## architecture

February 15, 2024

Upper Nyack Zoning Board of Appeals / Upper Nyack Building Department 328 N. Broadway Upper Nyack, NY 10960

RE: Narrative for Proposed Rear Addition at 312 N. Midland Ave.

The existing lot at the corner of N. Midland Ave and Highmount Ave. contains a singlefamily home on two stories with a finished basement and attic. A detached garage at rear is located at the edge of the property to the southwest.

The scope of construction under this building permit application involves a subordinate two-story addition over a crawlspace, as continuation of the existing dwelling, at rear. This work will allow the owner to add a much needed third bedroom with a shared bath on the second floor, and a much needed powder room and mudroom on the first.

The undersized lot, aside from the disadvantages of being a corner lot and having a 50' lot width instead of the required 90', provides a very small sideyard at the north side that is non-conforming in its present state. The project scope aims to remain within the pre-existing non-conforming envelope and does not exceed the existing non-conforming envelope. Therefore, the bulk table reflects the need to request re-issued variances with respect to existing non-conformities at the reduced allotments for side yard (north) and "front" yard (south), as well as for a marginal increase in FAR.

We believe that the proposed addition has minimal impact on the lot and the community given that the building remains within required and existing non-conforming setbacks of otherwise compliant lots.

Bést Regards, Jack e Urra, Prin

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Α

NAMF

ELEVATION

HALLWAY

003

30 SF / 8'-0" CH

CEILING HT 8'-0" AFF

STRUCTURAL

SPOT ELEVATION

COLUMN GRID LINES

MARKER

ROOM TAG

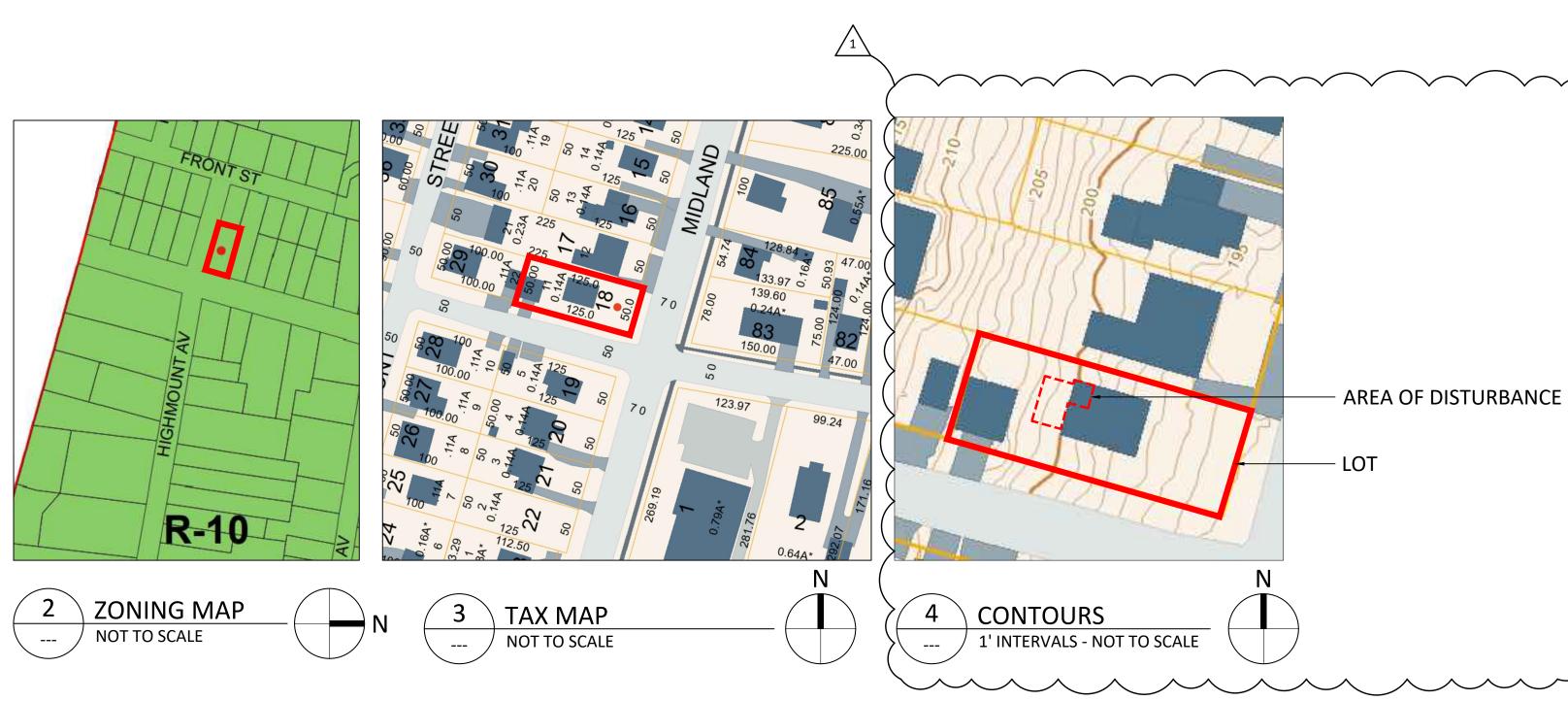
ELEVATION

MARKER

(ABOVE —

FINISHED FLOOR)

(AREA/CLG HT)





 $\mathbf{1}\mathbf{b}$   $\setminus$ 



´1c ∖

**EXISTING FRONT** 

(001)

(D01)

WINDOW TAG

SMOKE DETECTOR

EXIT LIGHT WITH

DIRECTIONAL ARROWS

DOOR TAG

1 KEYNOTE

A PARTITION TYPE



1e VIEW WEST

----

EXISTING NORTH FACADE

INDEX OF SYMBOLS

MARK

C<( AX.XX )>A

( X `

A-XX

1

AA A-XX SIM

1d`

----

A-XX

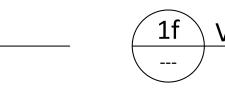
INTERIOR ELEVATION

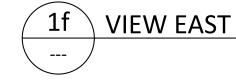
DETAIL MARK

ELEVATION MARK

SECTION MARK











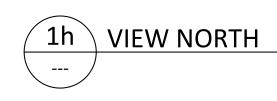
**EXISTING SOUTH FACADE** 







<u>1g VIEW</u> SOUTH



# 312 N. MIDLAND AVE **REAR ADDITION**

## **PROJECT IDENTIFICATION**

PROJECT ADDRESS: BLOCK & LOT: USE: OCCUPANCY: ZONING DISTRICT: YEAR BUILT:

#### SCHOOL: FIRE: WATER: SEWER: LIGHTING:

312 N. MIDLAND AVE., NYACK, NY 10960 60.17-1-18 SINGLE FAMILY DETACHED RESIDENTIAL RESIDENTIAL R-10 1874 NYACK SCHOOL DISTRICT NYACK JOINT FIRE DISTRICT

CLARKSTOWN SEWER DISTRICT

TOWN OF CLARKSTOWN

## **PROJECT SCOPE**

• TWO-STORY 618 SF, AND LESS THAN 50%, CONDITIONED SPACE

NYACK WATER

- ADDITION TO EXISTING SINGLE-FAMILY DWELLING • POWDER ROOM, DINING & MUDROOM AREA AT FIRST FLOOR
- JACK AND JILL BATHROOM AND BEDROOM AT SECOND FLOOR
- NEW STAIR ALTERNATING TREAD ACCESS TO EXISTING FINISHED ATTIC NEW EXTERIOR STAIR AT REAR. CONNECTED VERANDA 92 SF
- NEW WINDOWS, RELOCATED EXTERIOR DOOR

ADDITION IS WITHIN BOUNDARIES OF REQUIRED SETBACKS. EXISTING NON-CONFORMING SETBACKS ARE NOT MADE WORSE BY THIS ADDITION. NO CHANGE IN OCCUPANCY OR USE.

