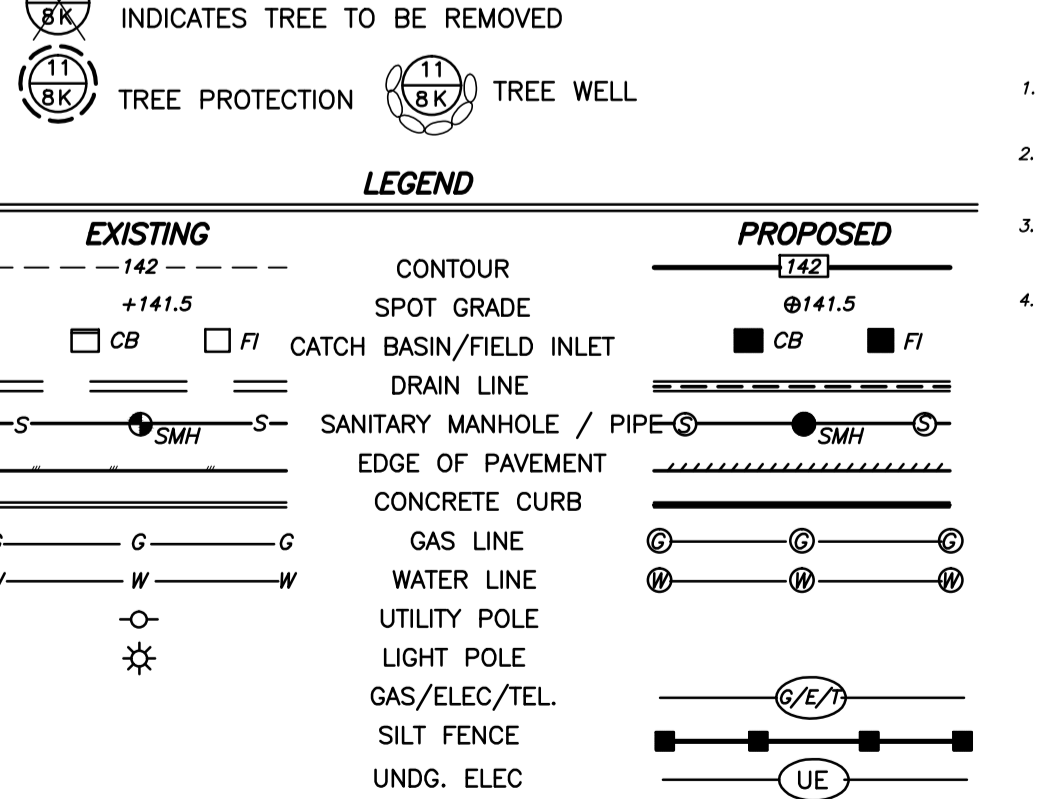
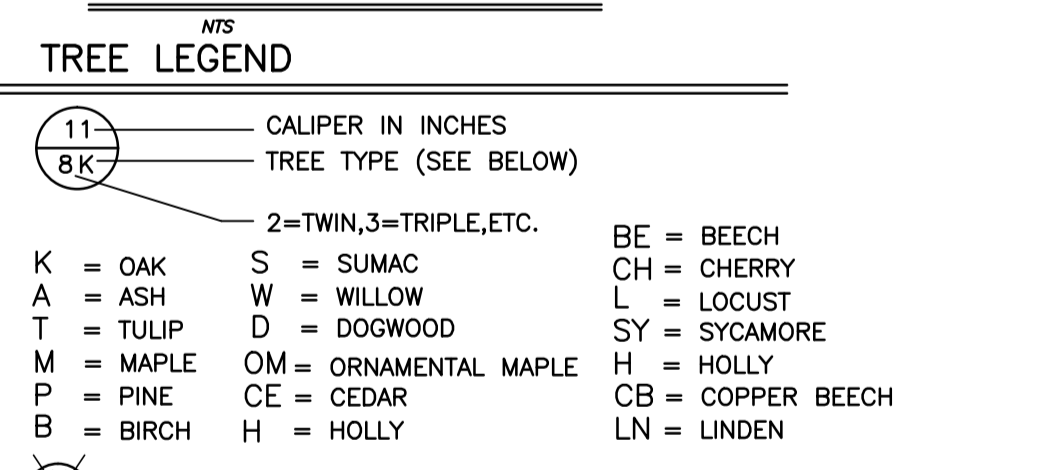
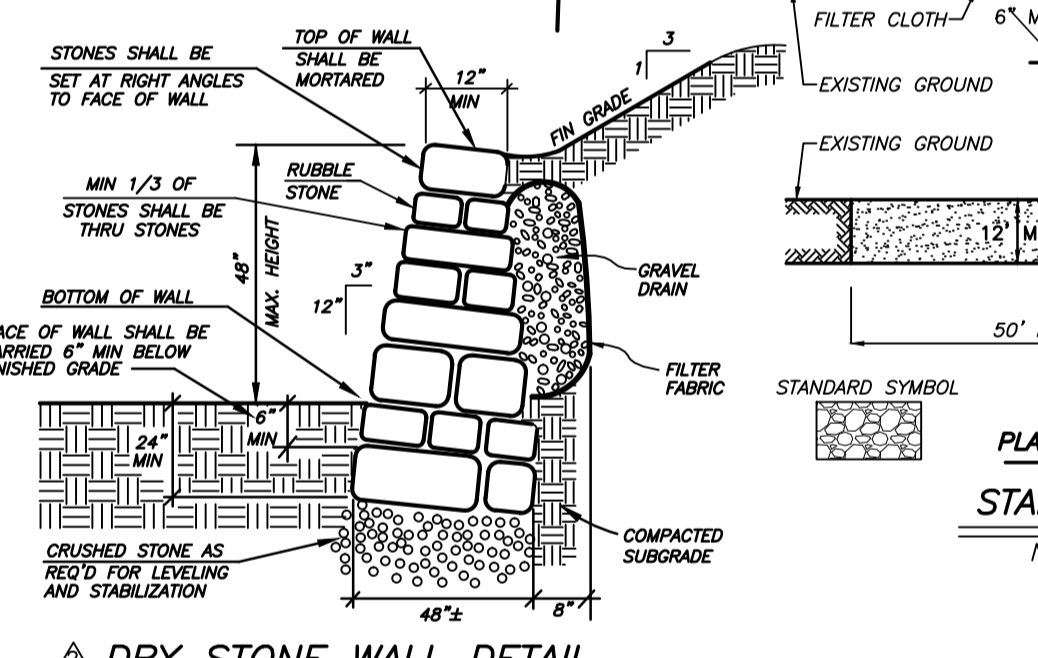


