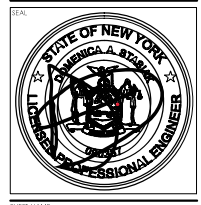
CUT AND FILL		
Description	Coverage Over MHW and SHT (SF)	Fill below MHW and SHT (CY)
Fixed Pier	410	2
Floating Docks	240	1
Gangway	160	0
Seasonal Floats	125	0
Existing Structures [To Be Removed]	-428	-1
TOTAL	+507 (Net Coverage)	+2 (Net Fill)



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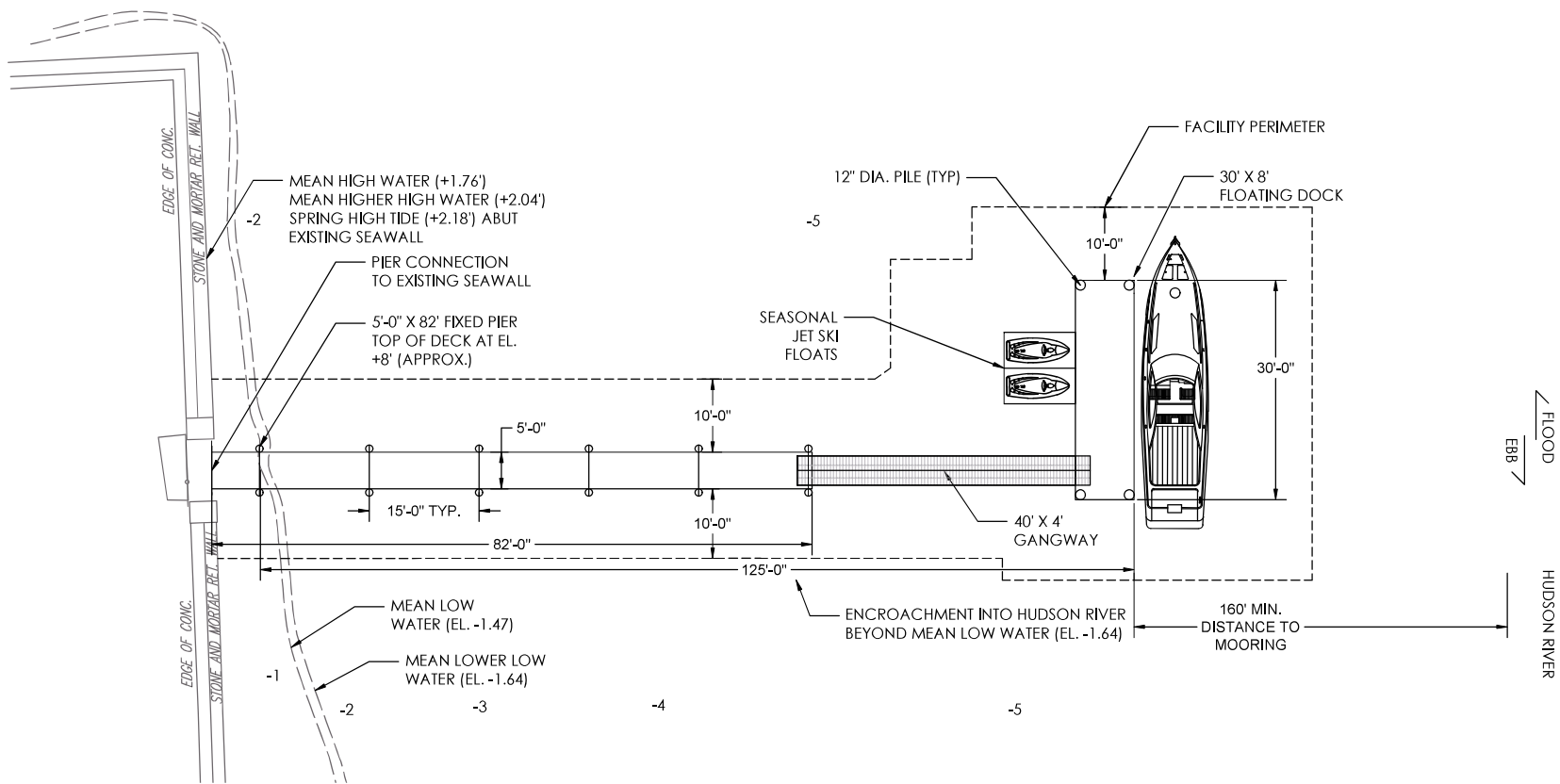
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SHEET NAME

DOCK PLAN

DATE: **MAR 14, 2022** DRAWN BY: **DAS** CHECKED BY: **DAS**
FORMAT: **ANSI B** SCALE: **1/16" = 1'**
SHEET NO.: **C-100** 6 OF 16



FACILITY PERIMETER AND DOCK PLAN

NOTES:

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3. DRAWING IS INTENDED FOR USE IN REGULATORY APPROVALS ONLY.
4. TOTAL AREA OF COVERAGE OVER MHW AND MHH = 935 SF
5. TOTAL FACILITY PERIMETER LENGTH = 375 LF
6. TOTAL FACILITY PERIMETER AREA = 5,080 SF
7. NUMBER OF VESSELS TO BE BERTHED = 1 MOTORIZED VESSEL, UP TO 2 JET SKIS.

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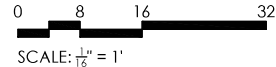
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FACILITY PERIMETER PLAN

DATE: MAR 14, 2022 DRAWN BY: DAS CHECKED BY: DAS
FORMAT: ANSI B SCALE: 1/16" = 1'

SHEET NO. C-101 7 OF 16



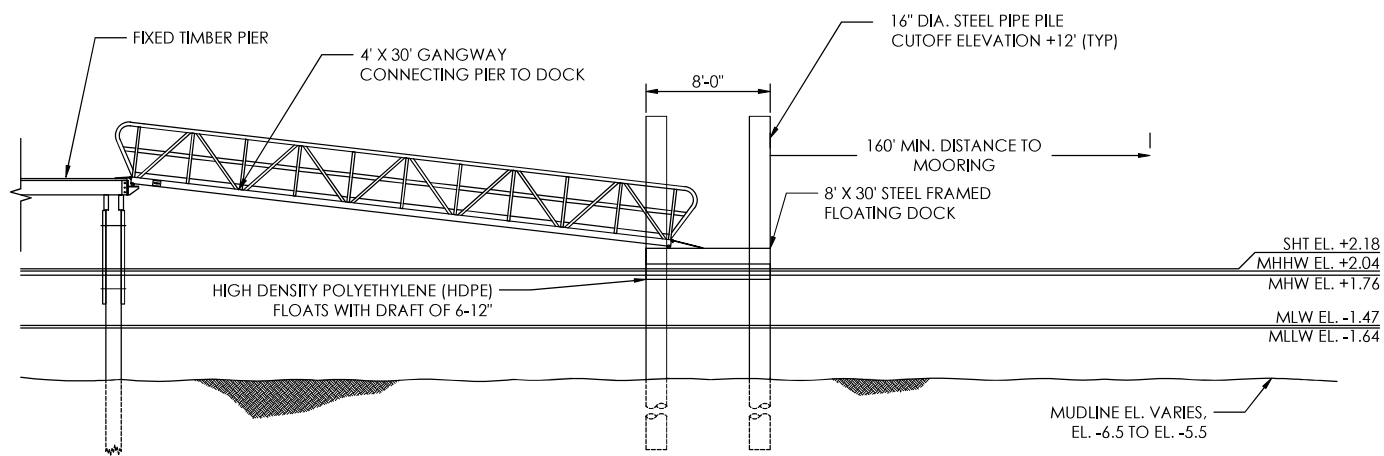
WATERFRONT ACCESS
651 NORTH BROADWAY
UPPER MERSENY, NY 10980

DATE:

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UPPER MERSENY, NY 10980
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PROJECT:

**INDIGO RIVER ARCHITECTURE
AND ENGINEERING, D.P.C.**
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HYACUS, NY 10980
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A GANGWAY & DOCK SECTION
C-100

NO.	DATE	ISSUE FOR CONSTRUCTION
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SHEET NAME

GANGWAY AND DOCK SECTION

DATE: MAR 14, 2022 DRAWN BY: DAZ CHECKED BY: DAS

FORMAT: ANSI B 1 SCALE: 1/8" = 1'

