



architecture

February 15, 2024

Upper Nyack Zoning Board of Appeals / Upper Nyack Building Department
328 N. Broadway
Upper Nyack, NY 10960

RE: Narrative for Proposed Rear Addition at 312 N. Midland Ave.

The existing lot at the corner of N. Midland Ave and Highmount Ave. contains a single-family home on two stories with a finished basement and attic. A detached garage at rear is located at the edge of the property to the southwest.

The scope of construction under this building permit application involves a subordinate two-story addition over a crawlspace, as continuation of the existing dwelling, at rear. This work will allow the owner to add a much needed third bedroom with a shared bath on the second floor, and a much needed powder room and mudroom on the first.

The undersized lot, aside from the disadvantages of being a corner lot and having a 50' lot width instead of the required 90', provides a very small sideyard at the north side that is non-conforming in its present state. The project scope aims to remain within the pre-existing non-conforming envelope and does not exceed the existing non-conforming envelope. Therefore, the bulk table reflects the need to request re-issued variances with respect to existing non-conformities at the reduced allotments for side yard (north) and "front" yard (south), as well as for a marginal increase in FAR.

We believe that the proposed addition has minimal impact on the lot and the community given that the building remains within required and existing non-conforming setbacks of otherwise compliant lots.

Best Regards,

Jackle Urra, RA
Principal

312 N. MIDLAND AVE REAR ADDITION

PROJECT IDENTIFICATION

PROJECT ADDRESS: 312 N. MIDLAND AVE., NYACK, NY 10960
BLOCK & LOT: 60.17-1-18
USE: SINGLE FAMILY DETACHED RESIDENTIAL
OCCUPANCY: RESIDENTIAL
ZONING DISTRICT: R-10
YEAR BUILT: 1874

SCHOOL: NYACK SCHOOL DISTRICT
FIRE: NYACK JOINT FIRE DISTRICT
WATER: NYACK WATER
SEWER: CLARKSTOWN SEWER DISTRICT
LIGHTING: TOWN OF CLARKSTOWN

PROJECT SCOPE

- TWO-STORY 618 SF, AND LESS THAN 50%, CONDITIONED SPACE
- ADDITION TO EXISTING SINGLE-FAMILY DWELLING
- POWDER ROOM, DINING & MUDROOM AREA AT FIRST FLOOR
- JACK AND JILL BATHROOM AND BEDROOM AT SECOND FLOOR
- NEW STAIR ALTERNATING TREAD ACCESS TO EXISTING FINISHED ATTIC
- NEW EXTERIOR STAIR AT REAR. CONNECTED VERANDA 92 SF
- NEW WINDOWS, RELOCATED EXTERIOR DOOR

ADDITION IS WITHIN BOUNDARIES OF REQUIRED SETBACKS. EXISTING NON-CONFORMING SETBACKS ARE NOT MADE WORSE BY THIS ADDITION. NO CHANGE IN OCCUPANCY OR USE.

PROJECT

REAR ADDITION
312 N MIDLAND AVE
UPPER NYACK

DRAWING

TITLE SHEET

REVISIONS

#	DATE	DESCRIPTION
1	02/13/2024	PER ZONING INSPECTOR

INDEX OF DRAWINGS

PAGE #	SHEET #	SHEET TITLE	REV #	ISSUE
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2	G-001	CODE & GENERAL NOTES	01	FOR APPROVALS
3	A-001	SITE PLAN	01	FOR APPROVALS
4	A-100	PLANS	00	FOR APPROVALS
5	A-200	ELEVATIONS	01	FOR APPROVALS
6	A-300	SECTIONS	-	NOT YET ISSUED
7	S-100	STRUCTURAL FRAMING	-	NOT YET ISSUED

CODE REVIEW

2020 NYS RESIDENTIAL CODE & APPENDIX J (AJ)

AJ104.1 Additions, Alterations, or Renovations

Additions, alterations, or renovations to an existing building, building system or portion thereof shall conform to the provisions of Section N1107 of this code as they relate to new construction without requiring the unaltered portion(s) of the existing building or building system to comply with this chapter. An addition shall be deemed to comply with this chapter if the addition alone complies or if the existing building and addition comply with this chapter as a single building. Additions, alterations, or renovations shall not create an unsafe or hazardous condition or overload existing building systems.

AJ301.5 Alterations—Level 2

Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment. Level 2 alterations shall comply with the provisions of Section AJ501 for Level 1 alterations as well as the provisions of Section AJ601.

TOTAL HABITABLE AREA OF PROPOSED DWELLING 2824 SF

TOTAL PROPOSED HABITABLE ADDITION 618 SF
AREA OF ADDITIONAL FLOOR 2 309 SF
AREA OF ADDITIONAL FLOOR 1 309 SF

TOTAL HABITABLE AREA OF EXISTING DWELLING 2206 SF
AREA OF EXISTING DWELLING FLOOR 2 616 SF
AREA OF EXISTING DWELLING FLOOR 1 760 SF
AREA OF EXISTING DWELLING BASEMENT 584 SF
AREA OF EXISTING DWELLING ATTIC 246 SF

TOTAL ADDITION AS % OF EXISTING DWELLING 28%

AJ601.9 Structural - New structural members including connections and anchorage shall comply with this code.
THE STRENGTH & STABILITY OF THE BUILDING SHALL NOT BE AFFECTED.