- NOTES:
1. APPLICANT & OWNER: BROOKFIELD NYACK, LLC  
684 SO. MOUNTAIN ROAD NEW CITY, NY 10956
  2. SUBJECT TO VILLAGE AND STATE CONSTRUCTION AND UTILITY STANDARDS, AS APPLICABLE.
  3. SITE PLAN SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL, WITHIN WHICH TIME APPLICANT SHALL SECURE A BUILDING PERMIT.
  4. ALL ROOF LEADERS SHALL CONVEY RUNOFF TO DRYWELL GALLERY OMITTED
  5. A COVENANT SHALL BE FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE (TO THE SATISFACTION OF THE VILLAGE ATTORNEY) BINDING THE HOMEOWNER TO MAINTENANCE OF THE DRYWELL GALLERY AS SHOWN HEREON.
  6. PROTECTION OF TREES: NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED, EXCEPT WHERE ENGAGED FOR TREE REMOVAL. NO EQUIPMENT SHALL BE OPERATED WITHIN SIX (6) FEET OF THE DRIP LINE OF ANY TREE PROPOSED TO BE PROTECTED IN THIS ORDINANCE NOR SHALL EQUIPMENT BE OPERATED AT ANY TIME IN SUCH MANNER AS TO BREAK, TEAR, BRUISE, DECORATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
  7. VERIFY LOCATION OF EXISTING SEWER LATERAL NEAR SOUTHEAST CORNER OF SITE, AND REPAIR/REPLACE AS NEEDED FOR CONNECTION. ALTERNATIVELY, PROVIDE EJECTOR PUMP TO NORTH MIDLAND SANITARY LINE.
  8. VISUAL SCREENING TO BE PROVIDED AT GENERATOR.
  9. REFER TO APPROVED "REVEGETATION PLAN", BY YOST DESIGN, 8/3/20
  10. SELF LOCKING GATES AT POOL FENCE TO BE MAINTAINED/INSTALLED AS REQUIRED.
  11. VERIFY INFILTRATION RATE AT TIME OF CONSTRUCTION AND AMEND THE DRYWELL DESIGN IF/AS NEEDED.