# **INDEX OF DRAWINGS**

AGE	SHEET #	SHEET TITLE	REV #	ISSUE
	T-001	TITLE SHEET	01	FOR APPROVALS
	G-001	CODE & GENERAL NOTES	>01	FOR APPROVALS
	A-001	SITE PLAN		FOR APPROVALS
	A-100	PLANS	00 )	FOR APPROVALS
	A-200	ELEVATIONS	(01)	FOR APPROVALS
	A-300	SECTIONS	-	NOT YET ISSUED
	S-100	STRUCTURAL FRAMING	-	NOT YET ISSUED

## **CODE REVIEW**

2020 NYS RESIDENTIAL CODE & APPENDIX J (AJ)

## AJ104.1 Additions, Alterations, or Renovations

Additions, alterations, or renovations to an existing building, building system or portion thereof shall conform to the provisions of Section N1107 of this code as they relate to new construction without requiring the unaltered portion(s) of the existing building or building system to comply with this chapter. An addition shall be deemed to comply with this chapter if the addition alone complies or if the existing building and addition comply with this chapter as a single building. Additions, alterations, or renovations shall not create an unsafe or hazardous condition or overload existing building systems.

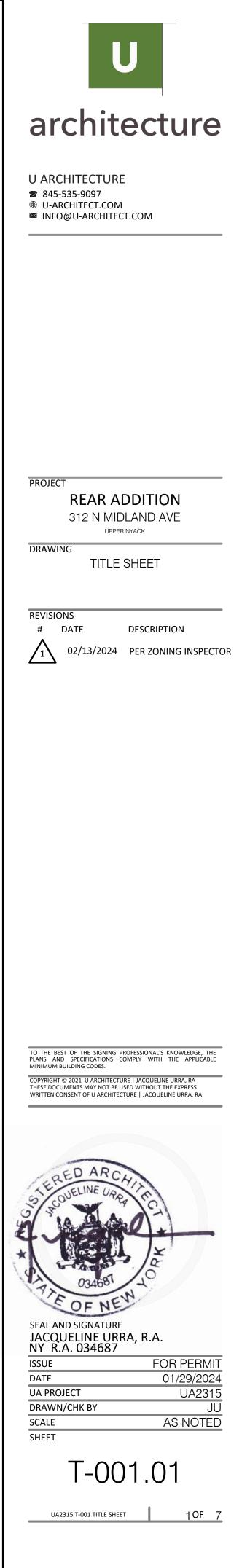
#### AJ301.5 Alterations—Level 2

Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment. Level 2 alterations shall comply with the provisions of Section AJ501 for Level 1 alterations as well as the provisions of Section AJ601.

TOTAL HABITABLE AREA OF PROPOSED DWELLING	2824 SF
TOTAL PROPOSED HABITABLE ADDITION	618 SF
AREA OF ADDITIONAL FLOOR 2	309 SF
AREA OF ADDITIONAL FLOOR 1	309 SF
TOTAL HABITABLE AREA OF EXISTING DWELLING	2206 SF
AREA OF EXISTING DWELLING FLOOR 2	616 SF
AREA OF EXISTING DWELLING FLOOR 1	760 SF
AREA OF EXISTING DWELLING BASEMENT	584 SF
AREA OF EXISTING DWELLING ATTIC	246 SF
TOTAL ADDITION AS % OF EXISTING DWELLING	28%
AIG01 0 Structural Now structural members includin	a connections

AJ601.9 Structural - New structural members including connections and anchorage shall comply with this code. THE STRENGTH & STABILITY OF THE BUILDING SHALL NOT BE AFFECTED.

\*\*\* CODE ANALYSIS CONTINUED ON G-001 \*\*\*



## **CODE REVIEW**

#### ZONING CODE - VILLAGE OF UPPER NYACK

 $\checkmark \checkmark \checkmark \lor \checkmark \lor$ BUILDING: A Structure wholly or partially enclosed within exterior walls, or within exterior and party walls, and a roof, that is intended for the shelter, housing, or enclosure of people, animals, or property.

2. SECTION 2: DEFINITIONS 13 Adopted: 2-10-2022 (LL #5 of 2022)

BUILDING, HEIGHT OF: The vertical distance measured from the Grade Plane of a Building to the highest point of the roof for a flat roof or mansard roof, and to the mean height between eaves and ridge for gable, hip and gambrel roofs of the Building.

COVERAGE, BUILDING: The total horizontal area of all Buildings on the Lot at the ground level, exclusive of Patios, Decks, terraces and steps

COVERAGE, DEVELOPMENT: The total horizontal area of all Buildings, Structures and surfaces other than grass, vegetative ground cover, landscaped areas or other natural areas on a Lot.

DECK: An uncovered platform Structure raised above the ground that has openings that allow water to pass through the Structure.

FENCE, DEER: A small opening (typically 1 to 1.5 inches) mesh Fence and its supporting posts.

FLOOR AREA: The sum of the gross horizontal area of each floor of a Building from the exterior face of exterior walls or from the center line of a wall separating 2 buildings, but excluding any space where no portion of the floor-to-ceiling height, or, in the case of a Basement, the distance between the Basement floor and the underside of the floor on the level above, is greater than 7 feet. This definition shall include garages, sunrooms and any other area covered by a roof. Mezzanines, lofts and attic spaces where any portion of such spaces is greater than 7 feet in height shall be included in the calculation of Floor Area. Amended LL 1 of 2023 (3-6-2023)

FLOOR AREA RATIO (F.A.R.): The total Floor Area in square feet of all Buildings on the Lot divided by the Net Lot Area in square feet.

GRADE, FINISHED: The finished grade of any point along the wall of a building or Structure shall be the elevation of the completed surfaces of yards, lawns, landscaped areas, walks, roads, or paved surfaces adjoining the wall at that point.

GRADE PLANE: A horizontal reference plane that is the average of the maximum elevation along all exterior walls of a Building and the minimum elevations along all exterior walls or within 6 feet of all exterior walls of a Building. Amended LL 1 of 2023 (3-6-2023)

LOT, CORNER: A Lot located at the junction of and fronting on 2 or more intersecting Streets. A Corner Lot shall be considered to have 2 Front Lot Lines. The Lot Line opposite the Front Lot Line toward which the main entrance to the Principal Building on the Lot is situated shall be deemed a Rear Lot Line. The remaining Lot Line, if any, shall be deemed to be a Side Lot Line.

NONCONFORMING LOT: A Lot lawfully existing at the effective date of this Zoning Law or an amendment thereto which conformed with the applicable Lot Area and Frontage Requirements at the time the Lot was created but which does not conform to the Net Lot Area or Frontage requirements applicable to such Lot as set forth in this Zoning Law as amended.