*** CODE ANALYSIS CONTINUED ON G-001 ***

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.
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T-001.01

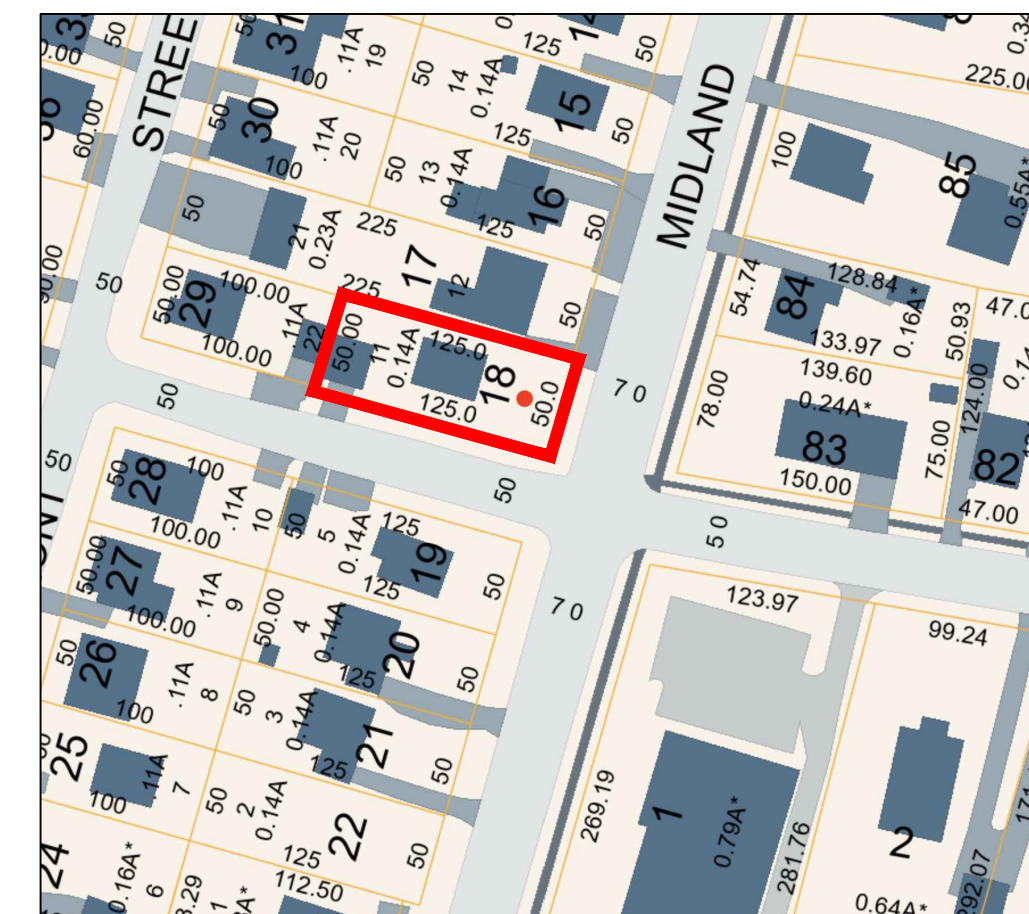
UA2315 T-001 TITLE SHEET | 1 OF 7

INDEX OF SYMBOLS

	INTERIOR ELEVATION MARK		STRUCTURAL COLUMN GRID LINES		WINDOW TAG
	DETAIL MARK		SPOT ELEVATION MARKER		DOOR TAG
	ELEVATION MARK		ROOM TAG (AREA/CLG HT)		SMOKE DETECTOR
	SECTION MARK		HALLWAY (AREA/CLG HT)		KEYNOTE
	CEILING HT (8'-0" AFF ABOVE FINISHED FLOOR)		PARTITION TYPE		REVISION MARK
	EXIT LIGHT WITH DIRECTIONAL ARROWS		EXIT LIGHT WITH DIRECTIONAL ARROWS		