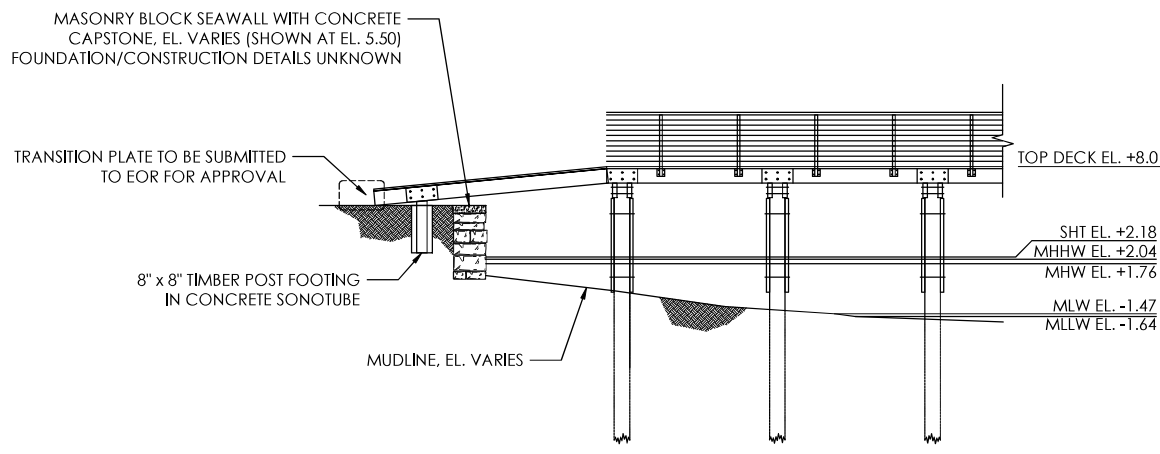
SHEET NO. 8 OF 16

C-300

8 OF 16

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A FIXED PIER AND SEAWALL SECTION
C-100

0 4 8 16
SCALE: $\frac{3}{8}'' = 1'$

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SHEET NAME

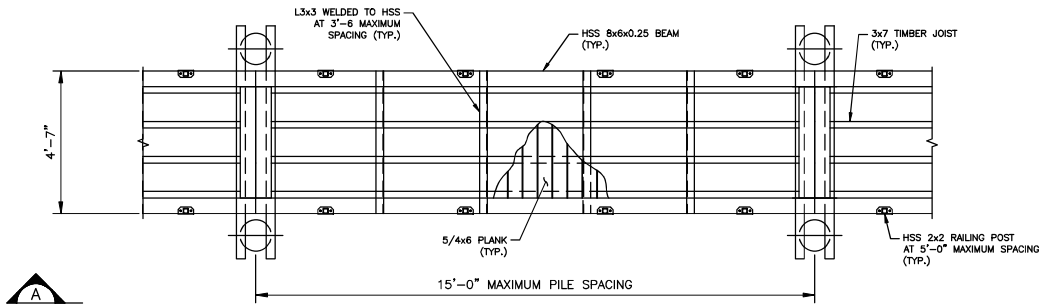
**PIER AND SEAWALL
SECTION**

DATE	DRAWN BY	CHECKED BY
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FORMAT	SCALE
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SHEET NO.
C-301

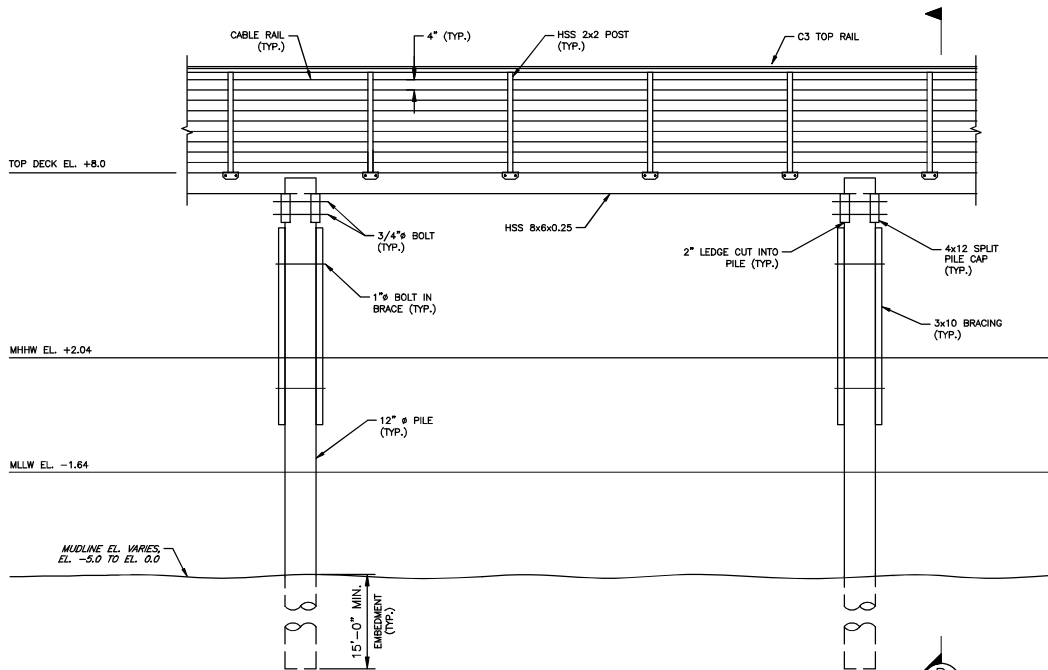
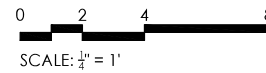
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OF
16



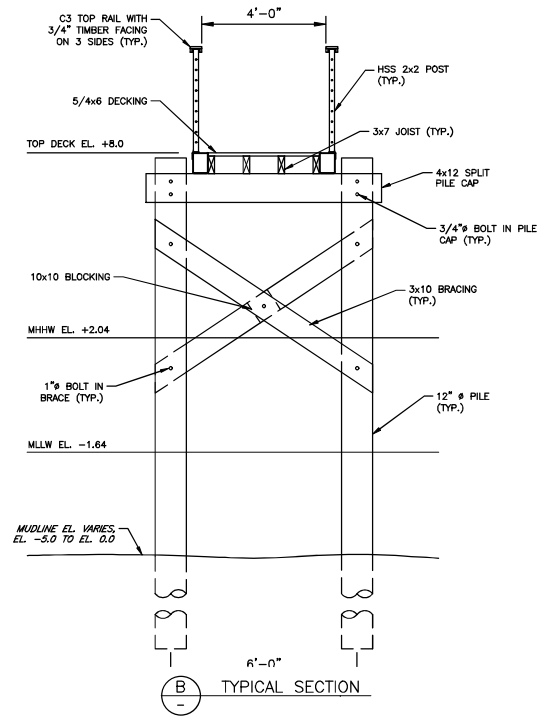
TYPICAL PIER PLAN

NOTES

1. UNLESS NOTED OTHERWISE, PIER FRAMING AND DECKING ARE BUILT FROM PRESSURE TREATED TIMBER.
2. FOR DECK FRAMING DETAILS, REFER TO DRAWING "PIER DETAILS 2".
3. CABLE RAILING SHALL BE 3/16 INCH MINIMUM DIAMETER STAINLESS STEEL CABLE. THE CABLE RAILING SHALL BE PROVIDED AS MANUFACTURED KIT INCLUDING ANCHORAGE HARDWARE TO POST AND TENSIONING HARDWARE.
4. CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR REVIEW AND APPROVAL SHOP DRAWINGS OF THE POSTS, TOP RAILING, AND CABLE RAILS TO DEMONSTRATE SUPPORTING MEMBERS ARE PROPERLY COORDINATED WITH CABLE RAILING. SHOP DRAWINGS SHALL SHOW THE DETAILS OF THE ASSEMBLY AND CONNECTION DETAILS AS WELL AS THE PROCEDURE FOR INSTALLING THE CABLE RAILS.
5. CONTRACTOR MAY SUBMIT AN ALTERNATE POST AND RAIL SYSTEM TO THE ENGINEER AND OWNER FOR REVIEW AND APPROVAL PROVIDED THE SYSTEM HAS SIMILAR TOP RAIL SIZE, POST SIZE AND POST SPACING DEPICTED ON THESE PLANS. THE ALTERNATE SYSTEM SHALL BE SIMILAR IN APPEARANCE TO THE CURRENTLY PROPOSED RAILING TO BE DETERMINED SOLELY BY THE ENGINEER AND OWNER. THE CONTRACTOR MUST DEMONSTRATE THAT THE ALTERNATIVE SYSTEM CAN SAFELY SUPPORT THE RAILING LOADS PRESCRIBED IN ASCE 7-16.