STRUCTURE: Anything constructed or erected on or in the ground or attached to something having a location on or in the ground. Structures shall include, but are not limited to, Buildings, Parking Areas, driveways, car ports, tennis courts, swimming pools, sidewalks, retaining walls, fountains, Fences, gazebos, pergolas, Sheds, Decks, Patios, and any like improvement. The definition of a Structure shall include Buildings; however, all Structures are not necessarily defined as Buildings. Heavy Equipment is excluded from the definition of Structure.

7. SECTION 7: NONCONFORMING USES AND STRUCTURES.

7.2. Nonconforming Buildings and Structures. A Building or Structure that the property owner can demonstrate by credible evidence qualifies as a Nonconforming Building or Structure as defined in Section 2.1.80 of this Zoning Law may continue subject to the terms and conditions of this Section 7. No permit shall be issued that will result in the increase of any such dimensional nonconformity, but any Building or Structure or portion thereof may be Altered to decrease its dimensional non conformity, or may be altered in a manner that is otherwise permitted by law that does not affect such dimensional non-conformity.

7.3. Nonconforming Lots. A Lot that the property owner can demonstrate by credible evidence qualifies as a Nonconforming Lot as defined in Section 2.1.81 of this Zoning Law may be improved with a Building or Structure provided that such Building or Structure complies with all other Bulk requirements of this Zoning Law and all requirements of the Uniform Code.

#### 2020 NYS RESIDENTIAL CODE APPENDIX J (AJ)

AJ501.4.1 Interior Finishes - R302.9.1 Flame Spread Index Wall and ceiling finishes shall have a flame spread index of not greater than 200.

AJ501.4.3 Replacement Door and Window Dimensions Minor reductions in the clear opening dimensions of replacement doors and windows that result from the use of different materials shall be allowed.

#### AJ301.7 Additions

Provisions for additions shall apply where work is classified as an addition as defined in Section AJ201. Additions to existing buildings shall comply with the provisions of Section AJ801.

#### AJ801.2 Compliance

where required by this section, unaltered portions of the existing building shall not be required to comply with this code. AJ801.3.1 Smoke Alarms When additions requiring a permit occur, the individual dwelling

Additions shall comply with the provisions of this code. Except

unit shall be provided with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected in accordance with Section R314.4.

#### AJ801.3.2 Carbon Monoxide Alarms

Where an addition is made to a dwelling unit, the addition shall be provided with carbon monoxide alarms that comply with the requirements for new construction.

#### AJ801.3.2.1.1 Power Supply and Interconnection

Carbon monoxide alarms powered by a 10-year battery shall be allowed and interconnection of alarms shall not be required in: Existing portions of a dwelling unit that are provided with additional carbon monoxide alarms as required by Section AJ801.3.2.1, unless otherwise required by the Uniform Code. Buildings without commercial power.

A SMOKE ALARM / CARBON MONOXIDE INTERCONNECTED SYSTEM IS PROPOSED

#### AJ501.10 Electrical

Any alteration to an existing electrical system shall be made in conformity with the provisions of Chapter E34 through Chapter E43 of this code.

E3902.1, E3902.6, E3902.7, E3902.8, E3902.10 Ground-Fault **Receptacles Required** 

E3902.16 Arc-Fault Circuit-Interrupter Protection Required Branch circuits installed in kitchens, family rooms, hallways, and similar areas shall be protected per methods listed.

N1104.1 Lighting Equipment (Mandatory) Not less than 90 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

#### AJ501.9.2 Water Closet Replacement - P2903.2 Max Flow &

Water Consumption MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES

FIXTURE	FLOW RATE
Lavatory faucet	1.5 gpm at 60 psi
Shower head	2.0 gpm at 80 psi
Sink faucet	2.2 gpm at 60 psi
Water closet	1.28 gallons per flushing cycle

The flush volume for a dual-flush water closet is defined as the composite, average flush volume of two reduced flushes and one full flush.

AJ601.9 Structural - New structural members including connections and anchorage shall comply with this code. THE STRENGTH & STABILITY OF THE BUILDING SHALL NOT BE AFFECTED.

**2020 NYS RESIDENTIAL CODE** 

#### Chapter 3 - Building Planning R302.9.1 Flame Spread Index

Wall and ceiling finishes shall have a flame spread index of not greater than 200.

Exception: Flame spread index requirements for finishes shall not apply to trim defined as picture molds, chair rails, baseboards and handrails; to doors and windows or their frames; or to materials that are less than 1/28 inch (0.91 mm) in thickness cemented to the surface of walls or ceilings if these materials exhibit flame spread index values not greater than those of paper of this thickness cemented to a noncombustible backing.

#### R302.9.2 Smoke-Developed Index

Wall and ceiling finishes shall have a smoke-developed index of not greater than 450.

#### R302.9.3 Testing

Tests shall be made in accordance with ASTM E84 or UL 723.

#### R302.11 Fireblocking

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-framed construction in the following locations:

1. In concealed spaces of stud walls and partitions, including

furred spaces and parallel rows of studs or staggered studs, as follows:

- 1.1. Vertically at the ceiling and floor levels. 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
- 2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
- In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to
- meet the ASTM E136 requirements. 5. For the fireblocking of chimneys and fireplaces, see
- Section R1003.19. 6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

### DECKS AND PORCHES

Emergency escape and rescue openings installed under decks and porches shall be fully openable and provide a path not less than 36 inches (914 mm) in height to a yard or court.

#### **R311.5 LANDING, DECK, BALCONY AND STAIR CONSTRUCTION** AND ATTACHMENT

Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. attachment shall not be accomplished by use of toenails or nails subject to withdrawal.

#### Chapter 11 [RE] Energy Efficiency N1101.1 Scope

This chapter regulates the energy efficiency for the design and construction of buildings regulated by this code. Exceptions:

Any of the following, provided that the energy use of the building is not increased:

- 1. Storm windows installed over existing fenestration. 2. Glass only replacements in an existing sash and frame. 3. Existing ceiling, wall or floor cavities exposed during
- construction provided that these cavities are filled with insulation.
- not exposed
- reroofing shall be insulated either above or below the sheathing.

N1102.2.2 (R402.2.2) Ceilings Without Attic Spaces Where Section N1102.1.2 requires insulation R-values greater than R-30 in the ceiling and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R-30. Insulation shall extend over the top of the wall plate to the outer edge of such plate and shall not be compressed. This reduction of insulation from the requirements of Section N1102.1.2 shall be limited to 500 square feet (46 m2) or 20 percent of the total insulated ceiling area, whichever is less. This reduction shall not apply to the U-factor alternative approach in Section N1102.1.4 and the Total UA alternative in Section N1102.1.5.

#### Section N1108 (R502) Additions N1108.1 (R502.1) General

Additions to an existing building, building system or portion thereof shall conform to the provisions of this chapter as they relate to new construction without requiring the unaltered portion of the existing building or building system to comply with this chapter. Additions shall not create an unsafe or hazardous condition or overload existing building systems. An addition shall be deemed to comply with this chapter where the addition alone complies, where the existing building and addition comply with this chapter as a single building, or where the building with the addition does not use more energy than the existing building. Additions shall be in accordance with Section N1108.1.1 or N1108.1.2.