2 ZONING MAP
NOT TO SCALE



3 TAX MAP
NOT TO SCALE



4 CONTOURS
1' INTERVALS - NOT TO SCALE

AREA OF DISTURBANCE

LOT



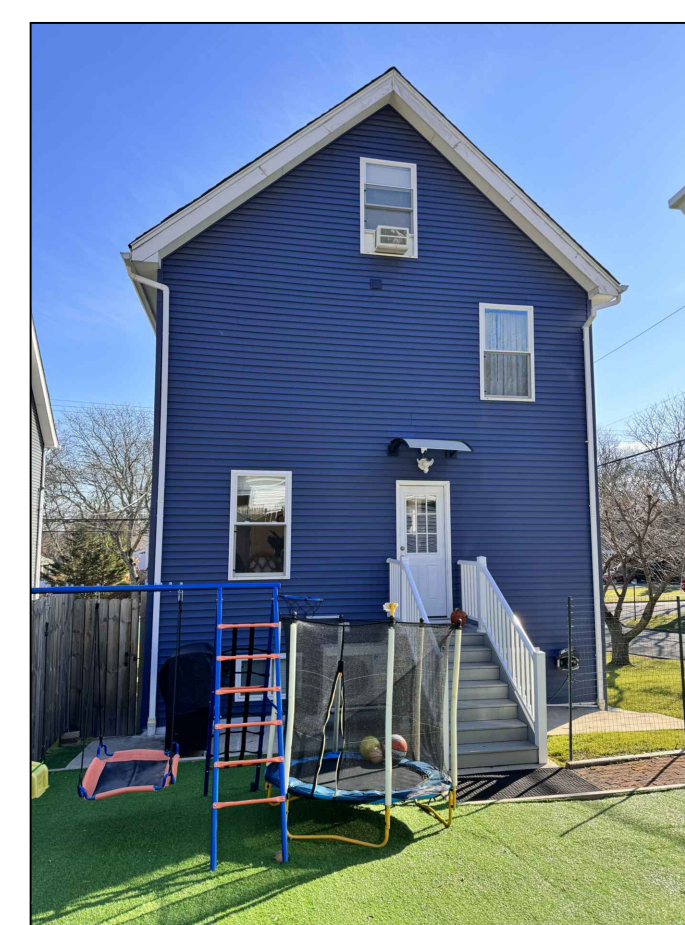
1d EXISTING NORTH FACADE



1c EXISTING FRONT



1b EXISTING SOUTH FACADE



1a EXISTING REAR



1e VIEW WEST



1f VIEW EAST



1g VIEW SOUTH



1h VIEW NORTH



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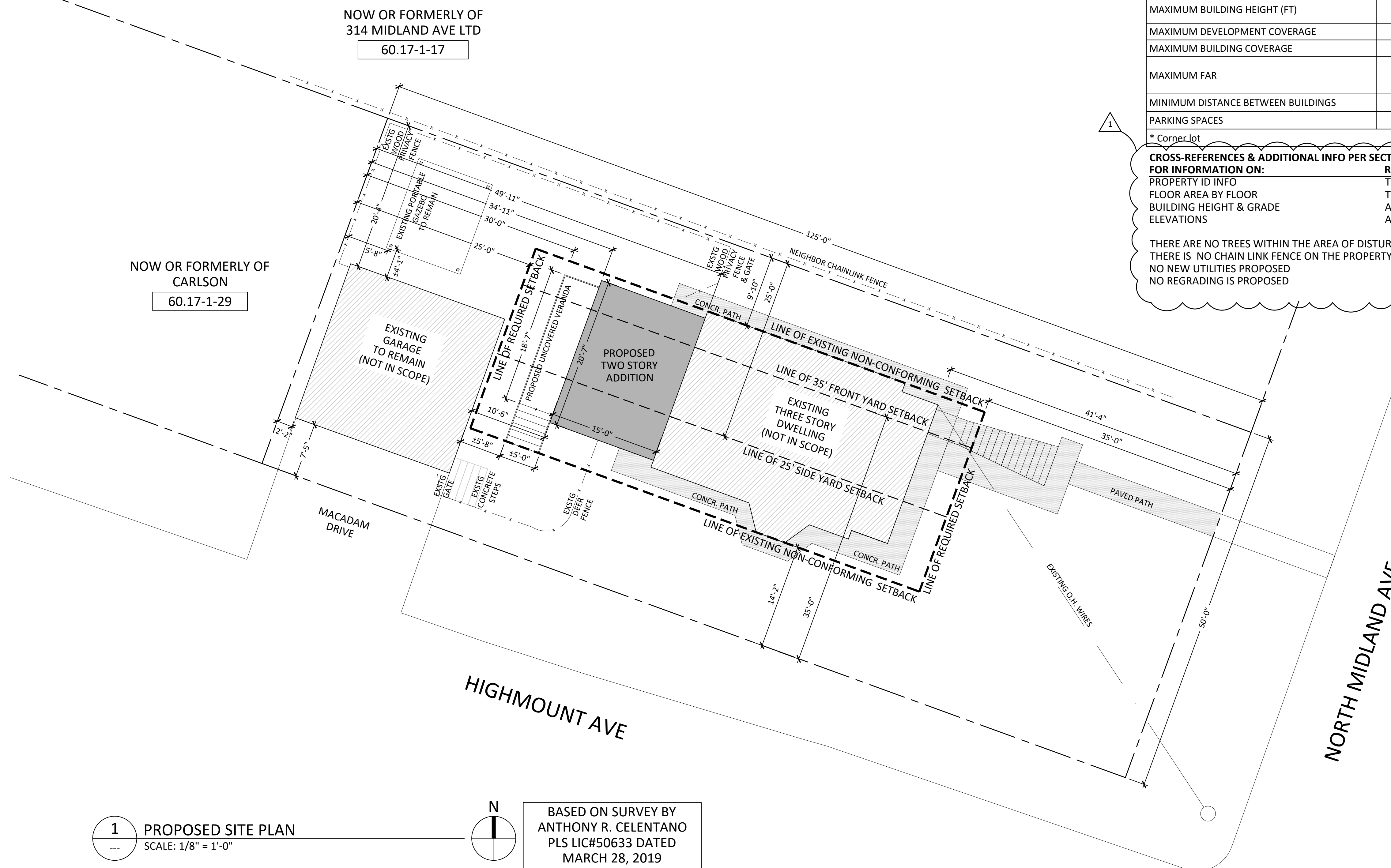
PROJECT
REAR ADDITION
312 N MIDLAND AVE
UPPER NYACK
DRAWING
SITE PLAN

REVISIONS
DATE DESCRIPTION
1 02/13/2024 PER ZONING INSPECTOR

R-10 ZONING REQUIREMENTS				
ONE-FAMILY DWELLING	CODE	EXISTING	PROPOSED	COMPLIES
MAIN DWELLING (SF)	---	2206	2824	---
EXISTING DETACHED GARAGE (SF)	---	484	NO CHANGE	---
EXISTING METAL FRAME PORTABLE GAZEBO (SF)	---	120	NO CHANGE	---
UNCOVERED VERANDA (SF)	---	0	92	---
PAVED OR CONCRETE PATHS/STEPS (SF)	---	603	502	---
MINIMUM LOT AREA (SQ FT)	10,000	6,250	co	EXISTING NON-COMFORMING
MINIMUM LOT WIDTH (FT)	90	50	NO CHANGE	EXISTING NON-COMFORMING
MINIMUM STREET FRONTAGE (FT)	90	50 + 125	NO CHANGE	COMPLIES*
MINIMUM FRONT YARD (FT) N. MIDLAND (EAST)	35	41.3	NO CHANGE	COMPLIES*
MINIMUM FRONT YARD (FT) HIGHMOUNT (SOUTH)	35	14.2	NO CHANGE	EXISTING NON-COMFORMING* VARIANCE
MINIMUM SIDE YARD (FT) (NORTH)	25	9.8	NO CHANGE	EXISTING NON-COMFORMING* VARIANCE
MINIMUM REAR YARD (FT) (WEST)	25	49.9	35	COMPLIES*
MAXIMUM BUILDING HEIGHT (FT)	PRINCIPAL 28 ACCESSORY 15	+30 / 15	NO CHANGE	EXISTING NON-COMFORMING
MAXIMUM DEVELOPMENT COVERAGE	40%	30%	36%	COMPLIES
MAXIMUM BUILDING COVERAGE	20%	12%	17%	COMPLIES
MAXIMUM FAR	0.25	0.43	0.53	EXISTING NON-COMFORMING* VARIANCE
MINIMUM DISTANCE BETWEEN BUILDINGS	10	25.5	10.5	COMPLIES
PARKING SPACES	2	2	NO CHANGE	COMPLIES