A FIXED PIER ELEVATION VIEW



B TYPICAL SECTION



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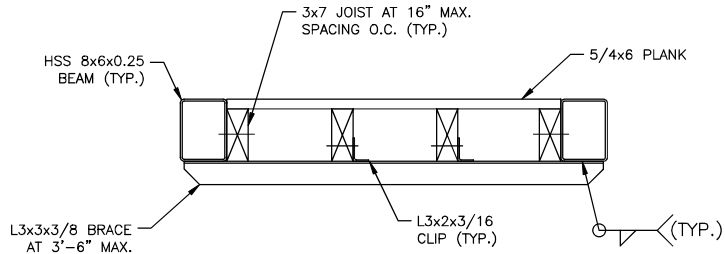


PIER FRAMING DETAILS

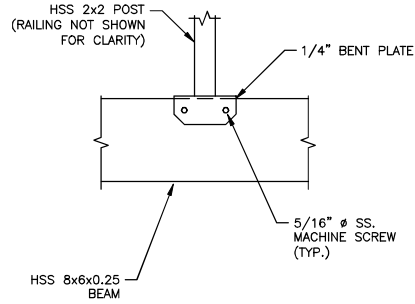
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 CHECKED BY: DAS
 FORMAT: AS NOTED
 SCALE: 1/4" = 1'

SHEET NO. C-302 OF 16

RAILING NOT SHOWN FOR CLARITY (TYP.)



SECTION AT L3x3 BRACE
SCALE (A)



RAILING POST MOUNTING DETAIL - ELEVATION
SCALE (B)

NOTES

- FOR TYPICAL PIER FRAMING PLAN, REFER TO DRAWING "PIER DETAILS 1".
- L3x3x3/16 CONNECTION ANGLE SHALL CONFORM TO ASTM A36 AND SHALL BE HOT-DIP GALVANIZED PER ASTM A123. FASTEN USING TWO 3/4" BOLTS INTO BOTH THE JOIST AND SPLIT CAP BEAM. PROVIDE STANDARD WASHER BETWEEN BOLT HEAD AND ANGLE. PROVIDE OVERSIZE PLATE WASHER OR OGEE WASHER BETWEEN NUT AND TIMBER BEAM. BOLTS, NUTS, AND WASHERS SHALL BE HOT-DIP GALVANIZED PER ASTM A153.

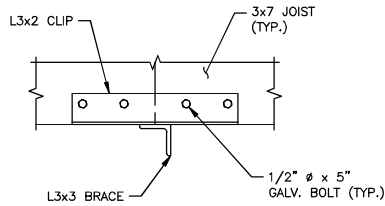
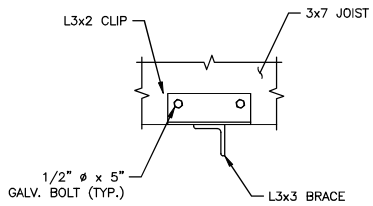
WATERPROOF ACCESS
641 NORTH BRIDGEWAY
UPPER MERIDEN, CT 06468

CLIENT

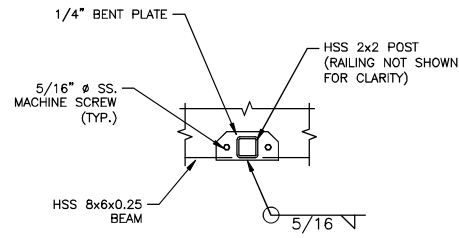
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JOIST CLIP DETAILS
SCALE (B)



RAILING POST MOUNTING DETAIL - PLAN
SCALE (B)

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REV	DATE	ISSUE



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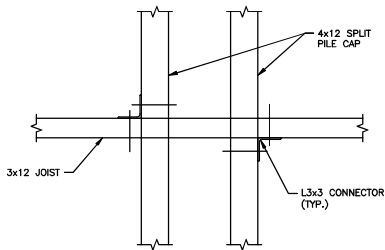
PIER DETAILS

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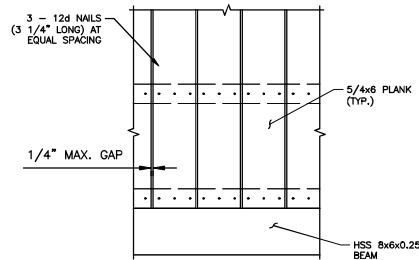
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SHEET NO. 11 OF 16

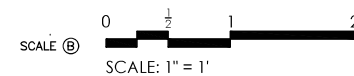
C-303

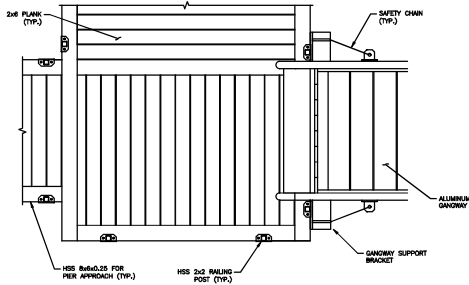


JOIST-CAP CONNECTION DETAIL
SCALE (A)

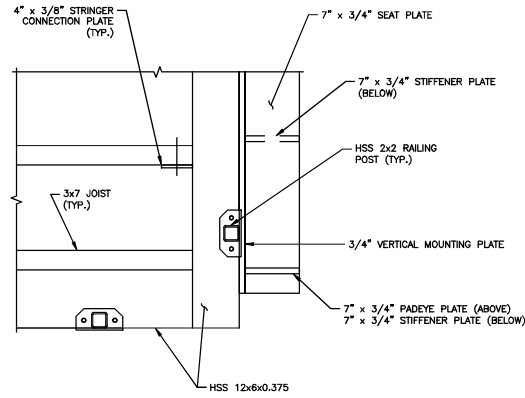


DECK FASTENING DETAIL
SCALE (A)

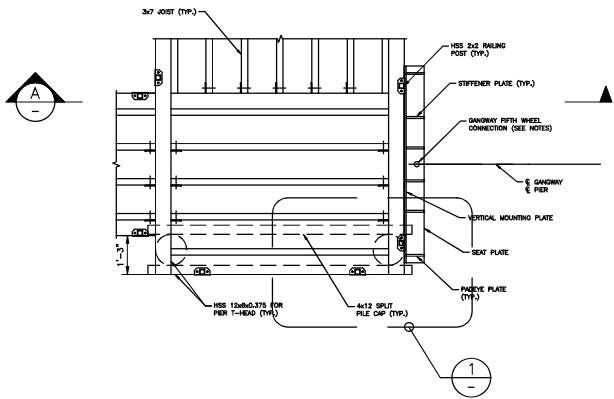




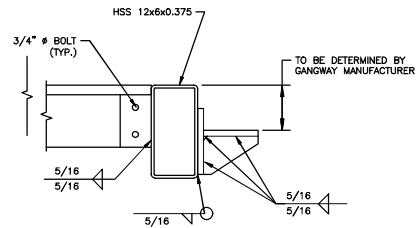
PIER PLAN AT GANGWAY BRACKET
SCALE (A)



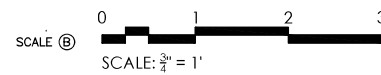
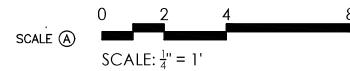
1 BRACKET DETAIL
SCALE (B)



PIER FRAMING AT GANGWAY BRACKET
SCALE (A)



A SECTION THROUGH BRACKET
SCALE (B)



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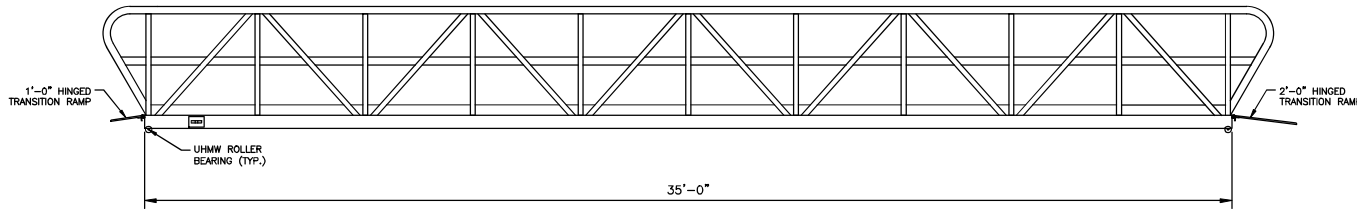