#### Chapter 41 Appliance Installation E4101.5 Disconnecting Means TABLE E4101.5 DISCONNECTING MEANS [422.31(A), (B), and (C); 422.34; 422.35; 424.19; 424.20; and 440.14]

#### Air-conditioning condensing units and heat pump units. A readily accessible disconnect within sight from unit as the only allowable means.

Appliances and fixed heating equipment with unit switches having a marked off position. Unit switch where an additional individual switch or circuit breaker serves as the other required disconnecting means.

Thermostatically controlled fixed heating equipment. Thermostats with a marked off position that directly open all ungrounded conductors, which when manually placed in the off position are designed so that the circuit cannot be energized automatically and that are located within sight of the equipment controlled.

UNIT #	LOCATION	R.O. DIMENSIONS	ITEM DESCRIPTION	FINISHES	HARDWARE	ENERGY PERFORMANCE	
W1	BEDROOM, BATHROOM, DINING	2'-10" X 5'-0" MATCH EXISTING	DOUBLE HUNG	PERMASHIELD EXTERIOR, WHITE. WOOD INTERIOR, WHITE.	MATCH EXISTING	0.3 U-FACTOR 0.28 SHGC	AN OF PR
OOR SC	HEDULE				1		
D01	EXTERIOR VIA NEW DINING RM	3'-0" X 6'-8"	SWING		MATCH EXISTING		E
D02	NEW BEDROOM	2'-10" X 6'-8"	SWING	PANELED	MATCH EXISTING		
D03	NEW JACK & JILL BATHROOM	2'-6" X 6'-8"	SWING	PANELED	MATCH EXISTING		
D04	NEW CLOSET IN EXISTING BEDROOM	2'-0" X 6'-8"	SWING	PANELED	MATCH EXISTING		

- R310.2.4 EMERGENCY ESCAPE AND RESCUE OPENINGS UNDER
- 4. Construction where the existing roof, wall or floor cavity is
- Reroofing for roofs where neither the sheathing nor the insulation is exposed; roofs without insulation in the cavity and where the sheathing or insulation is exposed during

  - NOTES NDERSEN 400 SERIES AS BASIS F DESIGN. FACTORY MULLED. ROVIDE FULL DIVIDED LIGHTS, INSECT SCREENS. XISTING TO BE RELOCATED MATCH EXISTING MATCH EXISTING
  - MATCH EXISTING

## **GENERAL NOTES**

- 1. TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE NYS BUILDING CODE.
- 2. ALL WORK SHALL BE PERFORMED BY LICENSED GENERAL CONTRACTOR, AS WELL AS LICENSED ELECTRICAL AND PLUMBING SUBCONTRACTORS.
- DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT OF RECORD.
- THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL OBTAIN ALL 4. PERMITS TO PERFORM THE WORK FROM APPLICABLE AGENCIES PRIOR TO THE START OF WORK. GENERAL CONTRACTOR, AS WELL AS ELECTRICAL AND PLUMBING SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING INSPECTIONS AND SIGNOFFS IN THEIR RESPECTIVE DISCIPLINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING ALL WORK IN ACCORDANCE TO BUILDING RULES AND ALTERATION REQUIREMENTS, INCLUDING COORDINATION OF ACCESS WITH THE BUILDING SUPERINTENDENT OR OWNER AS APPLICABLE.
- CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING OR CONSTRUCTION SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF RECORD. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS AND DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS: USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT OF RECORD PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
- ASPECTS OF THE EXISTING CONSTRUCTION MAY DEVIATE FROM THESE 8 DRAWINGS. BIDDING CONTRACTORS ARE REQUIRED TO VISIT THE PROJECT SITE TO VERIFY PERTINENT INFORMATION, SINCE NO INCREASE IN THE BID AMOUNT OR UNIT PRICES WILL BE APPROVED ON THE BASIS OF ACTUAL DIMENSIONS, CONDITIONS, ETC. BEING DIFFERENT FROM WHAT IS SHOWN IN THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL PROTECT ADJACENT ROOMS AND PROPERTIES FROM 9. DAMAGE. IF DAMAGE OCCURS DURING CONSTRUCTION THE CONTRACTOR SHALL REPAIR OR REPLACE SAID DAMAGED PROPERTY AT NO COST TO THE OWNER.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE BUILDING AGAINST UNAUTHORIZED ENTRY THROUGH THE SIDEWALK VAULTS, TEMPORARY BARRICADES, SECURITY PERSONNEL, OR OTHER MEANS SHALL BE UTILIZED AS NECESSARY TO PREVENT UNAUTHORIZED ENTRY
- 11. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC AND PROPERTY FROM THE WORK, AND SHALL TAKE ALL NECESSARY MEASURES AND PRECAUTIONS TO ACHIEVE ADEQUATE SAFETY AND PROTECTION, IF DAMAGE TO THE OWNER'S PROPERTY OCCURS, IT SHALL BE RECTIFIED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S COST.
- 12. CONTRACTOR TO PROVIDE TEMPORARY MEASURES AS REQUIRED TO PROTECT EXISTING CONSTRUCTION AND MAINTAIN STRUCTURAL STABILITY. THESE MEASURES INCLUDE BUT ARE NOT LIMITED TO TEMPORARY PROTECTION, BARRICADES, SHORING, BRACING, TEMPORARY ENTRY BRIDGES TO BUILDING ACCESS POINTS, AND PROTECTION FROM DAMAGE TO FINISHED AREAS FROM UNCONTROLLED WATER PENETRATION.
- 13. THE WORK SHALL BE PROPERLY PROTECTED FROM ADVERSE WEATHER AND TEMPERATURES.
- 14. THE STRUCTURE IS DESIGNED TO BE STRUCTURALLY SOUND WHEN COMPLETED. PRIOR TO COMPLETION, THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND TEMPORARY BRACING, INCLUDING, BUT NOT LIMITED TO, MASONRY WALLS. WHEREVER THE CONTRACTOR IS UNSURE OF THESE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A NEW YORK STATE LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE.
- 15. FOR BATHROOM RENOVATIONS/DEMOLITIONS INVOLVING PLUMBING, THE CONTRACTOR MUST INSTALL NEW RETURN VALVES, INSTALL NEW PIPING BACK TO THE RISERS AND INSTALL WATERPROOFING. THE BUILDING INSPECTOR MUST INSPECT BEFORE ANY WALLS/CEILING ARE CLOSED. ELECTRICAL WORK REQUIRES INSPECTION BY A CERTIFIED ELECTRICAL INSPECTOR BEFORE ANY WALLS/CEILINGS ARE CLOSED.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL REFUSE AND BULK GARBAGE RESULTING FROM THIS ALTERATION FROM THE BUILDING AND THE PROPERTY THE SAME DAY. IT SHALL NOT BE LEFT IN THE BASEMENT OR THE CURB. MASONITE PROTECTION BOARD TO PROTECT PUBLIC AREAS MUST BE INSTALLED AND REMOVED DAILY.
- 17. CONTRACTOR SHALL PROVIDE THE OWNER AND BUILDING DEPARTMENT WITH INSURANCE CERTIFICATES PRIOR TO COMMENCEMENT OF WORK.