* Corner lot
CROSS-REFERENCES & ADDITIONAL INFO PER SECTION 10.5 FOR INFORMATION:
 PROPERTY ID INFO T-001
 FLOOR AREA BY FLOOR T-001
 BUILDING HEIGHT & GRADE A-200
 ELEVATIONS A-200

THERE ARE NO TREES WITHIN THE AREA OF DISTURBANCE
 THERE IS NO CHAIN LINK FENCE ON THE PROPERTY
 NO NEW UTILITIES PROPOSED
 NO REGRADING IS PROPOSED

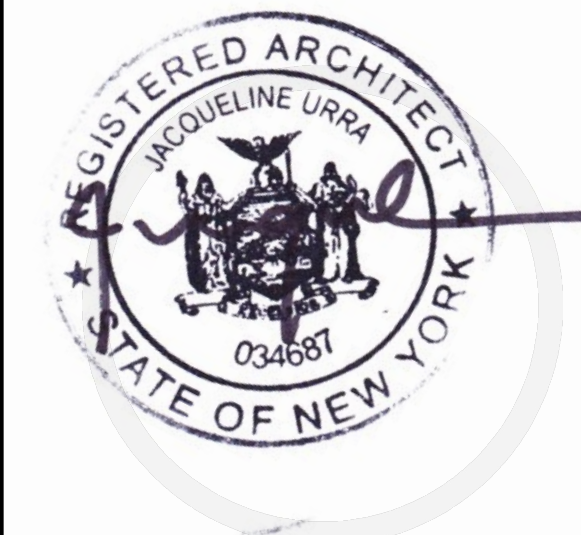


1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

BASED ON SURVEY BY ANTHONY R. CELENTANO
PLS LIC#50633 DATED MARCH 28, 2019

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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (INCHES AFF)
	GROUND FAULT DUPLEX OUTLET
	DEDICATED OUTLET
	SINGLE POLE LIGHT SWITCH
	DIMMER LIGHT SWITCH
	THREE WAY LIGHT SWITCH
	JAMB PUSH SWITCH
	WET-RATED LIGHT
	RECESSED CEILING LIGHT
	SURFACE MOUNTED CEILING LIGHT
	PENDANT
	SCONCE
	UNDERCABINET LIGHTING
	TRACK LIGHTING
	ELECTRICAL WIRING
	COMBINED DATA/TV OUTLET
	TV OUTLET
	EXTRACTOR FAN
	COMBINED SMOKE C/O DETECTOR

CONSTRUCTION LEGEND	
	EXISTING WALL TO REMAIN
	WALL OR FIXTURE TO BE DEMOLISHED
	NOT IN SCOPE
	PROPOSED WALL
	SMOKE/CO DETECTOR
	AREA OF WORK
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED NEW DOOR
	EXISTING OVERHEAD STRUCTURAL MEMBER TO REMAIN
	PROPOSED OVERHEAD NEW STRUCTURAL MEMBER
	EXISTING OVERHEAD SOFFIT TO REMAIN
	CENTERLINE

PROPOSED NOTES:

- FRAMING: NEW FRAMING PER S-100.
- FLOOR:
 - NEW WOOD FLOORS THROUGHOUT TO MATCH EXISTING
- WALLS:
 - NEW INSULATED WALLS PER SECTION ON A-300
 - INSTALL DUROCK OR EQUIVALENT AT SHOWER. NEW TILE AT SHOWER AREA PER OWNER SELECTIONS.
 - INSTALL, PATCH AND REPAIR GWB TO ENCLOSE FRAMING AS REQUIRED.
 - PROVIDE BLOCKING FOR NEW WALL-MOUNTED FIXTURES.
 - FOR GWB FINISHES, PROVIDE SKIM COAT, PRIME AND PAINT.
- CEILING: INSTALL NEW GWB AT NEW CEILING. PATCH & REPAIR THROUGHOUT AS REQUIRED. PROVIDE SKIM COAT, PRIME AND REPAINT AS REQUIRED. COLOR TBD W/ OWNER.
- PLUMBING FIXTURES AND APPLIANCES:
 - ALL FIXTURES PROVIDED BY OWNER
 - PLUMBING FIXTURES AT EXTERIOR WALLS REQUIRE A FURRED OUT WALL TO FIT PLUMBING INBOARD OF EXTERIOR ENVELOPE. PLUMBING SHALL NOT COMPROMISE THE INTEGRITY OF THE EXTERIOR INSULATION
 - CABINETS: INSTALL NEW VANITIES, CABINETS & SALVAGED MEDICINE CABINETS PER OWNER SPECIFICATIONS.
- WINDOWS & DOORS:
 - WINDOW: INSTALL NEW EXTERIOR WINDOWS PER WINDOW SCHEDULE ON G-001. PROVIDE BATT INSULATION AND CAULKING AT SURROUND TO REDUCE INFILTRATION TO NO GREATER THAN 0.3CFM PER SF PER N1102.4.3.
- FIRE & LIFE-SAFETY PROTECTION: CONTRACTOR TO CONFIRM THAT ALL INTERCONNECTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM AT ALL REQUIRED LOCATIONS (BEDROOMS, HALLWAYS, AT EACH FLOOR INCLUDING BASEMENT) ARE FULLY FUNCTIONING AT COMPLETION OF WORK.
- HVAC:
 - EXTEND BASEBOARD HEATING. GC TO CONFIRM BOILER CAPACITY.
 - PROVIDE PROGRAMMABLE THERMOSTAT AT NEW MULTI-SPLIT UNIT.
- POWER & LIGHTING:
 - RELOCATED FIXTURES TO BE COORDINATED W/ OWNER.
 - ALL NEW INTERIOR FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
 - LIGHTING LOCATIONS AS NOTED BY CENTERLINES
 - DEDICATED AND GFI OUTLETS AS NOTED. COORDINATE HEIGHTS W/ VANITIES & BACKSPLASH
 - ALL OUTLETS SHALL BE AT LOCATIONS AS REQUIRED PER CODE.
 - PROVIDE GROUND-FAULT INTERRUPT OUTLETS AT ALL REQUIRED WET LOCATIONS.
 - PROVIDE ARC-FAULT INTERRUPTERS AS REQUIRED