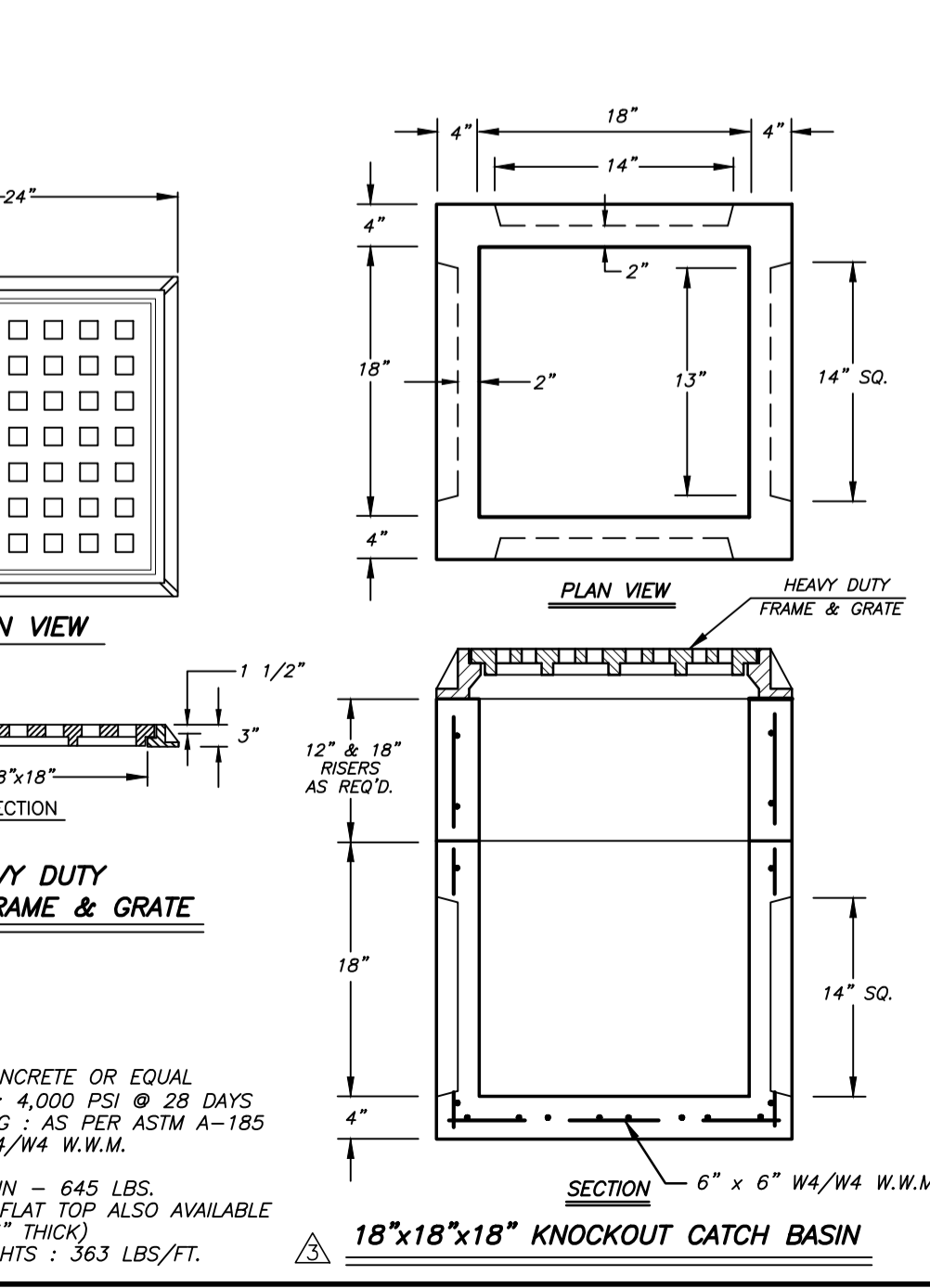
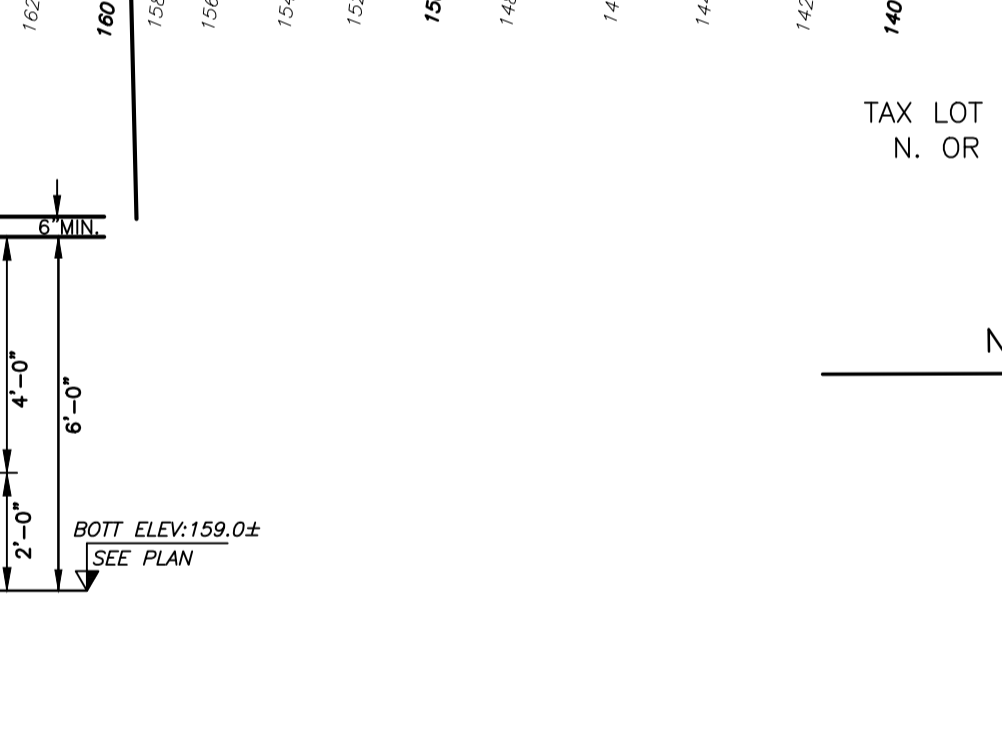