- 18. IF ASBESTOS IS UNCOVERED DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE FOR REMOVAL AND COI AGENCY REGULATIONS.
- 19. IF LEAD IS UNCOVERED DURING CONSTRUCTION, THE SHALL PROVIDE FOR REMOVAL AND CONTAINMENT A **REGULATIONS.**
- 20. ROUTING INTO THE EXTERIOR BUILDING WALLS, DEMIS FLOOR SLABS TO RUN ELECTRICAL CONDUIT OR FOR AI NOT PERMITTED.
- 21. ONLY WATER-BASED PRODUCTS SHALL BE USED WHEN

## **DEMOLITION NOTES**

- 1. THE CONTRACTOR SHALL PERFORM ALL OPERATIONS REMOVAL INDICATED ON THE DRAWINGS AND AS MA WORK. ALL WORK SHALL BE DONE CAREFULLY AND NE MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN PROTECTED FROM DAMAGE. THE CONTRACTOR SHAI RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPA ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON BE REMOVED PROMPTLY BY THE CONTRACTOR AS THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETIC
- DISPOSITION OF DEMOLISHED MATERIALS SHALL COM 4. **REGULATIONS AND DISPOSAL REGULATIONS OF THE A** JURISDICTION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLE ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT TH INTEGRITY OF THE EXISTING STRUCTURE.
- 6. THE CONTRACTOR SHALL RETAIN A NEW YORK STATE DESIGN AND INSPECT THE TEMPORARY BRACING AND STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATION 7. SHALL BE PROTECTED.
- DISCONNECT, REMOVE OR RELOCATE ALL WIRING , PLU MECHANICAL EQUIPMENT AFFECTED BY DEMOLITION. AND/OR LINES SHALL BE CUT TO A POINT OF CONCEAL BELOW FINISH SURFACES, AND SHALL BE PROPERLY CA
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINT BARRIERS AND GUARDS, AND ALL TEMPORARY SHORII REQUIRED BY DEPARTMENT OF BUILDINGS RULES AND
- DEMOLITION WORK MUST NOT IMPACT THE REQUIRE COLUMNS, BEAMS, CHASES, OR OTHER RATED ELEME DISTURBED DURING THE DEMOLITION PHASE, IT MUST ORIGINAL CONDITION AND/OR EQUAL FIRE RATING.

## PLUMBING

- THE PLUMBING CONTRACTOR SHOULD PROCURE ALL BEFORE THE WORK IS PERFORMED. A LICENSED PLUM WORK AND HIS/HER LICENSE MUST BE ATTACHED TO T
- 2. IT SHOULD BE NOTED THAT EXTREME CARE MUST BE EXTENDING AND/OR CUTTING ANY OF THE EXISTING CONNECTIONS SO THAT THE EXISTING SYSTEM IS NOT WHEN ALTERING EXISTING LINES.
- NEW HOT AND COLD WATER BRANCH PIPES MUST BE COPPER OR RED BRASS. INSULATED AND RUN ABOVE WHEREVER WET WALLS OR FIRE RATED SHAFTS ARE C CONSTRUCTION. THEY MUST BE PATCHED BY MATERIA RATING ON THE BUILDING'S ORIGINAL CONSTRUCTION
- 4. ALL OTHER PLUMBING FIXTURES WILL BE CONNECTED ROUGHING, UNLESS OTHERWISE NOTED.
- WHERE APPLICABLE, THE ALTERATION AGREEMENT AI MAY REQUIRE THAT THE EXPOSED WATER/WASTE AND PIPING BE REPLACED WITH NEW COPPER PIPING IN AC BUILDING STANDARDS; SPEEDY CONNECTIONS ARE NO ACCESSIBLE 600 PSI BALL SHUT-OFF VALVE AND CHECK INSTALLED ON EACH BRANCH LINE NEAR THE RISERS. HAMMER ARRESTER AFTER THE LAST CONNECTED FIXT LINE

ENERGY CODE TABULAR ANALYSIS

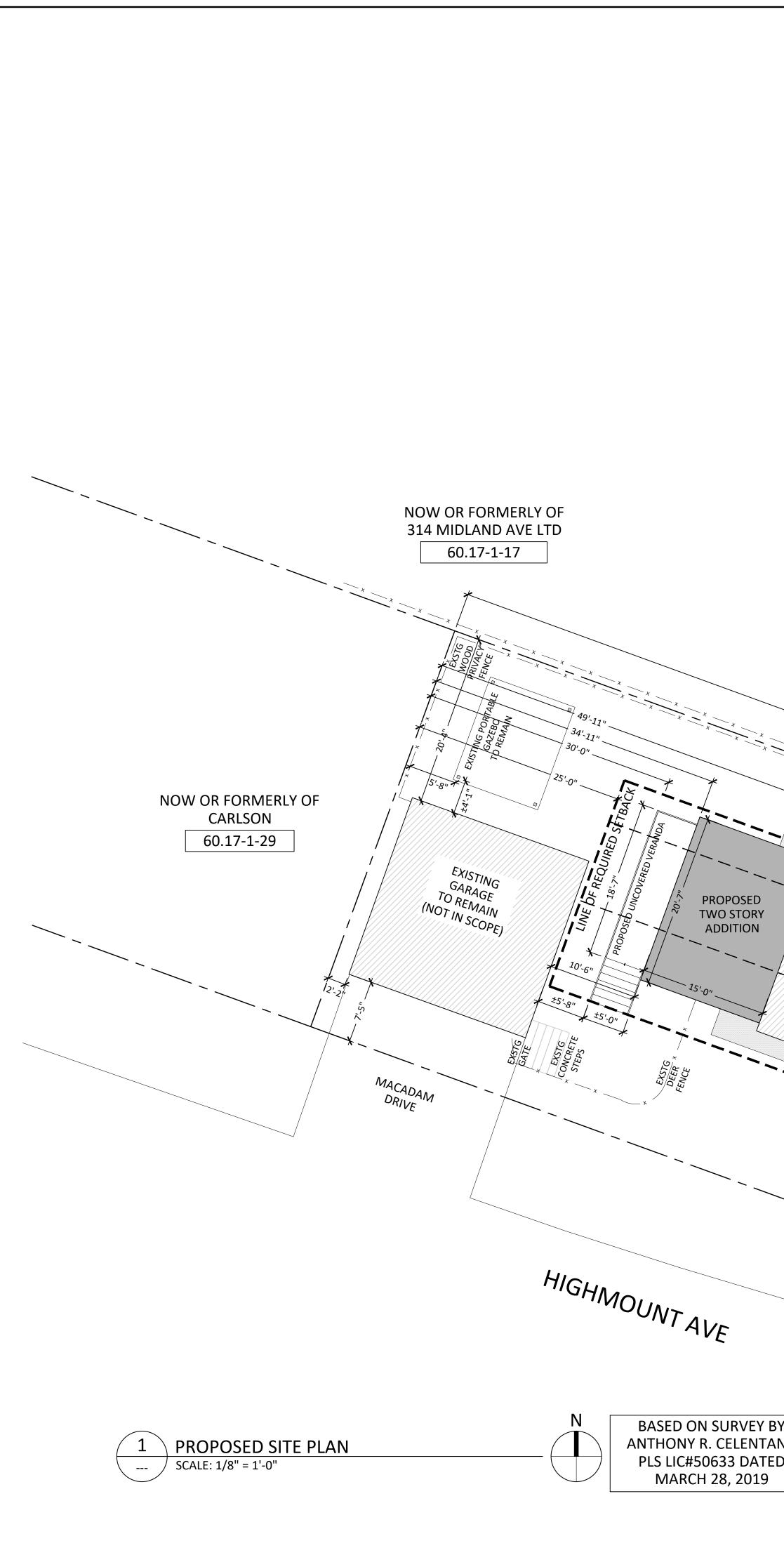
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE - RESIDENTIAL ENERGY EFFICIENCY **CLIMATE ZONE 5A** 