DEMOLITION NOTES:

- FRAMING: NEW OPENINGS AS NOTED. SHORE AS REQUIRED.
- FLOOR:
 - BATHROOM: REMOVE ALL FLOOR FINISHES TO SUBFLOOR.
- WALLS: REMOVE ALL TILING THROUGHOUT. REMOVE PARTITIONS AT EXISTING CLOSET AS NOTED.
- CEILING: NO WORK
- PLUMBING FIXTURES AND APPLIANCES:
 - REMOVE ALL PLUMBING FIXTURES: CAP ALL LINES AS REQUIRED.
- CABINETS:
 - REMOVE & SALVAGE BATH VANITIES, MED CABINETS & CLOSET FIXTURES.
- WINDOWS & DOORS:
 - REMOVE INTERIOR DOORS AS NOTED. PREPARE INFILL TO RECEIVE SMOOTH FINISH FLUSH W/ EXISTING WALLS.
 - REMOVE & SALVAGE EXTERIOR DOOR
- FIRE & LIFE-SAFETY PROTECTION: EXISTING COMBINED HARD-WIRED SMOKE & CARBON MONOXIDE ALARMS TO REMAIN. PROTECT FROM DUST DURING DEMO & CONSTRUCTION.
- HVAC: EXISTING TO REMAIN.
- POWER & LIGHTING: COORDINATE W/ OWNER ALL FIXTURES TO BE RELOCATED.