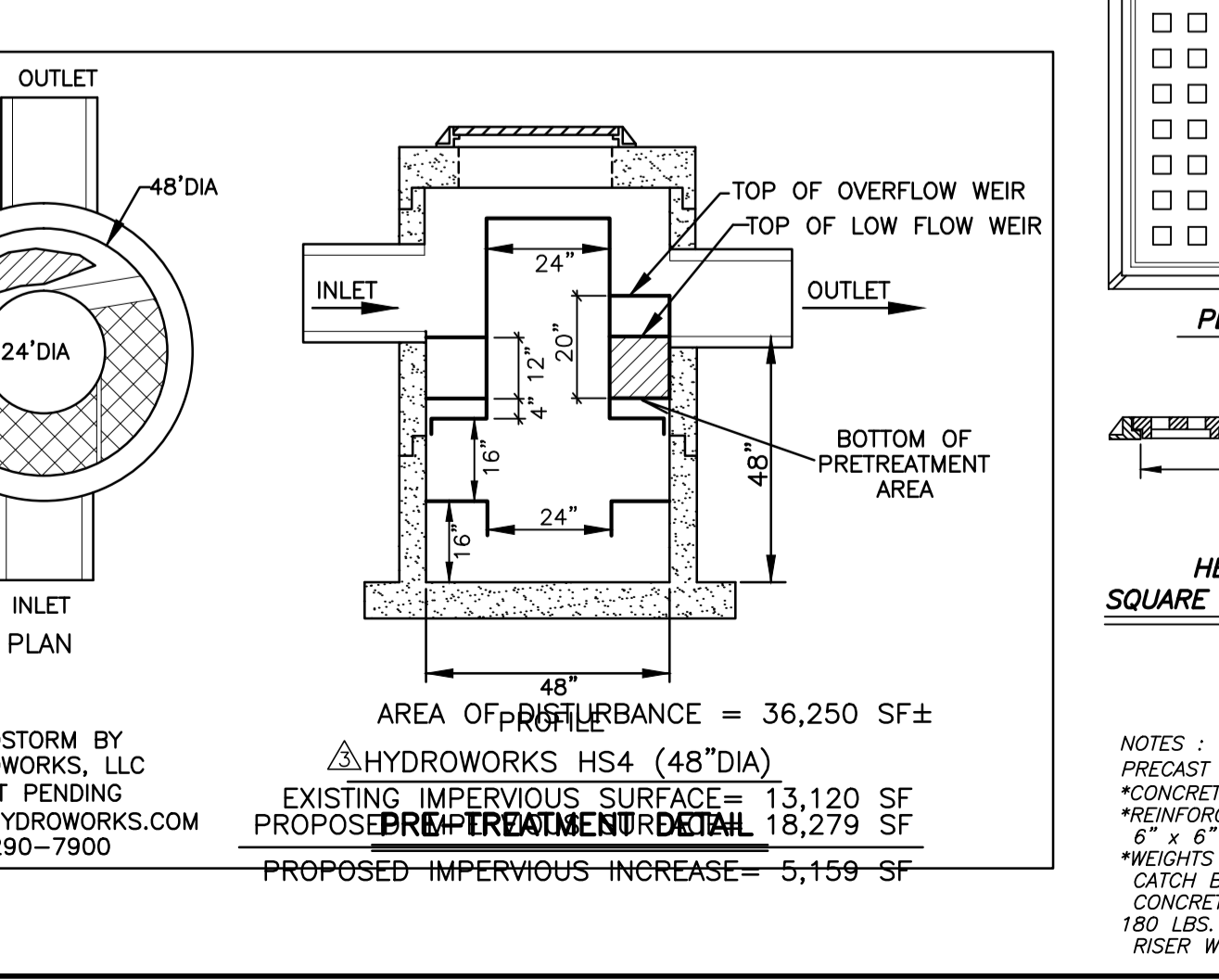
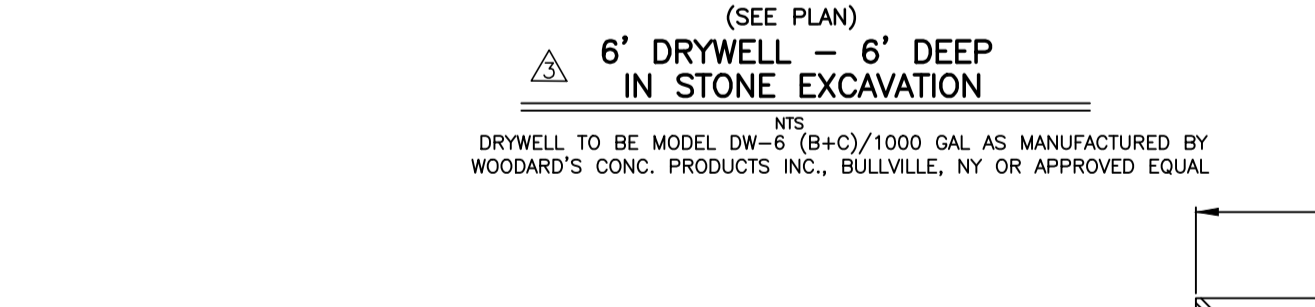
