

ZONE	MINIMUM LOT AREA	MIN. LOT FRONTAGE	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	MIN. F.A.R. (2 STY. DWLG)	MAX. BLDG HEIGHT *	MAX. COVG. (PRIMARY BLDG)	MAX. COVG. ALL BLDGS/STRUCTURES
REQUIRED	20,000 SF	100'	35'	25'	25'	1st/800 SF 2nd/750 SF	35'	12%	25%
EXISTING	87,706 SF	214.45'	95.8'	11.4'	225'+	1st/2912 SF 2nd/1622 SF	25'6"±	3.2%	17% ±
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	1st/2912 SF 2nd/2243 SF	26'6"±	NO CHANGE	NO CHANGE

\* MEASURED FROM LOWEST POINT IN AREA EXTENDING 10 FEET FROM EXTERIOR BLDG. FACE, PER ARCHITECT'S CALCULATION

TAX LOT 60.09-3-47.2  
N. OR F. BROOKFIELD NYACK LLC

TAX LOT 60.09-3-47.2  
N. OR F. WORTENDYKE TRUST

TAX LOT 60.13-3-1.1  
AREA = 87,706 SF

TAX LOT 60.13-3-1.2  
AREA = 36,277 SF  
OTHER LANDS OF THARP & BUMGARDNER  
REF. INSTR ID 1996-7880  
VACANT  
THICK BRUSH