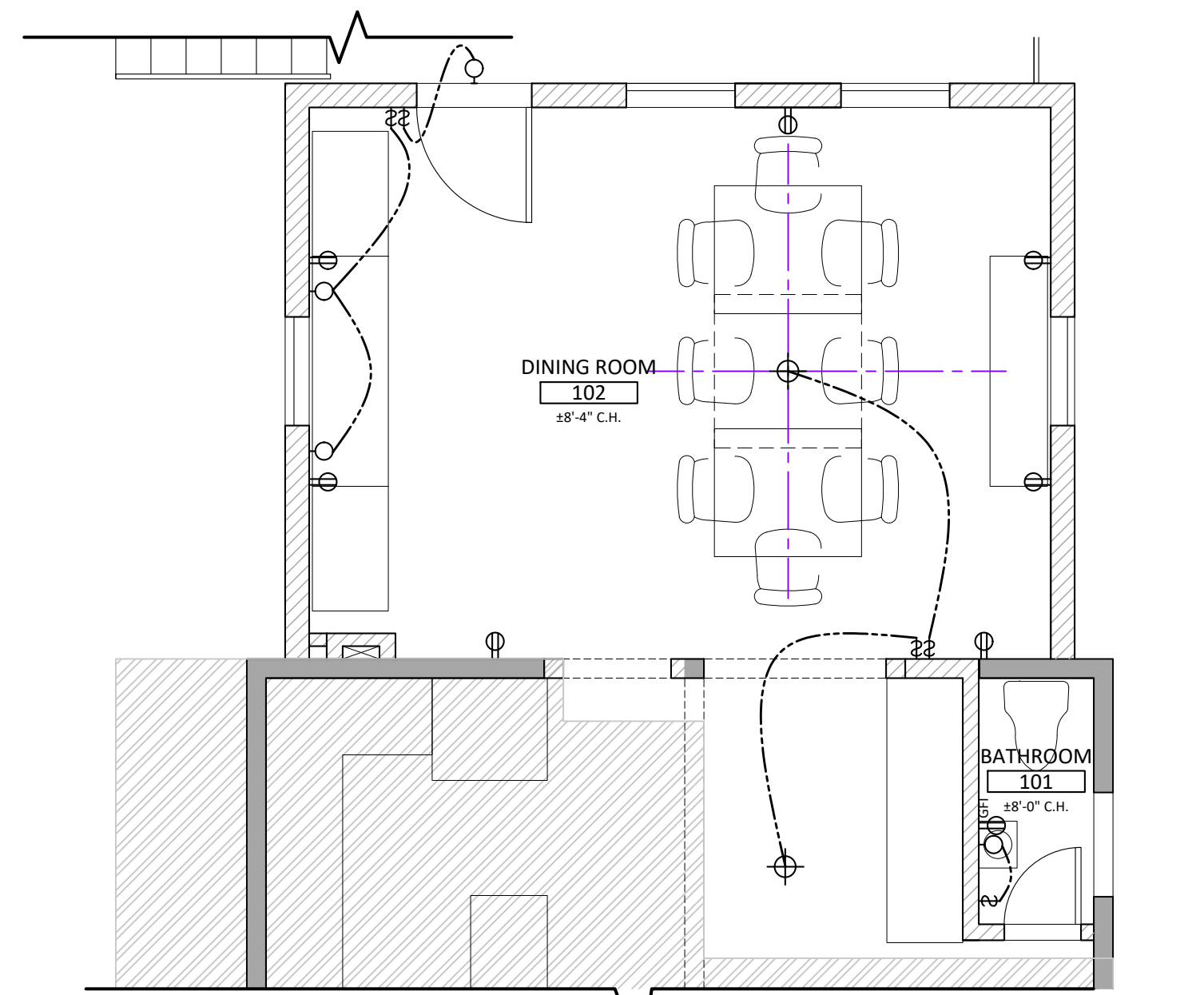
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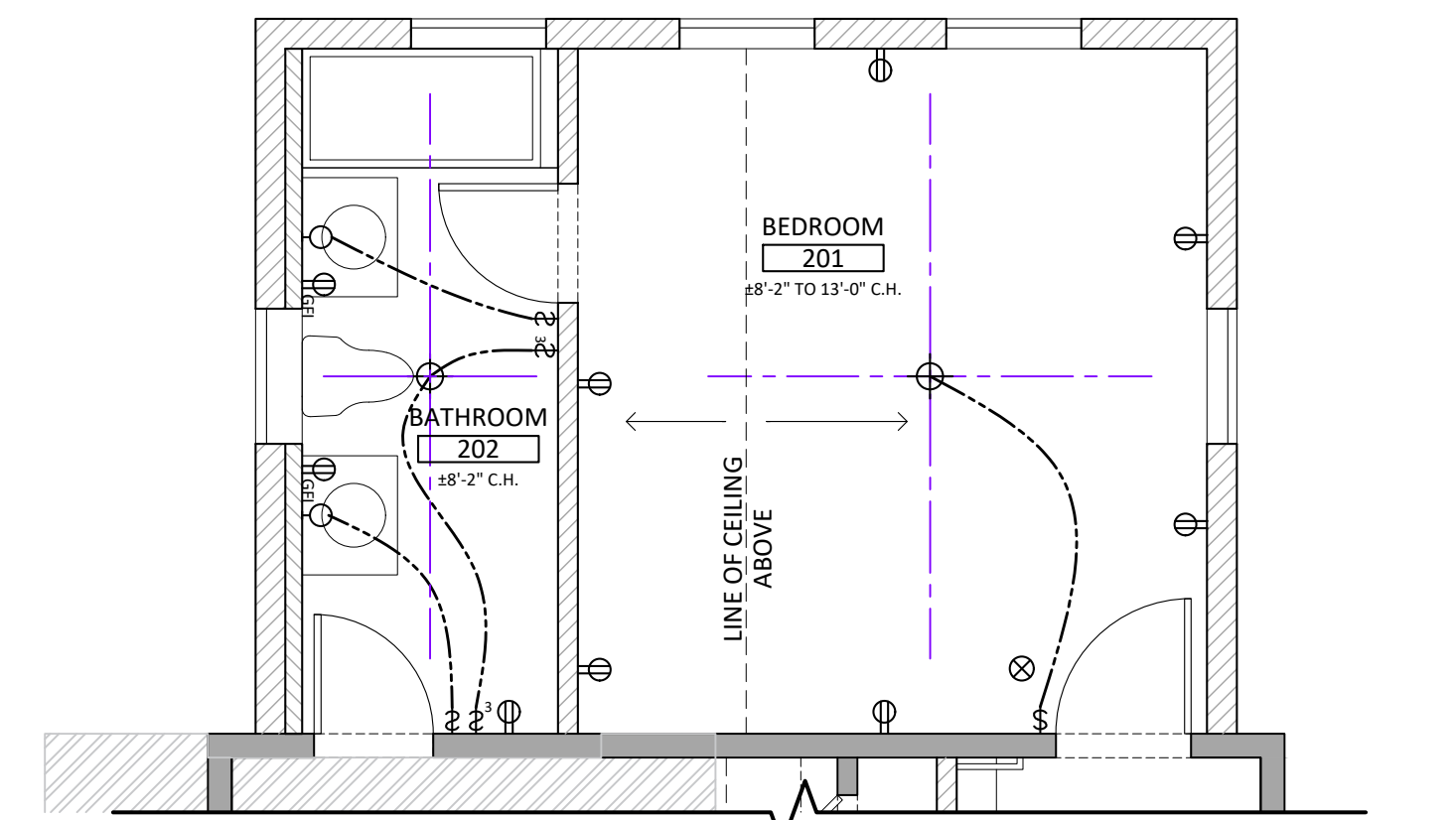
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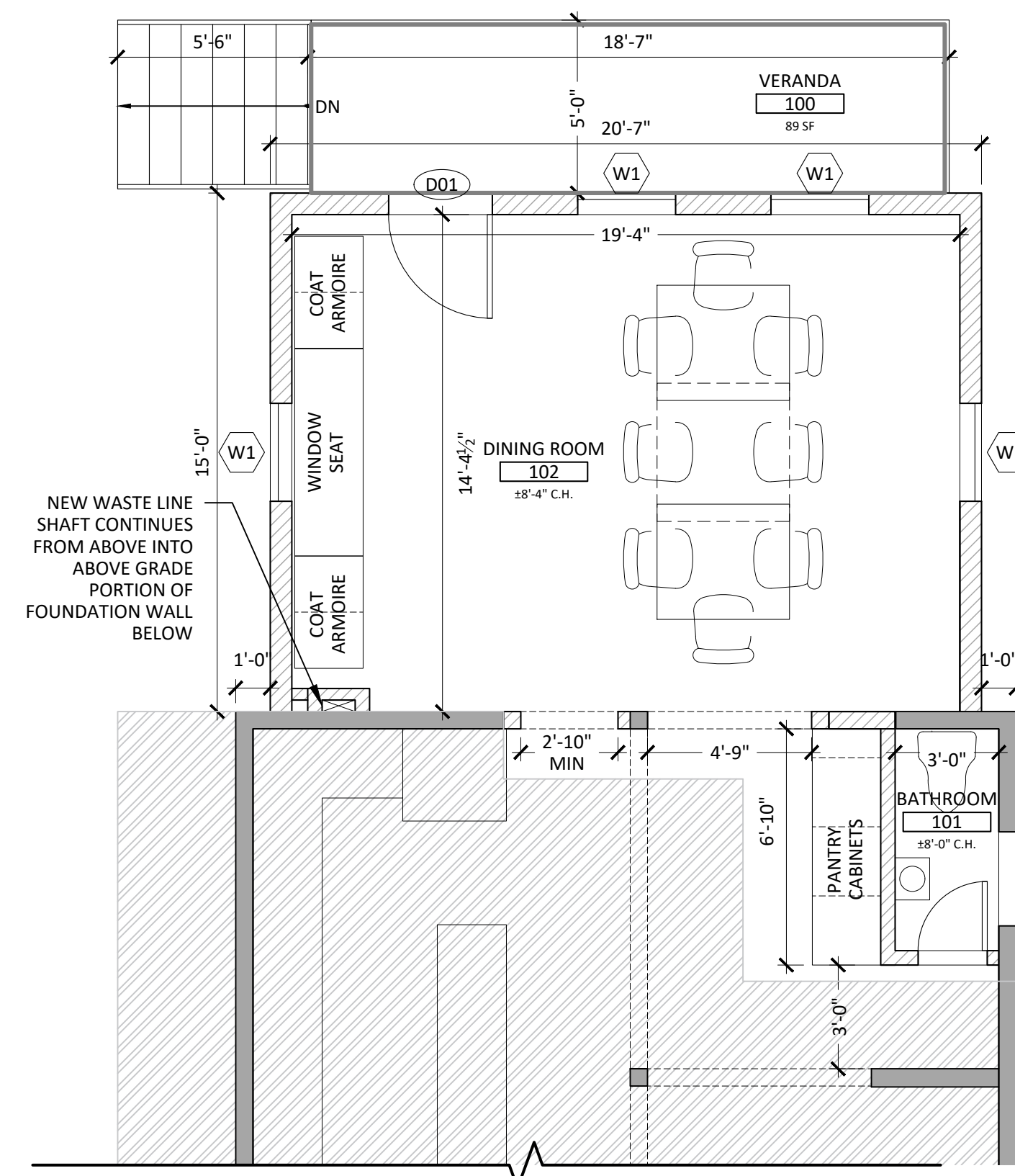
UA2315_A_100 4 OF 7