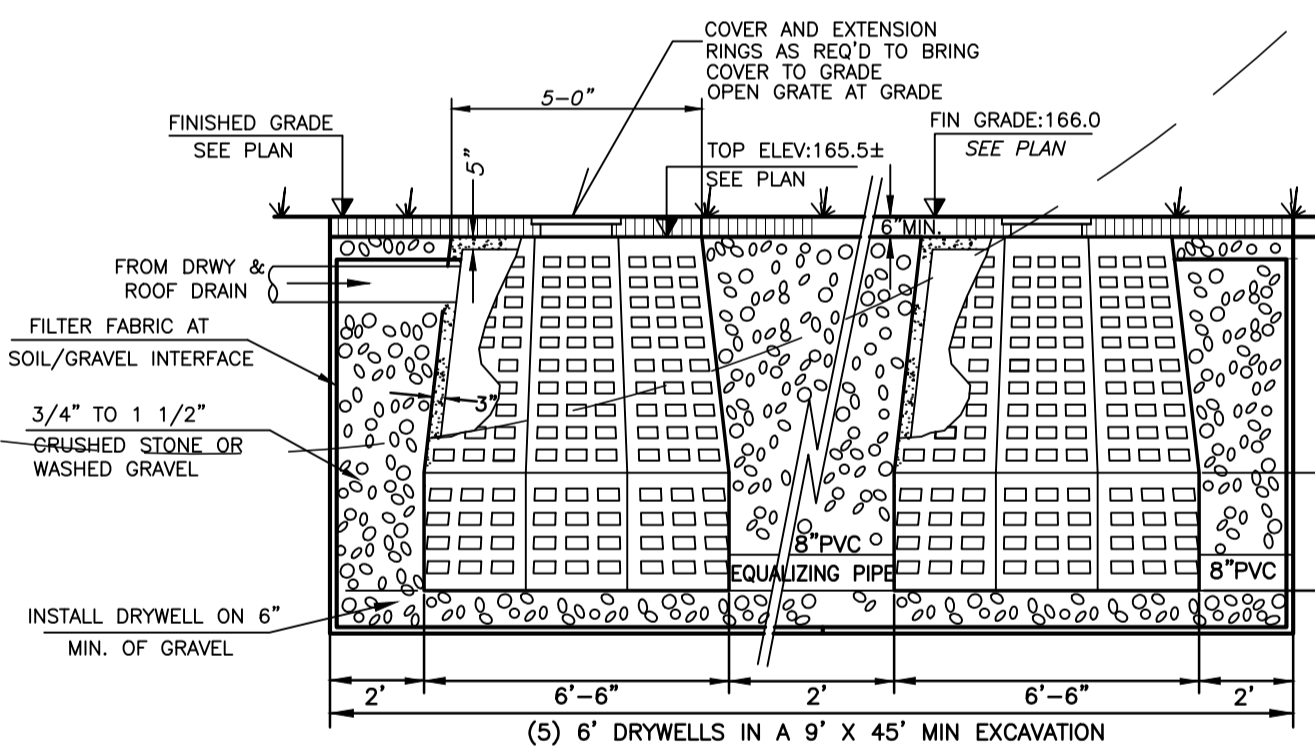
**CONSTRUCTION SPECIFICATIONS**