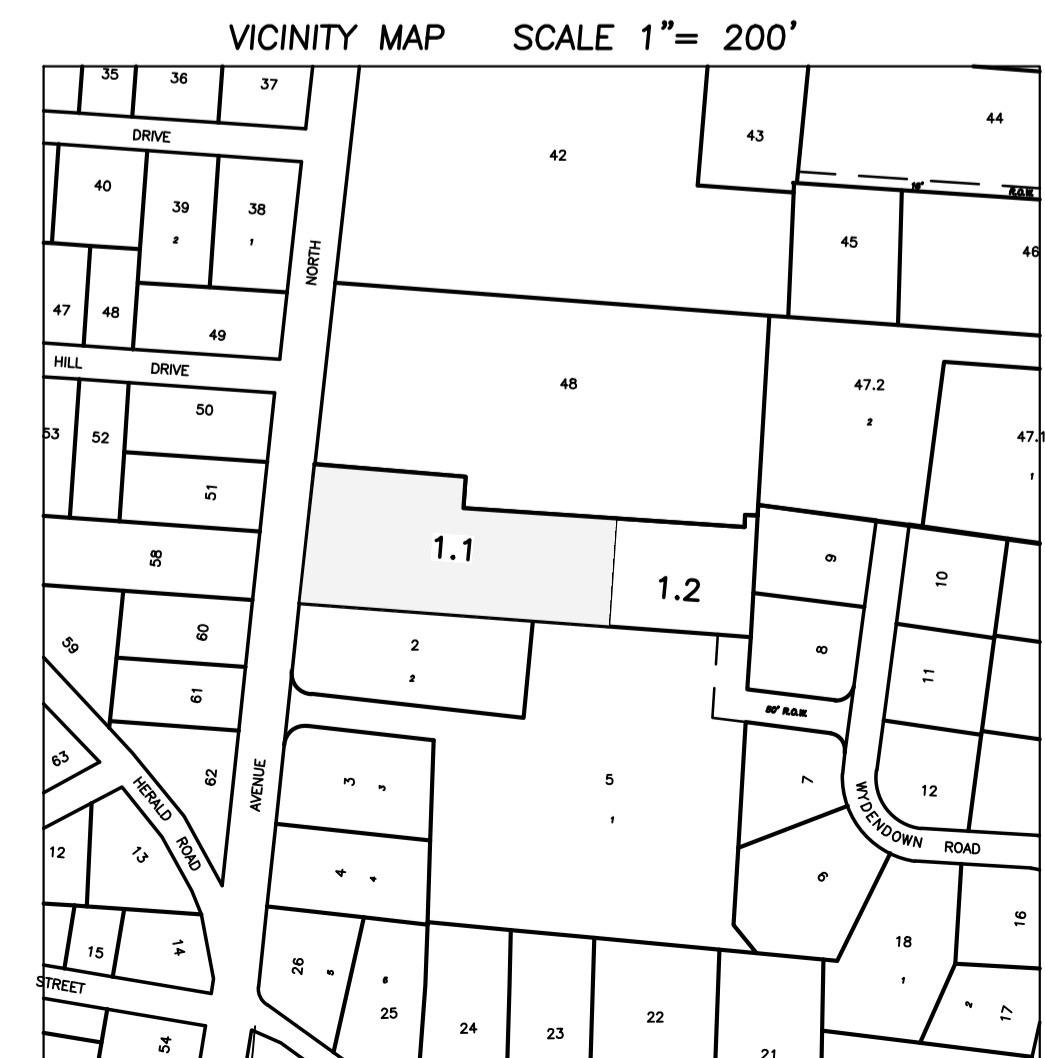
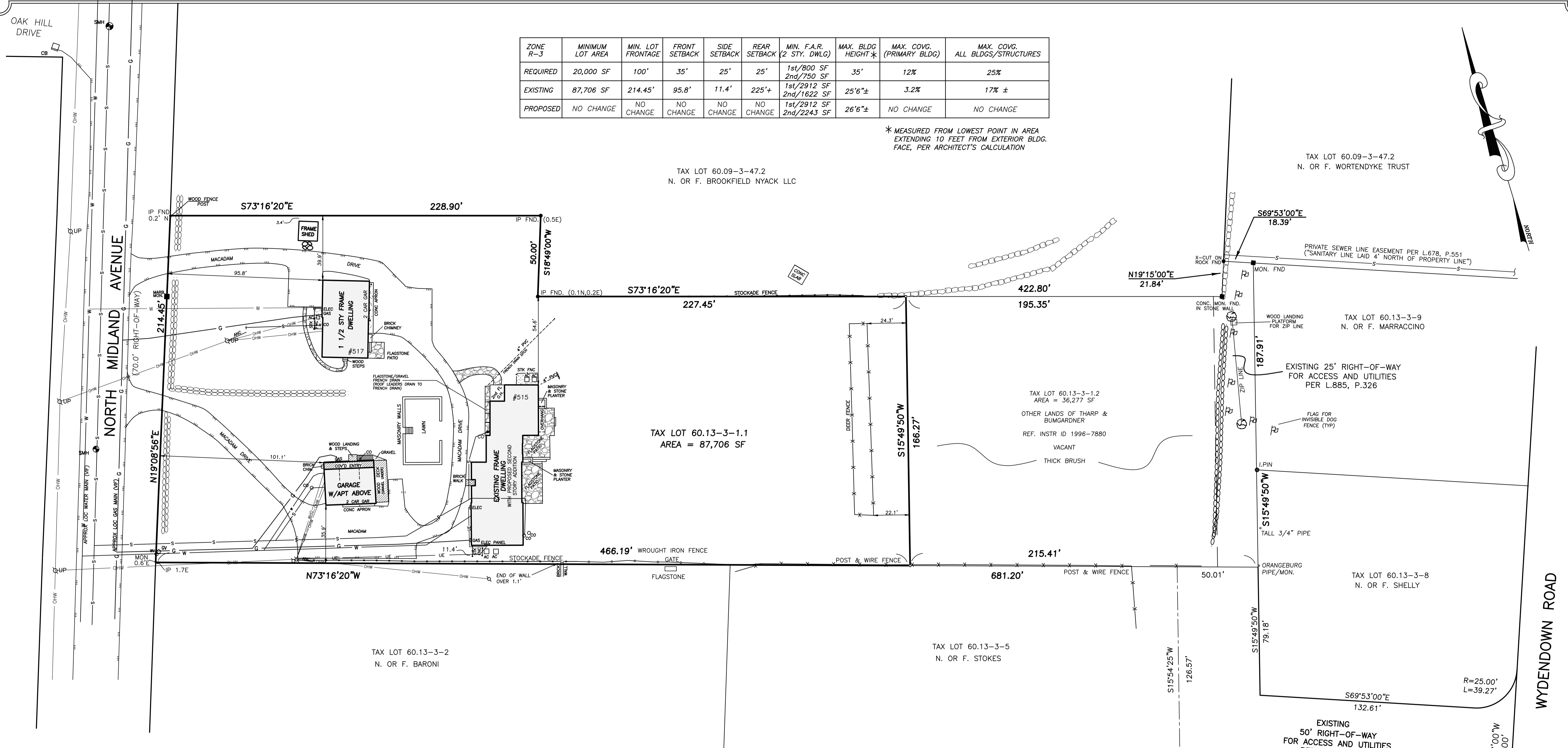
TAX LOT 60.13-3-9  
N. OR F. MARRACCINO