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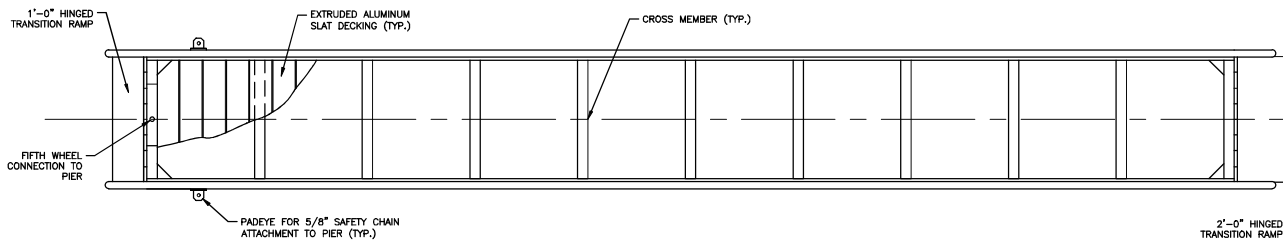
PIER DETAILS II

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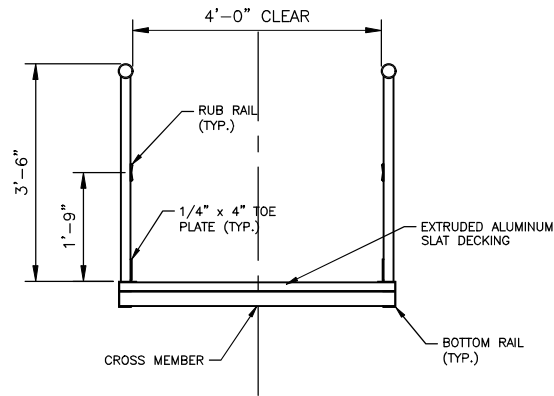
SHEET NO. 12 OF 16
C-304



GANGWAY ELEVATION
SCALE (A)



GANGWAY PLAN
SCALE (A)



GANGWAY TYPICAL SECTION
SCALE (B)

GANGWAY NOTES

1. THE WORK COVERED UNDER THIS SECTION SHALL CONSIST OF MANUFACTURING AND SUPPLYING OF A PREFABRICATED ALUMINUM GANGWAY AS SHOWN IN THE PLANS. ALL MATERIALS SHALL BE MANUFACTURED OR DISTRIBUTED BY RAVENS MARINE OR APPROVED EQUAL.
2. THE GANGWAY SHALL BE DESIGNED WITH MINIMUM SAFETY FACTORS ON WORKING STRESS WHICH CONFORM TO THOSE SET FORTH IN THE LATEST ISSUE OF THE ALUMINUM ASSOCIATION "SPECIFICATIONS FOR ALUMINUM STRUCTURES" FOR BUILDINGS AND SIMILAR TYPE STRUCTURES. TO ENSURE SPECIFIED CRITERIA HAVE BEEN MET, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING:
 - A. SHOP DRAWINGS SHOWING DIMENSIONAL LAYOUT OF THE GANGWAY.
 - B. SHOP DRAWINGS SHOWING CONNECTION DETAILS INCLUDING, BUT NOT LIMITED TO, ROLLER BEARINGS, FIFTH WHEEL CONNECTION, RAILINGS, TRANSITION RAMPS, AND PLANKS.
 - C. ENGINEERING CALCULATIONS SHOWING COMPLIANCE WITH THE DESIGN CRITERIA SPECIFIED HEREIN. CALCULATIONS MUST BE SIGNED AND SEALED BY AN ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW YORK.
3. ALUMINUM EXTRUSIONS FOR GANGWAY STRUCTURES SHALL BE ALUMINUM ALLOY 6061-T6 EXTRUDED IN ACCORDANCE WITH THE REQUIREMENTS OF FEDERAL SPECIFICATION 60-4-200.
4. STAINLESS STEEL BOLTS, NUTS, WASHERS, AND SCREWS SHALL BE TYPE 304.
5. ROLLER BEARINGS SHALL BE UHMW POLYURETHANE WITH BLACK ULTRAVIOLET LIGHT INHIBITOR ADDED.
6. EXTRUDED RIBBED DECKING SHALL BE DESIGNED TO WITHSTAND A COMBINED DEAD LOAD AND LIVE LOAD OF 100 POUNDS PER SQUARE FOOT PER INDIVIDUAL SLAT WITH AN ALLOWABLE DEFLECTION OF $L/180$ WHERE "L" IS THE SPAN OF THE DECKING.
7. HANDRAILS SHALL BE DESIGNED TO WITHSTAND A CONCENTRATED LOAD OF 200 POUNDS OR A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT, WHICHEVER PRODUCES MAXIMUM EFFECT. INTERMEDIATE RAILS SHALL BE DESIGNED FOR A CONCENTRATED LOAD OF 50 POUNDS. THE RAILS SHALL BE DESIGNED TO WITHSTAND THE LOADS ACTING IN ANY DIRECTION.
8. GANGWAYS SHALL BE DESIGNED TO WITHSTAND A UNIFORM LIVE LOAD OF 50 POUNDS PER SQUARE FOOT APPLIED VERTICALLY. ALLOWABLE DEFLECTION SHALL BE A MAXIMUM OF $L/180$ WHERE "L" IS THE LENGTH OF THE GANGWAY.
9. DECKING SHALL BE EXTRUDED ALUMINUM SLATS TO EXCEED 9 INCHES IN WIDTH AND NOT MORE THAN 3/8 INCH AIR SPACE BETWEEN THE SLATS. THE LEGS OF EACH SLAT SHALL BE WELDED TO THE SIDE MEMBERS WITH A MINIMUM OF 1-1/4 INCHES OF WELD PER LEG. DECKING SLATS SHALL BE PLACED TRANSVERSELY ON THE GANGWAY.
10. HINGED TRANSITION PLATES SHALL HAVE A NON-SKID SURFACE MADE OF DIAMOND PLATE, RIBBED PLATE, SLIP-NOT COATING, OR APPROVED EQUAL.
11. HINGE MOUNT EXTRUSIONS SHALL BE WELDED TO THE FRAME OF THE DOCK WITH A CONTINUOUS FILLET WELD UNLESS OTHERWISE SHOWN ON THE PLANS.
12. ANY POTENTIALLY CORROSIVE INSTALLATION OF DISSIMILAR METALS SHALL BE PROPERLY INSULATED TO MINIMIZE OR ELIMINATE CORROSION IN A MARINE ENVIRONMENT.
13. GANGWAYS SHALL BE SECURELY FASTENED TO THE DOCK. MANUFACTURER SHALL DESIGN THE FIFTH WHEEL CONNECTION AND INDICATE ANY MODIFICATIONS TO THE STEEL SUPPORT BRACKET NECESSARY TO ACCOMMODATE THE GANGWAY CONNECTION.



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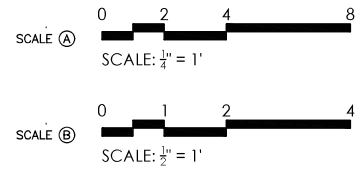


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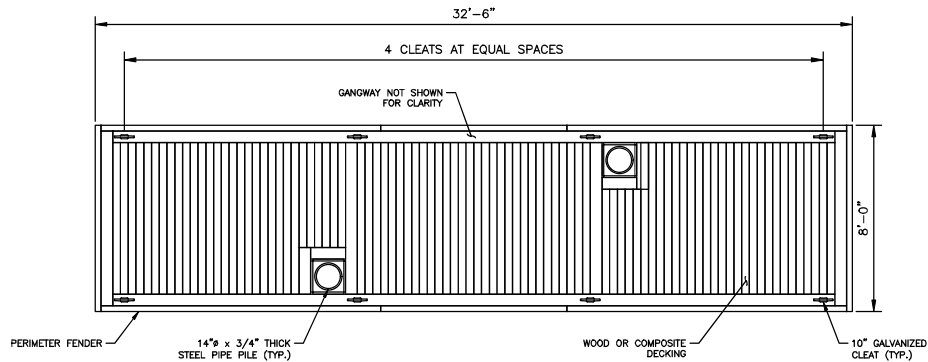
SHEET NAME