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDUAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BEAM WITH 2" SLOPE WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



REFERENCE:

1. SUBDIVISION OF PROPERTY FOR PETER T. WORTENDYKE, FILED JAN. 23, 1991 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6528.
2. SURVEY MAP FOR ELIZABETH BROOKFIELD, BY ROBERT R. RAINEFIELD, PLS
3. SUBDIVISION OF PROPERTY OF THE ESTATE OF KATHERINE BRADLEY, FILED JULY 1, 1957 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP # 2511.
4. DEEDS: L.337, P.271; L.678, P.551



ZONE	MINIMUM LOT AREA	MIN. LOT FRONTAGE	FRONT SETBACK	SIDE SETBACK	REAR SETBACK (2 STY. DWLG)	MIN. F.A.R.	MAX. BLDG HEIGHT*	MAX. COVG. (PRIMARY BLDG)	MAX. COVG. ALL BLDGS/STRUCTURES
R-3	20,000 SF	100'	35'	25'	25'	1st/800 SF 2nd/750 SF	35'	12%	25%
REQUIRED	192,730 SF	265.43'	264.9'	38.9' & 42.8'	300'+	1st/5183 SF 2nd/2719 SF	31'	3.5%	9.5% ±

\* MEASURED FROM LOWEST POINT IN AREA EXTENDING 10 FEET FROM EXTERIOR BLDG FACE

**GDANSKI CONSULTANTS, INC.**  
633 WOODMONT LANE  
SLOATSBURG, NY 10974

PAUL GDANSKI, PE  
NYS LIC. # 49676

DATE	REVISIONS
05/07/21	REV DWLG/PAVILION/DRIVEWAY
03/22/21	PROP WELL LOC.

DESIGNED: JAG  
DRAWN: LDW  
CHECKED: JAG  
APPROVED: JAG

**PLOT PLAN FOR**  
**BROOKFIELD NYACK LLC**  
VILLAGE OF UPPER NYACK  
ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**  
LAND PLANNING - LAND SURVEYING  
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901  
PHONE 845-357-0830 FAX 845-357-0756

TAX LOT # 60.09-3-48  
AREA 192,730 SF  
FILE 2503 PP  
SCALE 1" = 30'  
DATE 2/05/21  
JOB NO. 2503