NYSECC CITATION	ITEM DESCRIPTION	CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE	DC
	CEILING AT NEW ADDITION	R-49 OR R-30 PER R402.2.2	R-30	В
	WOOD FRAME WALL	R-20 OR R-13+5	R-20	В
R402 BUILDING THERMAL ENVELOPE	FLOOR ABOVE CRAWLSPACE	R-30 OR FILL FRAMING CAVITY	R-30	В
	MASS WALL AT FOUNDATION	R-13/R-17	R-17	В
	NEW WINDOWS PER WINDOW SCHEDULE	0.30 U-FACTOR NR SHGC	0.30 U-FACTOR NR SHGC	W
R403 BUILDING HVAC	MULTI-SPLIT AC SYSTEM	PROGRAMMABLE THERMOSTAT	PROGRAMMABLE THERMOSTAT PER UNIT	A
R404 BUILDING LIGHTING	NEW, REPLACEMENT & RELOCATION OF LIGHTING FIXTURES	NOT LESS THAN 90% OF NEW FIXTURES TO CONTAIN ONLY HIGH-EFFICACY LAMPS	ALL NEW INTERIOR FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS	A

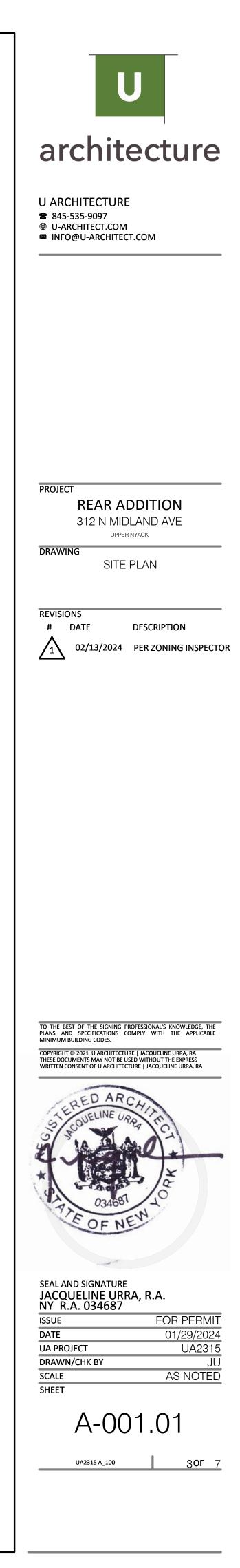
, THE GENERAL ONTAINMENT AS PER	6. PLUMBING CONTRACTOR TO INSPECT ALL EXISTING PIPE & FITTINGS & REPORT FINDINGS TO ARCHITECT OF RECORD IF REMEDIATION IS REQUIRED.	
GENERAL CONTRACTOR AS PER AGENCY	7. CHECK VALVES/BACKFLOW PREVENTERS AND AIR GAP ARRESTORS SHALL BE INSTALLED ON EVERY SINGLE LEVER FAUCET, DISH WASHER, AND SINGLE LEVER SHOWER BODY. SHOWERS AND TUB SHOWER BODIES SHALL HAVE ANTI SCALE PREVENTORS AS PER THE BUILDING RULES. ALL BATHROOM SINKS AND	U
ISING WALLS, AND NY OTHER REASON IS	TUBS SHALL HAVE OVERFLOW DRAINS BUILT IN.	architecture
N REFINISHING FLOORS.	ELECTRICAL	
OF DEMOLITION AND	1. THE NEW WIRING FOR THE NEW ELECTRICAL FIXTURES WILL REQUIRE THAT AN ELECTRICAL APPLICATION IS FILED BY A LICENSED ELECTRICAL CONTRACTOR; A LICENSED ELECTRICIAN MUST PERFORM ALL ELECTRICAL WORK.	U ARCHITECTURE 2 845-535-9097 U-ARCHITECT.COM INFO@U-ARCHITECT.COM
Y BE REQUIRED BY THE EATLY, IN A SYSTEMATIC	2. IF THE PROPOSED ADDITIONAL ELECTRICAL FIXTURES REQUIRE NEW CIRCUITS, THEY MUST BE PROVIDED SO THAT THERE IS NO OVERLOAD TO THE MAIN CIRCUIT OF THIS APARTMENT AND/OR THAT OF THE BUILDING.	
N SHALL BE FULLY LL ASSUME FULL AIRS WITHOUT	3. NEW FIXTURES, SWITCHES AND POWER OUTLETS WILL BE INSTALLED. NOTE THAT NO CHOPPING OF THE SLAB OR DEMISING WALLS WILL BE PERMITTED; NEW WIRING MAY ONLY BE CONCEALED WITHIN THE DEPTH OF THE EXISTING PLASTER OR BEHIND MOLDINGS.	
THE SITE. DEBRIS SHALL E JOB PROCEEDS. THE ON OF DEMOLITION.	4. THE WORK MAY INCLUDE NEW CEILING FIXTURES. IT SHOULD BE NOTED THAT CHOPPING OR CHASING OF OVERHEAD SLABS IS NOT PERMITTED; DROPPED	
APLY WITH EPA AGENCIES HAVING	CEILING MAY BE REQUIRED. ALL DROPPED CEILINGS MUST INCLUDE HANGERS AND BLACK IRON.	
ESS PORTIONS AFFECTED Y SHORING OR NEW HE STABILITY AND	CARBON MONOXIDE DETECTOR	
LICENSED ENGINEER TO STABILITY OF THE	1. SUCH DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL NOT CONTAIN ANY SWITCHES IN THE CIRCUIT, OTHER THAT THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT. EXCEPTION: BATTERY OPERATED SYSTEMS ARE PERMITTED IN SINGLE FAMILY DWELLINGS W/OUT COMMERCIAL POWER. DEVICE(S) PROVIDED AND	PROJECT REAR ADDITION 312 N MIDLAND AVE UPPER NYACK
IONS OF DEMOLITION	INSTALLED SHALL BE A TYPE AUTHORIZED BY THE BUILDING DEPARTMENT.	DRAWING CODE & GENERAL NOTES
UMBING, AND REMOVED PIPES	SMOKE DETECTORS	
LMENT BEHIND OR APPED OR PLUGGED. TAIN ALL TEMPORARY NG AND BRACING AS	1. SMOKE DETECTING DEVICES SHALL CONFORM TO THE NYS BUILDING CODE. DEVICE(S) SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL NOT CONTAIN ANY SWITCHES IN THE CIRCUIT, OTHER THAT THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.	REVISIONS # DATE DESCRIPTION
D REGULATIONS. ED FIRE RATINGS OF NTS. IF FIREPROOFING IS	2. DEVICES SHALL BE LOCATED IN AND WITHIN 15 FEET OF ANY ROOM USED FOR SLEEPING PURPOSES.	1 02/13/2024 PER ZONING INSPECTOR
T BE RESTORED TO ITS	3. SMOKE/CARBON MONOXIDE DETECTORS DEVICES SHALL CONFORM TO NYS BUILDING CODE AND MAY BE INSTALLED AS INTERCONNECTED, BATTERY OPERATED DEVICES.	
REQUIRED PERMITS	4. CEILING MOUNTED DEVICES SHALL BE INSTALLED A MINIMUM DISTANCE OF 4" FROM ANY WALL.	
/BER MUST PERFORM THE SUBMITTAL.	5. WALL MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" TO A MAXIMUM DISTANCE OF 12" FROM THE CEILING.	
TAKEN WHEN PIPING AND/OR <sup>-</sup> DAMAGED OR BROKEN	6. CARBON MONOXIDE AND SMOKE DETECTORS MAY BE COMBINED PROVIDING DEVICES THAT COMPLY WITH THE PROVISIONS OF THE LOCAL CODES AND AGENCIES OF JURISDICTION.	
CODE-COMPLIANT FINISHED FLOOR. DPENED UP DURING ALS MATCHING THE FIRE	7. ALL DETECTORS MUST BE PROPERLY PROTECTED DURING CONSTRUCTION AND PLACED INTO SERVICE PRIOR TO OCCUPANCY.	
N.	FINISHES AND DETAILS	
D TO THE EXISTING ND/OR HOUSE RULES ID VENT SUPPLY BRANCH CCORDANCE WITH	1. INTERIOR COVERINGS OR WALL FINISHES SHALL BE INSTALLED IN ACCORDANCE 2020 NYS RESIDENTIAL CODE CHAPTER 7 AND TABLE R702.1(1), TABLE R702.1(2), TABLE R702.1(3) AND TABLE R702.3.5. INTERIOR MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R703.7.1 FOR SUPPORT AND SECTION R703.7.4 FOR ANCHORAGE, EXCEPT AN AIRSPACE IS	
OT ACCEPTABLE. AN K VALVE MUST BE INSTALL A WATER TURE ON EACH WATER	NOT REQUIRED. INTERIOR FINISHES AND MATERIALS SHALL CONFORM TO THE FLAME SPREAD AND SMOKE-DEVELOPMENT REQUIREMENTS OF SECTION R302.9.	TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES. COPYRIGHT © 2021 U ARCHITECTURE   JACQUELINE URRA, RA THESE DOCUMENTS MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF U ARCHITECTURE   JACQUELINE URRA, RA