GANGWAY DETAILS

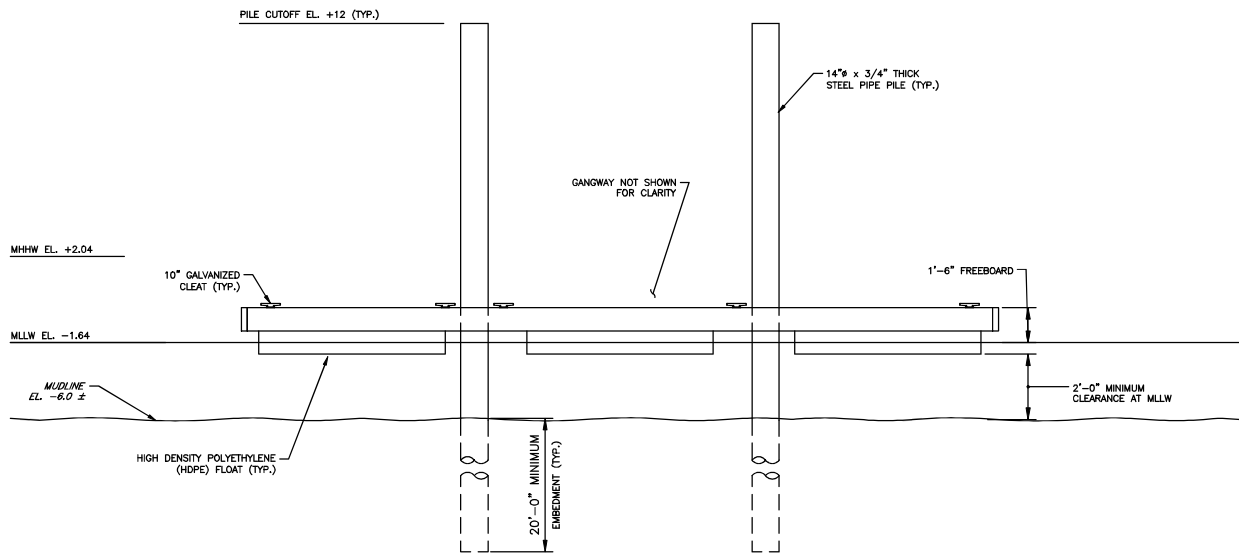


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SHEET NO. **C-305**
13 OF 16



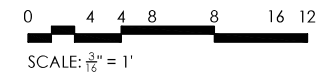
FLOATING DOCK PLAN



FLOATING DOCK ELEVATION

FLOATING DOCK NOTES

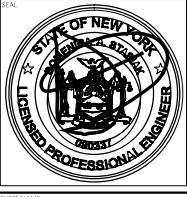
1. THE WORK COVERED UNDER THIS SECTION SHALL CONSIST OF MANUFACTURING AND SUPPLYING OF A FLOATING DOCK SYSTEM AS SHOWN IN THE PLANS.
2. THE FLOATING DOCK SYSTEM SHALL BE COMPLETELY PREFABRICATED BY THE CONTRACTOR IN THEIR PLANT AND DELIVERED READY FOR ASSEMBLY AT THE SITE.
3. THE FLOATING DOCK SHALL BE DESIGNED WITH LOADS AND MINIMUM SAFETY FACTORS ON WORKING STRESS WHICH CONFORM TO THOSE SET FORTH IN THE LATEST ISSUE OF ASCE MANUALS AND REPORTS ON ENGINEERING PRACTICE NO. 50 - PLANNING AND GUIDELINES FOR SMALL CRAFT HARBORS. TO ENSURE SPECIFIED CRITERIA HAVE BEEN MET, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING:
 - A. SHOP DRAWINGS SHOWING DIMENSIONAL LAYOUT OF THE FLOATING DOCK.
 - B. SHOP DRAWINGS SHOWING CONNECTION DETAILS INCLUDING, BUT NOT LIMITED TO, MOORING HARDWARE, FENDERING, DECKING, INTERNAL PILE WELLS, AND PILE GUIDES.
 - C. ENGINEERING CALCULATIONS SHOWING COMPLIANCE WITH THE DESIGN CRITERIA SPECIFIED HEREIN. CALCULATIONS MUST BE SIGNED AND SEALED BY AN ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW YORK.
4. LIVE LOAD FOR THE FLOATING DOCK SHALL BE 50 POUNDS PER SQUARE FOOT ACTING ON THE DOCK AND THE GANGWAY. DEAD LOAD FOR THE FLOATING DOCK SHALL INCLUDE ALL DOCK COMPONENTS PLUS THE REACTION FROM THE GANGWAY.
5. THE FLOATING DOCK SHALL BE CONNECTED AND DESIGNED SO AS TO SAFELY WITHSTAND A MINIMUM WIND PRESSURE OF 20 POUNDS PER SQUARE FOOT AGAINST THE AVERAGE PROFILE OF THE BERTHED VESSELS AND EXPOSED PORTIONS OF THE FLOATING DOCK SYSTEM SUPERIMPOSED WITH A 1.0 FOOT WAVE HEIGHT WITH WAVE PERIODS LESS THAN 2 SECONDS. DOCK DESIGN SHALL BE VERIFIED TO BE ADEQUATE TO RESIST LOADS PRODUCED BY THE 100-YEAR STORM EVENT WITH NO VESSELS BERTHED.
6. THE FLOTATION UNITS SHALL BE DESIGNED TO MAINTAIN THEIR DESIRED BUOYANCY AND FREEBOARD EVEN IF STRUCTURALLY DAMAGED. CONNECTIONS OF THE FLOTATION SYSTEM WILL BE SO DESIGNED THAT THE SYSTEM WILL EFFECTIVELY ACT AS A SINGLE UNIT. A RIGID SYSTEM IS REQUIRED WHICH WILL NEITHER RACK NOR TWIST IN TORSION UNDER EXTREME DESIGN CONDITIONS.
7. THE CONTRACTOR SHALL DEMONSTRATE BY IN WATER TESTS OR WRITTEN CALCULATIONS THAT THE SYSTEM WILL NOT TILT, LIST, OR PITCH MORE THAN SIX DEGREES FROM HORIZONTAL WHEN A CONCENTRATED LOAD OF 500 POUNDS IS PLACED ANYWHERE ON THE DECK.
8. MOORING CLEATS SHALL BE GALVANIZED CAST STEEL, THRU BOLTED INTO THE DOCK STRUCTURE.
9. ALL BOLTS, NUTS, AND WASHERS SHALL BE STAINLESS STEEL OR HOT-DIP GALVANIZED.
10. ANY POTENTIALLY CORROSIVE INSTALLATION OF DISSIMILAR MATERIALS SHALL BE PROPERLY INSULATED TO MINIMIZE OR ELIMINATE CORROSION IN A MARINE ENVIRONMENT.
11. PROVIDE FENDERING ALL AROUND THE PERIMETER OF THE FLOATING DOCK TO PROTECT BOTH THE BOATS AND DOCKS.



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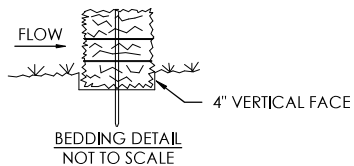


FLOATING DOCK DETAILS

DATE: **MAR 14, 2022** DRAWN BY: **DZJ** CHECKED BY: **DAS**
 FORMAT: **ANSI B** SCALE: **3/16" = 1'**

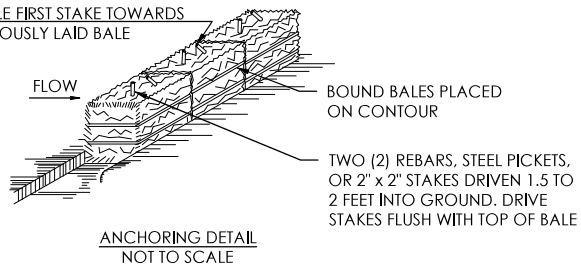
SHEET NO. **C-306** 14 OF 16

STRAW BALE DIKE



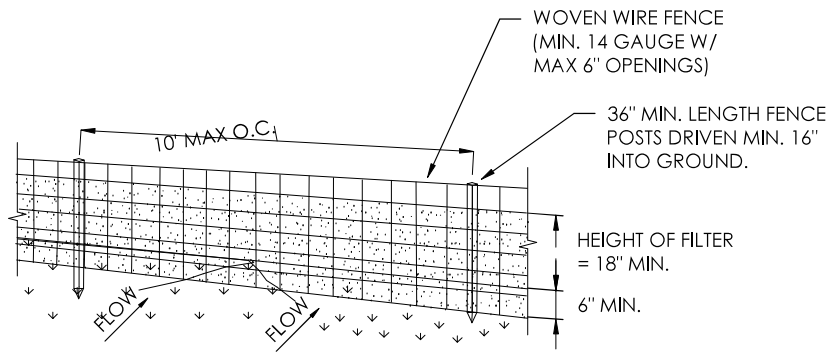
DRAINAGE AREA NO MORE THAN 1/4 ACRE PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%.