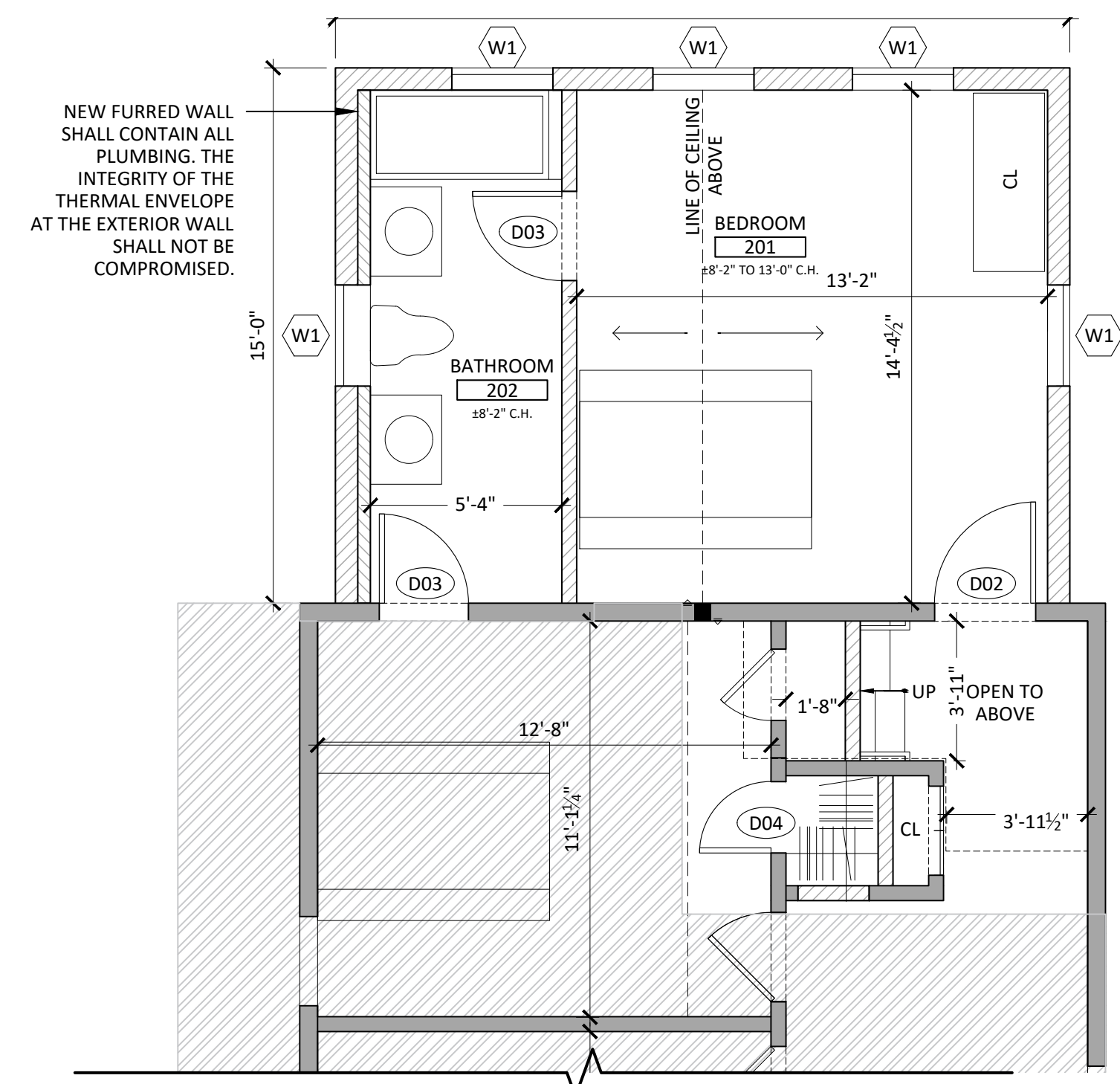
7 FIRST FLOOR - RCP PROPOSED
SCALE: 1/4" = 1'-0"