EXISTING 25' RIGHT-OF-WAY FOR ACCESS AND UTILITIES PER L.885, P.326

TAX LOT 60.13-3-8  
N. OR F. SHELLY

TAX LOT 60.13-3-5  
N. OR F. STOKES

TAX LOT 60.13-3-2  
N. OR F. BARONI



NOTE: SITE PLAN IS FOR ADDITION OF SECOND FLOOR TO EXISTING HOUSE. NO MODIFICATION TO THE FOOTPRINT IS INTENDED. NO IMPROVEMENTS TO THE GROUNDS ARE PROPOSED.

- NOTES:
- RECORD OWNER & APPLICANT: LOUIS C. THARP & JAMES B BUMGARDNER  
515 NORTH MIDLAND AVE, UPPER NYACK, NEW YORK 10960
  - ZONE: R-3
  - AREA= 87,706 SF; 2,013 AC
  - EXISTING TAX LOT: 60.13-3-1.1
  - ALL UTILITIES ARE EXISTING. ANY NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC) AFFECTED BY THE DEVELOPMENT OF THIS PARCEL SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
  - THE CORNERS OF THE LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
  - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
  - WATER SUPPLY BY SUEZ NY.
  - SANITARY SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SEPARATION OF TEN FEET.
  - SUBJECT TO VILLAGE AND STATE CONSTRUCTION AND UTILITY STANDARDS, AS APPLICABLE.
  - THE DEVELOPER SHALL CONFORM TO THE "NEW YORK STATE STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL".
  - PROTECTION OF TREES: NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED, EXCEPT WHERE ENGAGED FOR TREE REMOVAL. NO EQUIPMENT SHALL BE OPERATED WITHIN 80% OF CRITICAL ROOT RADIUS OF ANY TREE PROPOSED TO BE PROTECTED IN THIS ORDINANCE NOR SHALL EQUIPMENT BE OPERATED AT ANY TIME IN SUCH MANNER AS TO BREAK, TEAR, BRUISE, DECORTICATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
  - PLANNING BOARD AND ARCHITECTURAL BOARD APPROVAL FOR SITE AND HOUSE PLANS IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AT THE TIME OF SITE PLAN SUBMISSION, A DETAILED TREE LOCATION PLAN SHALL BE PROVIDED IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
  - SITE PLAN SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL, WITHIN WHICH TIME APPLICANT SHALL SECURE A BUILDING PERMIT.
  - EXISTING TREES SHOWN ON THE GRADING PLAN AS TO REMAIN, ARE TO REMAIN UNDISTURBED AND BE PROTECTED WITH A 6 FOOT HIGH WOODEN FENCE WITH POSTS PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FT. MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A 4" CALIPER HARDWOOD SHADE TREE AS DIRECTED BY THE LANDSCAPE ARCHITECT. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND AN AREA OF SUCH TREES HAS BEEN REMOVED, A 2 1/2 - 3" CALIPER HARDWOOD SHADE TREE SHALL BE PLACED FOR EVERY 200 SF OF AREA DISTURBED.
  - ALL TREES SCHEDULED FOR REMOVAL MUST HAVE A VALID VILLAGE OF UPPER NYACK TREE PERMIT PRIOR TO CUTTING OR REMOVAL.

NOTE  
UNDERGROUND UTILITY INFORMATION PROVIDED BY OWNER AND VISUAL OBSERVATIONS.

LEGEND

CB	FI	CATCH BASIN/FIELD INLET
---	---	DRAIN LINE
S	SMH	SANITARY MANHOLE / PIPE
---	---	EDGE OF PAVEMENT
---	---	CONCRETE CURB
G	G	GAS LINE
W	---	WATER LINE
ANC	---	UTILITY POLE W/ ANCHOR
OHW	UE	OVERHEAD/UNDERGROUND ELECTRIC
---	---	CLEANOUT

DATE	REVISIONS
DESIGNED	JAG
DRAWN	LDW
CHECKED	JAG
APPROVED	JAG

**SITE PLAN FOR**

**THARP/BUMGARDNER**

VILLAGE OF UPPER NYACK  
ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**

LAND SURVEYING - LAND PLANNING  
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TAX LOT 60.13-3-1.1  
AREA 87,706 SF  
FILE 22033SITE  
SCALE 1"=30'  
DATE 09/30/20  
JOB NO. 22033