ANGLE FIRST STAKE TOWARDS PREVIOUSLY LAID BALE

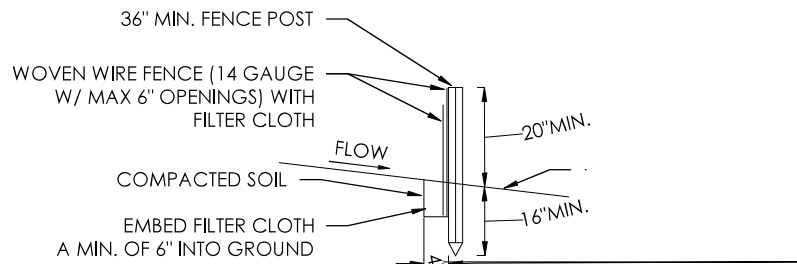


1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR (4) INCHES, AND BE PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TOW STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIRS OR REPLACEMENTS SHALL BE MADE PROMPTLY, AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS TO NOT BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

REINFORCED SILT FENCE



PERSPECTIVE VIEW



SECTION VIEW

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE EITHER "T" OR "U" TYPE STEEL OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIED SPACED EVERY 24 INCHES AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, WITH SIX (6) INCH MAXIMUM OPENINGS,
3. WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PREFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

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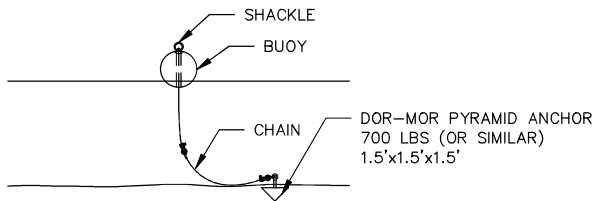
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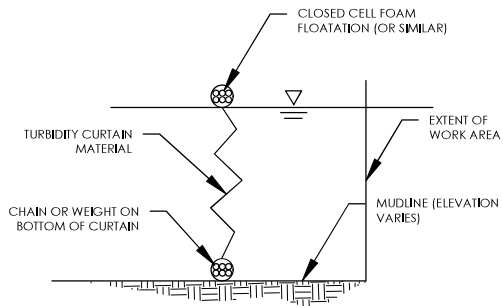
EROSION CONTROL DETAILS

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MAR 14, 2022	DAZ	DAS
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ANSI B	NTS	

SHEET NO. **C-500** 15 OF 16



MOORING BUOY DETAIL (NTS)



TURBIDITY CURTAIN DETAIL (NTS)

NOTES:

1. THE WORKING AREA WILL BE SURROUNDED BY SEDIMENT BOOMS/TURBIDITY CURTAINS.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED NO LESS THAN ONCE PER WEEK AND REPAIRS MADE.

WATERFRONT ACCESS
 651 NORTH BROADWAY
 UPPER MERIDEN, CT 06450

DESIGNED BY
ADAM WINKEL
 881 NORTH BROADWAY
 UPPER MERIDEN, CT 06450
 +1 917 573 5221

CONSULTED BY
 **TMS WATERFRONT**
 247 W. 102nd ST. 5D 1420PH
 NEW YORK, NY 10001
 +1 212 264 6788

REV	DATE	ISSUE
00	03/14/2022	ISSUE FOR CONSTRUCTION



SHEET NAME

TURBIDITY CONTROL DETAILS

DATE MAR 14, 2022	DRAWN BY DAZ	CHECKED BY DAS
FORMAT ANSI B	SCALE NTS	

SHEET NO. **C-501** 16 OF 16

APPLICATION REVIEW FORM

PART I

Name of Municipality UPPER NYACK Date 03/15/2022

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I & II of this form)</i>	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance	

Project Name: 641 N BROADWAY WATERFRONT

Tax Map Designation:

Section 60.06 Block 1 Lot(s) 7
Section _____ Block _____ Lot(s) _____

Location: On the EAST side of N BROADWAY,
250+/- feet NORTH of LEWIS DRIVE in the
town/village of UPPER NYACK

Street Address: 641 N BROADWAY

Acreage of Parcel 6.5+/- **Zoning District** R-40

School District _____ **Postal District** _____

Fire District _____ **Ambulance District** _____

Water District _____ **Sewer District** _____

Project Description: *(If additional space required, please attach a narrative summary.)*

THE OWNER PROPOSES TO INSTALL A TIMBER PIER, GANGWAY, AND FLOATING DOCK
TO ENABLE ACCESS FOR RECREATIONAL BOATING.

APPLICATION REVIEW FORM

If **subdivision**: NOT APPLICABLE

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If **site plan**: NOT APPLICABLE

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

NOT APPLICABLE

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. NO

Are there **streams** on the site? If yes, please provide the names. HUDSON RIVER

Are there **wetlands** on the site? If yes, please provide the names and type. NO

Project History: Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NOT APPLICABLE

APPLICATION REVIEW FORM

Contact Information:Applicant: OWNER Phone # _____Address _____
Street Name & Number (Post Office) State Zip codeProperty Owner: ADAM WINKEL Phone # 917-575-0221Address 641 NORTH BROADWAY, UPPER NYACK, NY 10960
Street Name & Number (Post Office) State Zip codeEngineer/Architect/Surveyor: TMS WATERFRONT Phone # _____Address 1 VAN HOUTEN STREET, NYACK, NY 10960
Street Name & Number (Post Office) State Zip codeAttorney: NOT APPLICABLE Phone # _____Address _____
Street Name & Number (Post Office) State Zip codeContact Person: TMS WATERFRONT (ANNIE BOGGS) Phone # 772-214-8906Address 1 VAN HOUTEN STREET, NYACK, NY 10960
Street Name & Number (Post Office) State Zip code

General Municipal Law Review:This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

 State or County Road State or County Park Long Path County Stream Municipal Boundary County Facility

List name(s) of facility checked above.

MUNICIPAL BOUNDARY OF UPPER NYACK;
NYACK BEACH STATE PARK**Referral Agencies:** (Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.) RC Highway Department RC Division of Environmental Resources RC Drainage Agency RC Dept. of Health NYS Dept. of Transportation NYS Dept. of Environmental Conservation NYS Thruway Authority Palisades Interstate Park Comm. Adjacent Municipality _____ Other _____****All applicants must send copies of their applications and plans to:**

Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.

APPLICATION REVIEW FORM

PART II*

Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section _____;
- Use Variance from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of _____
A TIMBER PIER, GANGWAY, AND FLOATING DOCK.

Previous Appeal: NOT APPLICABLE

- a. A previous appeal _____ has, or has not, been made with respect to this property.
- b. Such appeal was in the form of:
 - ___ An AREA Variance; or
 - ___ A USE Variance; or
 - ___ Appeal from decision of Town Official or Officer; or
 - ___ Interpretation of the Zoning Ordinance or Map; or
 - ___ Other
- c. The previous appeal described above was appeal number _____,
dated _____ and was _____ (Granted/Denied).

TO ALL APPLICANTS: Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

APPLICATION REVIEW FORM

A. AREA VARIANCE *(This section to be completed only for an AREA variance. Use additional pages, if needed.)*

This application seeks a variance from the provisions of Article _____, Section(s) _____. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided

**e.g., front yard, side setback, FAR, etc.*

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? _____

Describe: _____

2. Is the variance substantial in relation to the zoning code? _____

Explain: _____

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? _____

Explain: _____

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? _____

Explain: _____

APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? _____

Explain: _____

6. Will there be any affect on governmental facilities or services if this variance is granted? _____

Describe: _____

7. Other factors I/we wish the Board to consider in this case are

B. USE VARIANCE *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

4. The amount paid for the entire parcel was: _____

5. The date of purchase of the property was: _____

6. The present value of the entire property is: _____

7. The monthly expenses attributed to normal and usual maintenance of the property are: _____

8. The annual taxes on the property are: _____

APPLICATION REVIEW FORM

9. The current income from the property is: _____

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: _____

b. Scheduled maturity (payoff) date: _____

c. Present monthly payment amount: _____

d. Current principal balance: _____

e. Current interest rate: _____

11. Other factors I/we wish the Board to consider in this case are:

C. APPEAL OF DECISION OF BUILDING INSPECTOR *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

2. Nature of decision:

3. The decision described above is hereby appealed because:

D. INTERPRETATION OF ZONING CODE *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: _____

2. An interpretation of the Zoning Code is requested because:

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

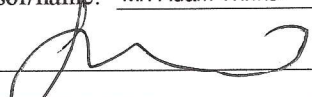
Part 1 – Project and Sponsor Information			
Mr. Adam Winkel			
Name of Action or Project: 641 North Broadway Waterfront Improvements			
Project Location (describe, and attach a location map): 641 North Broadway, Upper Nyack, NY 10960			
Brief Description of Proposed Action: The purpose of the proposed work is to provide safe, resilient access from the property to the owners' boat and to encourage waterfront access and use of water-dependent activities. A fixed timber pier will be constructed extending from the existing grade behind the seawall into the Hudson River 65 feet; two pile-anchored floating docks will be constructed off the east edge of the timber pier, accessed via the pier and a 30-foot long gangway; a boat ramp will be reconstructed on an adjacent area of shoreline. See attached drawings and attached project narrative for additional details.			
Name of Applicant or Sponsor: Mr. Adam Winkel		Telephone: (917) 575-0221	
Address: 641 North Broadway		E-Mail: ajwinkel@ajwinkel.com	
City/PO: Upper Nyack		State: NY	Zip Code: 10960
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: US Army Corps of Engineers, NY Department of State		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.03 acres	
b. Total acreage to be physically disturbed?		0.03 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		6.5 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ N/A	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ N/A	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ A total of 751 sf (0.017 acres) will encroach on the waterbody further than the existing, approved encroachment. _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Shortnose Sturgeon, Atlanti...	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ The project site and adjacent properties have not been subject to environmental remediation (ongoing or completed) for hazardous waste.	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Mr. Adam Winkel Date: 2020-12-31