SUPPORTING OCUMENTATION
A-300 3UILDING SECTION G-001 CODE
A-300 BUILDING SECTION
A-300 BUILDING SECTION
A-300 BUILDING SECTION
G-001 /INDOW SCHEDULE
A-100 PLANS, RCP
A-100 PLANS, RCP

SEAL AND SIGNATURE JACQUELINE URRA, R.A. NY R.A. 034687 FOR APPROVALS ISSUE DATE 01/29/2024 UA PROJECT UA2315 DRAWN/CHK BY AS NOTED SCALE SHEET G-001.0 UA2315 T-001 TITLE SHEET



		R-10 ZONING REQUIREMENTS				
		ONE-FAMILY DWELLING	CODE	EXISTING	PROPOSED	COMPLIES
	Λ	MAIN DWELLING (SF)		2206	2824	
		EXISTING DETACHED GARAGE (SF)		484	NO CHANGE	
	X	EXISTING METAL FRAME PORTABLE GAZEBO (SF)		120	NO CHANGE	
		UNCOVERED VERANDA (SF)		0	92	
	$\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{\mathbf{$	PAVED OR CONCRETE PATHS/STEPS (SF)		603	502	
			10.000			EXISTING
		MINIMUM LOT AREA (SQ FT)	10,000	6,250		NON-CONFORMING
		MINIMUM LOT WIDTH (FT)	90	50	NO CHANGE	EXISTING NON-CONFORMING
		MINIMUM STREET FRONTAGE (FT)	90	50 + 125	NO CHANGE	COMPLIES*
		MINIMUM FRONT YARD (FT) N. MIDLAND (EAST)	35	41.3	NO CHANGE	COMPLIES*
		MINIMUM FRONT YARD (FT) HIGHMOUNT (SOUTH)	35	14.2	NO CHANGE	EXISTING NON-CONFORMING' VARIANCE
		MINIMUM SIDE YARD (FT) (NORTH)	25	9.8	NO CHANGE	EXISTING NON-CONFORMING <sup>3</sup> VARIANCE
		MINIMUM REAR YARD (FT) (WEST)	25	49.9	35	COMPLIES*
		MAXIMUM BUILDING HEIGHT (FT)	PRINCIPAL 28 ACCESSORY 15	+-30 / 15	NO CHANGE	EXISTING NON-CONFORMING
		MAXIMUM DEVELOPMENT COVERAGE	ACCESSORY 15	30%	36%	COMPLIES
		MAXIMUM BUILDING COVERAGE	20%	12%	17%	COMPLIES
		MAXIMUM FAR	0.25	0.43	0.53	EXISTING NON-CONFORMING <sup>3</sup>
		MINIMUM DISTANCE BETWEEN BUILDINGS	10	25.5	10.5	VARIANCE COMPLIES
		PARKING SPACES	2	2	NO CHANGE	COMPLIES
		* Corner lot	$\overline{}$	$\sim$		
	(	CROSS-REFERENCES & ADDITIONAL INFO PER S FOR INFORMATION ON:	ECTION 10.5 REFER TO SHEET:	$\mathbf{h}$		
	$\geq$	PROPERTY ID INFO	T-001	)		
		FLOOR AREA BY FLOOR BUILDING HEIGHT & GRADE	T-001 A-200	$\leq$		
		ELEVATIONS	A-200			
x x 125'-0"		THERE ARE NO TREES WITHIN THE AREA OF DIST				
NEIGHBOR CHAINLINK FENCE	$\geq$	THERE IS NO CHAIN LINK FENCE ON THE PROPE	/	$\langle$		
WE HAND INK FENC	$\langle \rangle$	NO NEW UTILITIES PROPOSED NO REGRADING IS PROPOSED		)		
Discontraction of the second s				}		
NCR D.						
LINE OF EXISTING NON-CONFORMING SETBACK LINE OF 35' FRONT YARD SETBACK EXISTING						
EXISTING NG		/ /				
LINE - LINE *						
LINE OF 35' FRONT YARD SETBACK EXISTING THREE STORY (NOT						
EXISTING EXISTING						
Duit Stor	41'-4"					
	35'-0"		/			
OF 25'SIDE						
VARD SETE	Pa					
LINE OF 25'SIDE YARD SETBACK	PAVED PA	ТН				
OF EXIST.						
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CONFORMAL DATH	EXISTING O.H. WIRES		É			
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ELECTRICAL LEGE	ND
SYMBOL	DESCRIPTION
Φ <sub>32</sub>	DUPLEX OUTLET (INCHES AFF)
	GROUND FAULT DUPLEX OUTLET
φ	DEDICATED OUTLET
\$	SINGLE POLE LIGHT SWITCH
\$ <sub>0</sub>	DIMMER LIGHT SWITCH
\$_3	THREE WAY LIGHT SWITCH
\$,	JAMB PUSH SWITCH
@	WET-RATED LIGHT
Ø	RECESSED CEILING LIGHT
-ф-	SURFACE MOUNTED CEILING LIGHT
$\oplus$	PENDANT
Q	SCONCE
	UNDERCABINET LIGHTING
—— <del>0</del> ——	TRACK LIGHTING
	ELECTRICAL WIRING
$\mathbf{A}$	COMBINED DATA/TV OUTLET
Ā	TV OUTLET
${}$	EXTRACTOR FAN
$\otimes$	COMBINED SMOKE C/O DETECTOR

## CONSTRUCTION LEGEND

	EXISTING WALL TO REMAIN
	WALL OR FIXTURE TO BE DEMOLISHED
	NOT IN SCOPE
	PROPOSED WALL
$\otimes$	SMOKE/CO DETECTOR
C:::3	AREA OF WORK
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED NEW DOOR
	EXISTING OVERHEAD STRUCTURAL MEMBER TO REMAIN
	PROPOSED OVERHEAD NEW STRUCTURAL MEMBER
	EXISTING OVERHEAD SOFFIT TO REMAIN
	CENTERLINE

DEMOLITION NOTES: 1. FRAMING: NEW OPENINGS AS NOTED.