Signature:  Title: APPLICANT



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Shortnose Sturgeon, Atlantic Sturgeon
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	Yes

Appendix

Prior Permits Received (USACE, DEC, DOS, OGS)

DEPARTMENT OF THE ARMY PERMIT

Permittee: Adam Winkel
641 North Broadway
Upper Nyack, NY 10960

Permit Number: NAN-2021-00058

Date Issued: December 20, 2021

Issuing Office: U.S. Army Corps of Engineers, New York District

NOTE: The term "you" and its derivatives, as used in this permit, means the permittee or any future transferee. The term "this office" refers to the appropriate district or division office of the Corps of Engineers having jurisdiction over the permitted activity or the appropriate official of that office acting under the authority of the commanding officer.

You are authorized to perform work in accordance with the terms and conditions specified below.

Project Description:

Demolish an existing 428 square foot dock and construct an 82-foot (ft) long by 5-ft wide fixed timber pier, supported by eighteen 12-inch (in) diameter timber piles. The bottom of the pier stringers will be constructed 4.74 ft above the plane of mean high water. Install a 40-ft long by four (4)-ft wide gangway, a 30-ft long by eight (8)-ft wide floating dock secured by four (4) 12-inch diameter timber piles with internal collars, , one seasonal 10-ft wide by 10-ft long jet ski float, and two (2) 16-in diameter steel pipe piles installed approximately 15-ft seaward of the outer face of the floating dock to provide additional vessel security. The entire structure will extend approximately 125-ft beyond the plane of Mean High Water into the Hudson River.

All work shall be performed in accordance with the attached drawings and special conditions (A) through (F) which are hereby made part of this permit, and the New York State Department of State Coastal Consistency Determination F-2021-0008, dated September 2, 2021, which is hereby made a part of this permit.

Project Location: IN: Hudson River

AT: Town of Clarkstown, Rockland County, New York

PERMITTEE: Adam Winkel
PERMIT NO.: NAN-2021-00058

Permit Conditions:

General Conditions:

1. The time limit for completing the work authorized ends on December 20, 2024. If you find that you need more time to complete the authorized activity, submit your request for a time extension to this office for consideration at least one month before the above date is reached.

2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.

3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

4. If you sell the property associated with this permit, you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.

5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.

6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Special Conditions:

(A) The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

PERMITTEE: Adam Winkel
PERMIT NO.: NAN-2021-00058

(B) At least 14 days prior to starting operations, the permittee shall email the following information, at a minimum, to the First Coast Guard District, D01-SMB-LNM@uscg.mil, and Sector New York, SECTORNYWWM@uscg.mil, for publication in the Local Notice to Mariners:

Date of submission:

Name, phone number, and email address of project point of contact:

Company Name:

Type of Work:

Waterway and Location where work will be done:

Latitude & Longitude of work area (Degrees, Minutes, Thousandths of seconds):

Work Start & Stop dates and Hours of Operation:

Equipment on scene:

Passing Arrangements / Time to move vessels to not impede navigation:

VHF Radio Channel monitored:

Disposal Site (if used):

NOAA Chart Number for the area:

(C) The permittee shall notify the National Oceanic and Atmospheric Administration of the project completion and specifications so they may initiate the appropriate chart and Coast Pilot corrections. This notification must be submitted by email to ocs.ndb@noaa.gov, and shall include: a copy of Department of the Army Permit NAN-2021-00058, as-built drawings, and a completed NOAA Permit/Public Notice Status Report form, available online at <https://nauticalcharts.noaa.gov/charts/docs/charts-updates/Permit-Public-Notice.pdf>;

(D) The permittee shall ensure that any current or future outdoor lighting is located or shielded so that it is not confused with any aids to navigation. If installed, the lights must be white and non-flashing.

(E) In order to protect the federally-listed endangered Atlantic sturgeon (*Acipenser oxyrinchus oxyrinchus*) and the federally-listed endangered shortnose sturgeon (*Acipenser brevirostrum*), all pile-driving operations shall begin with a soft start. Vibratory pile driving shall be initiated for 15 seconds at reduced energy followed by a one-minute waiting period. This sequence of 15 seconds of reduced energy driving with one-minute waiting period shall be repeated two additional times, followed immediately by pile driving at full rate and energy. In addition to using a soft-start at the beginning of the work-day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer.

(F) The permittee shall ensure that waterborne equipment (i.e. barge) is not moored in submerged aquatic vegetation (SAV) and floats at all stages of the tide.

PERMITTEE: Adam Winkel
PERMIT NO.: NAN-2021-00058

Further Information:

1. Congressional Authorities: You have been authorized to undertake the activity described above pursuant to:

(X) Section 10 of the Rivers and Harbors Act of 1899 (33 U.S. Code 403).

() Section 404 of the Clean Water Act (33 U.S. Code 1344).

() Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972 (33 U.S.C. 1413).

2. Limits of this authorization:

a. This permit does not obviate the need to obtain other Federal, state, or local authorizations required by law.

b. This permit does not grant any property rights or exclusive privileges.

c. This permit does not authorize any injury to the property or rights of others.

d. This permit does not authorize interference with any existing or proposed Federal project.

3. Limits of Federal Liability: In issuing this permit, the Federal Government does not assume any liability for the following:

a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.

b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.

c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.

d. Design or construction deficiencies associated with the permitted work.

e. Damage claims associated with any future modification, suspension, or revocation of this permit.

4. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.

5. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:


- a. You fail to comply with the terms and conditions of this permit.**
- b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (See 4 above).**
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.**

Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you to comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CFR 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

6. Extensions: General Condition 1 establishes a time limit for the completion of the activity authorized by this permit. Unless there are circumstances requiring either a prompt completion of the authorized activity or a reevaluation of the public interest decision, the Corps will normally give favorable consideration to a request for an extension of this time limit.

PERMITTEE: Adam Winkel
PERMIT NO.: NAN-2021-00058

Your signature below, as permittee, indicates that you accept and agree to comply with the terms and conditions of this permit.

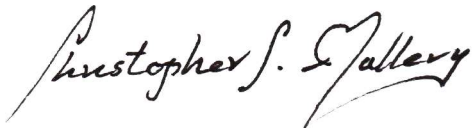


(PERMITTEE)

2021-12-09

(DATE)

This permit becomes effective when the Federal official, designated to act for the Secretary of the Army, has signed below.



(DISTRICT ENGINEER)

December 20, 2021

(DATE)

FOR AND IN BEHALF OF

Matthew W. Luzzatto
Colonel, U.S. Army
District Engineer

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below. A copy of the permit signed by the transferee should be sent to this office.

(TRANSFEREE)

(DATE)

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



**Department of
Environmental
Conservation**

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Victoria Lawrence

Victoria Lawrence, Environmental Analyst
Division of Environmental Permits, Region 3
Telephone (845) 633-5454



**Department of
Environmental
Conservation**



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:

ADAM WINKEL
641 N BROADWAY
UPPER NYACK, NY 10960

Facility:

WINKEL PROPERTY
641 N Broadway
Upper Nyack, NY 10960

Facility Location: in CLARKSTOWN in ROCKLAND COUNTY

Facility Principal Reference Point: NYTM-E: 591.269683535354 NYTM-N:
4552.29767310608

Latitude: 41°07'00.7" Longitude: 73°54'46.3"

Project Location: 641 N Broadway

Authorized Activity: This permit authorizes the construction of one 5'x82' pier, one 4'x40' gangway, one 30'x8' float, and one seasonal 12.75'x9.75' float on the Hudson River (Class SB) in strict accordance with the plans cited in Natural Resources Permit Condition No. 1 and as conditioned in this permit.