- SHORE AS REQUIRED.
- 2. FLOOR: BATHROOM: REMOVE ALL FLOOR
- FINISHES TO SUBFLOOR. 3. WALLS: REMOVE ALL TILING
- THROUGHOUT. REMOVE PARTITIONS AT 10. POWER & LIGHTING: EXISTING CLOSET AS NOTED. 4. CEILING: NO WORK
- 5. PLUMBING FIXTURES AND APPLIANCES: • REMOVE ALL PLUMBING FIXTURES. CAP ALL LINES AS REQUIRED.
- 6. CABINETS: • REMOVE & SALVAGE BATH VANITIES, MED CABINETS & CLOSET FIXTURES.
- 7. WINDOWS & DOORS: • REMOVE INTERIOR DOORS AS NOTED. PREPARE INFILL TO RECEIVE SMOOTH FINISH FLUSH W/ EXISTING WALLS.
- REMOVE & SALVAGE EXTERIOR DOOR 8. FIRE & LIFE-SAFETY PROTECTION: EXISTING COMBINED HARD-WIRED SMOKE & CARBON MONOXIDE ALARMS TO REMAIN. PROTECT FROM DUST DURING DEMO &
- CONSTRUCTION. 9. HVAC: EXISTING TO REMAIN.
- 10. POWER & LIGHTING: COORDINATE W/ OWNER ALL FIXTURES TO BE RELOCATED.

#### PROPOSED NOTES:

- 1. FRAMING: NEW FRAMING PER S-100. 2. FLOOR:
- NEW WOOD FLOORS THROUGHOUT TO MATCH EXISTING
- WALLS: NEW INSULATED WALLS PER SECTION ON A-300
- INSTALL DUROCK OR EQUIVALENT AT SHOWER. NEW TILE AT SHOWER AREA PER OWNER SELECTIONS.
- INSTALL, PATCH AND REPAIR GWB TO
- ENCLOSE FRAMING AS REQUIRED. PROVIDE BLOCKING FOR NEW
- WALL-MOUNTED FIXTURES. FOR GWB FINISHES, PROVIDE SKIM
- COAT, PRIME AND PAINT. 4. CEILING: INSTALL NEW GWB AT NEW
- CEILINGS. PATCH & REPAIR THROUGHOUT AS REQUIRED. PROVIDE SKIM COAT, PRIME AND REPAINT AS REQUIRED. COLOR TBD W/ OWNER.
- 5. PLUMBING FIXTURES AND APPLIANCES:
- ALL FIXTURES PROVIDED BY OWNER PLUMBING FIXTURES AT EXTERIOR WALLS REQUIRE A FURRED OUT WALL TO FIT PLUMBING INBOARD OF EXTERIOR ENVELOPE. PLUMBING SHALL NOT COMPROMISE THE INTEGRITY OF THE EXTERIOR INSULATION
- 6. CABINETS: INSTALL NEW VANITIES,
- CABINETS & SALVAGED MEDICINE CABINETS PER OWNER SPECIFICATIONS.
- WINDOWS & DOORS: 7. WINDOW: INSTALL NEW EXTERIOR WINDOWS PER WINDOW SCHEDULE ON G-001. PROVIDE BATT INSULATION AND CAULKING AT SURROUND TO REDUCE INFILTRATION TO NO GREATER THAN 0.3CFM PER SF PER N1102.4.3.
- 8. FIRE & LIFE-SAFETY PROTECTION: CONTRACTOR TO CONFIRM THAT ALL INTERCONNECTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM AT ALL REQUIRED LOCATIONS (BEDROOMS, HALLWAYS, AT EACH FLOOR INCLUDING BASEMENT) ARE FULLY FUNCTIONING AT
- COMPLETION OF WORK. 9. HVAC:
- EXTEND BASEBOARD HEATING. GC TO CONFIRM BOILER CAPACITY. PROVIDE PROGRAMMABLE
- THERMOSTAT AT NEW MULTI-SPLIT UNIT.
- RELOCATED FIXTURES TO BE
- COORDINATED W/ OWNER. ALL NEW INTERIOR FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY
- LAMPS. LIGHTING LOCATIONS AS NOTED BY
- CENTERLINES DEDICATED AND GFI OUTLETS AS NOTED. COORDINATE HEIGHTS W/
- VANITIES & BACKSPLASH ALL OUTLETS SHALL BE AT LOCATIONS
- AS REQUIRED PER CODE. PROVIDE GROUND-FAULT INTERRUPT OUTLETS AT ALL REQUIRED WET
- LOCATIONS. PROVIDE ARC-FAULT INTERRUPTERS AS REQUIRED

U ARCHITECTURE ■ 345-533-9097 ■ U-ARCHITECT.COM ■ U-ARCHITECT.COM PROJECT REAR ADDITION 312 N MIDLAND AVE UPER WACK DRAWING PLANS REVISIONS # DATE DESCRIPTION ① 2/13/2024 PER ZONING INSPECT 02/13/2024 PER ZONING INSPECT PROVINCIAL DISCRIPTION ① 2/13/2024 PER ZONING INSPECT PROVINCIAL DISCRIPTION DRAWING COSES PLANS REVISIONS # DATE DESCRIPTION ① 2/13/2024 PER ZONING INSPECT DISCRIPTION OF BELSON DISCRIPTION OF BELSON DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION PLANS PLANS PLANS DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRIPTION DISCRI	architecture
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**U ARCHITECTURE a** 845-535-9097 U-ARCHITECT.COM
 INFO@U-ARCHITECT.COM PROJECT **REAR ADDITION** 312 N MIDLAND AVE UPPER NYACK DRAWING ELEVATIONS REVISIONS # DATE DESCRIPTION 1 02/13/2024 PER ZONING INSPECTOR TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES. COPYRIGHT © 2021 U ARCHITECTURE | JACQUELINE URRA, RA THESE DOCUMENTS MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF U ARCHITECTURE | JACQUELINE URRA, RA SEAL AND SIGNATURE JACQUELINE URRA, R.A. NY R.A. 034687 ISSUE FOR PERMIT DATE 01/29/2024 UA PROJECT UA2315 DRAWN/CHK BY JU SCALE SHEET AS NOTED A-200.01 5**0F** 7 UA2315 A\_100

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