Permit Authorizations

Excavation & Fill in Navigable Waters - Under Article 15, Title 5

Permit ID 3-3920-00695/00004

New Permit

Effective Date: 11/9/2021

Expiration Date: 12/31/2025

Water Quality Certification - Under Section 401 - Clean Water Act

Permit ID 3-3920-00695/00005

New Permit

Effective Date: 11/9/2021

Expiration Date: 12/31/2025

Docks, Platforms & Moorings - Under Article 15, Title 5

Permit ID 3-3920-00695/00006

New Permit

Effective Date: 11/9/2021

Expiration Date: 12/31/2025

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: REBECCA S CRIST, Deputy Regional Permit Administrator

Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: Rebecca S Crist

Date 11 / 08 / 2021



Distribution List

Adam Winkel
Eleanor Beckwith, TMS Waterfront
Shea Thorvaldsen, TMS Waterfront
Angela Schimizzi, NYSDEC
Alexandra Ryan, USACOE (NAN-2021-00058-WRY)
Town of Clarkstown
NYSDOS Office of Planning and Development

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

WATER QUALITY CERTIFICATION SPECIFIC CONDITION

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: EXCAVATION & FILL IN NAVIGABLE WATERS; WATER QUALITY CERTIFICATION; DOCKS, PLATFORMS & MOORINGS

1. Conformance With Plans All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by TMS Waterfront, as cited in Natural Resource Permit Condition No. 2.

2. Conformance With Plans - Addenda In addition to plans referenced in the Condition titled "Conformance with Plans," the activities authorized by this permit must be in strict conformance with the following approved plans and/or submissions made as part of the permit application:

<u>Sheet No.</u>	<u>Title</u>	<u>Date</u>	<u>Last Revised</u>
C-100	Site Plan	12/28/20	8/20/21
C-101	Facility Perimeter Plan	12/28/20	8/20/21
C-300	Pier and Dock Sections	12/28/20	5/13/21
C-301	Per and Boat Ramp Sections	12/28/20	8/20/21
C-500	Details	12/28/20	8/20/21
C-501	Details II	12/28/20	8/20/21



- 3. Notice of Intent to Commence Work** The permittee must notify Angela Schimizzi, NYSDEC Division of Marine Resources, via electronic mail (angela.schimizzi@dec.ny.gov) at least 48 hours in advance of the time of commencement.
- 4. No Structures on Dock/Catwalk/Float** No permanent structures may be installed on dock/catwalk/float without first obtaining written approval from the Department.
- 5. Use Pressure Treated Wood** Where treated wood lumber is to be used in the construction of in-water structures, only pressure treated wood with a preservative and treatment process approved (stamped or otherwise marked as certified) by the American Wood Preservative Association can be used. Wood treated with CCA (Chromated Copper Arsenate) or ACQ (Alkaline Copper Quat) can be used in all aquatic environments. Wood treated with Pentachlorophenol can only be used in freshwater applications.
- 6. No Equipment in the Water** Heavy equipment operation in the water is prohibited. With backhoes and similar heavy equipment, the bucket may enter the water.
- 7. Install Piles Using Vibratory Methods** Piles shall be installed using vibratory methods. If the piles cannot be installed in this manner and impact driving must be used, the permittee must first contact Angela Schimizzi of the Division of Marine Resources via email (angela.schimizzi@dec.ny.gov). Written approval from the Department must be obtained prior to any impact driving taking place. If approved, impact driving could potentially only be conducted from Sept 1st through October 31st.
- 8. Cut Piles Below Mudline** Piles that must be cut must be cut at least 6 inches below the mudline.
- 9. No Dredging/Excavation of River Sediments** No dredging or excavation of river sediments is authorized; only the removal of existing remnant timber cribbing is permitted.
- 10. Disposal of Material** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.
- 11. Minimize Disturbance to Submerged Aquatic Vegetation** To the maximum practicable extent, disturbances to submerged aquatic vegetation (SAV) must be avoided and minimized, particularly during installation and maintenance of the turbidity curtain.
- 12. Prior Approval of Changes** If the permittee desires to make any minor changes to the scope of work shown in the approved plans referenced in Natural Resource Permit Condition 1, the permittee shall submit a request via email to Angela Schimizzi of the DEC Division of Marine Resources (angela.schimizzi@dec.ny.gov) to make such proposed changes. The proposed changes shall not be implemented unless authorized in writing by the Department. Issuance of such approval without modification of the permit is at the Department's discretion.



13. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

14. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

15. No Interference With Navigation There shall be no unreasonable interference with navigation by the work herein authorized.

16. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

17. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

WATER QUALITY CERTIFICATION SPECIFIC CONDITIONS

1. Water Quality Certification The authorized project, as conditioned pursuant to the Certificate, complies with Section 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act, as amended and as implemented by the limitations, standards, and criteria of state statutory and regulatory requirements set forth in 6 NYCRR Section 608.9(a). The authorized project, as conditioned, will also comply with applicable New York State water quality standards, including but not limited to effluent limitations, best usages and thermal discharge criteria, as applicable, as set forth in 6 NYCRR Parts 701, 702, 703, and 704.



GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Docks, Platforms & Moorings, Excavation & Fill in Navigable Waters, Water Quality Certification.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;



- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.



Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.



STATE OF NEW YORK
DEPARTMENT OF STATE

ONE COMMERCE PLAZA
99 WASHINGTON AVENUE
ALBANY, NY 12231-0001
WWW.DOS.NY.GOV

KATHY HOCHUL
GOVERNOR

ROSSANA ROSADO
SECRETARY OF STATE

September 2, 2021

Shea Thorvaldsen
TMS Waterfront
1 Van Houten Street
Nyack, NY 10960

Re: F-2021-0008
U.S. Army Corps of Engineers/New York District Permit
Application – Adam Winkel
Removal of an existing 8ft by 16 ft platform, 3 ft by 20 ft
gangway, 8 ft by 30 ft floating dock and six 12-inch
diameter timber piles. Construct a 7 ft wide by 65 ft long
fixed pier, 30 ft long by 4 ft wide gangway, two 8 ft wide
by 30 ft long floats in a “L” shape configuration and a 12 ft
by 12 ft kayak launch float.
641 North Broadway, Village of Upper Nyack, Rockland
County, Hudson River
**Concurrence with Consistency Certification - Proposal
Modified**

Dear Shea Thorvaldsen:

The Department of State received your Federal Consistency Assessment Form and consistency certification and supporting information for this proposal on January 4, 2021. A stay of review was mutually agreed to beginning on June 30, 2021 and ending on August 31, 2021 which resulted in a decision being due to you by September 4, 2021. The Department of State received your modifications to the project on August 24, 2021.

The modification includes altering the fixed pier to 5 ft wide by 82 ft long leading to a 4 ft wide by 40 ft long gangway, one 8 ft wide by 30 ft long float and one 10 ft wide by 10 ft long seasonal jet ski float. One 8 ft wide by 30 ft long float has been eliminated.

Pursuant to 15 CFR Part 930.62, and based upon the project information submitted, the Department of State concurs with your consistency certification for this activity. This concurrence is without prejudice to and does not obviate the need to obtain all other applicable licenses, permits, or other forms of authorization or approval that may be required pursuant to existing State statutes.

When communicating with us regarding this matter, please contact me at (518) 474-6000 (e-mail: CR@dos.ny.gov) and refer to our file #F-2021-0008.

Sincerely,

Gregory L. Capobianco
Office of Planning, Development and
Community Infrastructure

GLC/tl

cc: COE/New York District
NYSDEC/Region 3 App # 3-3920-00695/00004-06

Applicant: Adam Winkel
Location: 641 North Broadway
Upper Nyack, Rockland County
Waterbody: Hudson River
Date: January 22, 2021
OGS No. I-4452

The New York State Office of General Services (NYSOGS) has received the Joint Application Form (JAF) for your proposed project to install a new fixed timber pier and a floating dock and gangway and re-install the existing floating dock perpendicular to the new dock to form an "L" for berthing the owner's vessel. They also wish to install seasonal floating docks for motorized and non-motorized personal watercrafts and a new boat ramp.

Based on a review of the proposed activities, it has been determined that the activities do not require a permit from the NYSOGS. Please be aware that this determination does not obviate the need for permits and/or permissions from other involved agencies

Please save this email as proof of determination by this office of "No Permit Required" since we will not be sending additional correspondence related to this determination.

Thank you for your interest in the Lands Underwater Program which is administered by the Office of General Services. Should you have any questions, please do not hesitate to contact me.