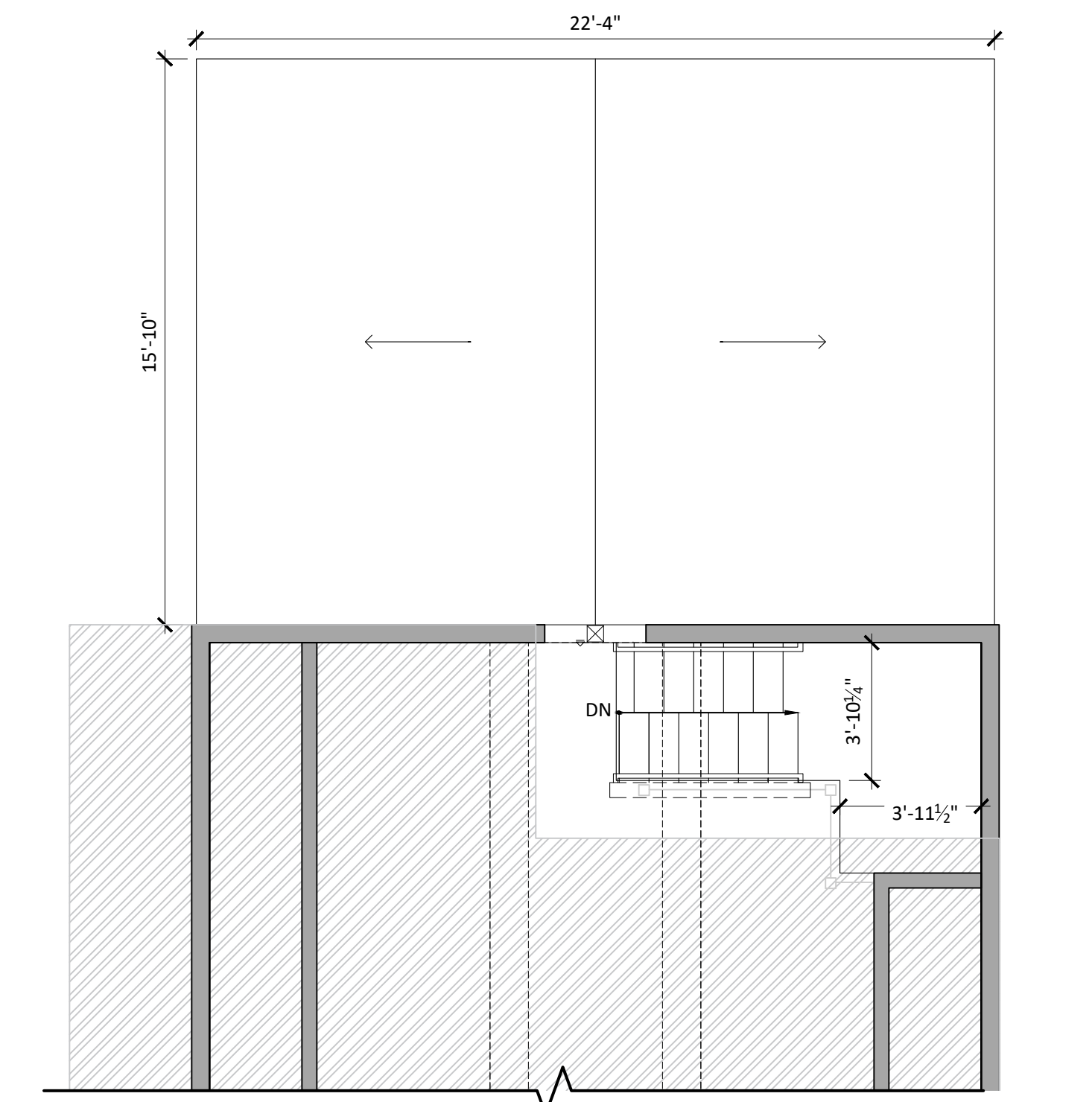
8 SECOND FLOOR - RCP PROPOSED
SCALE: 1/4" = 1'-0"



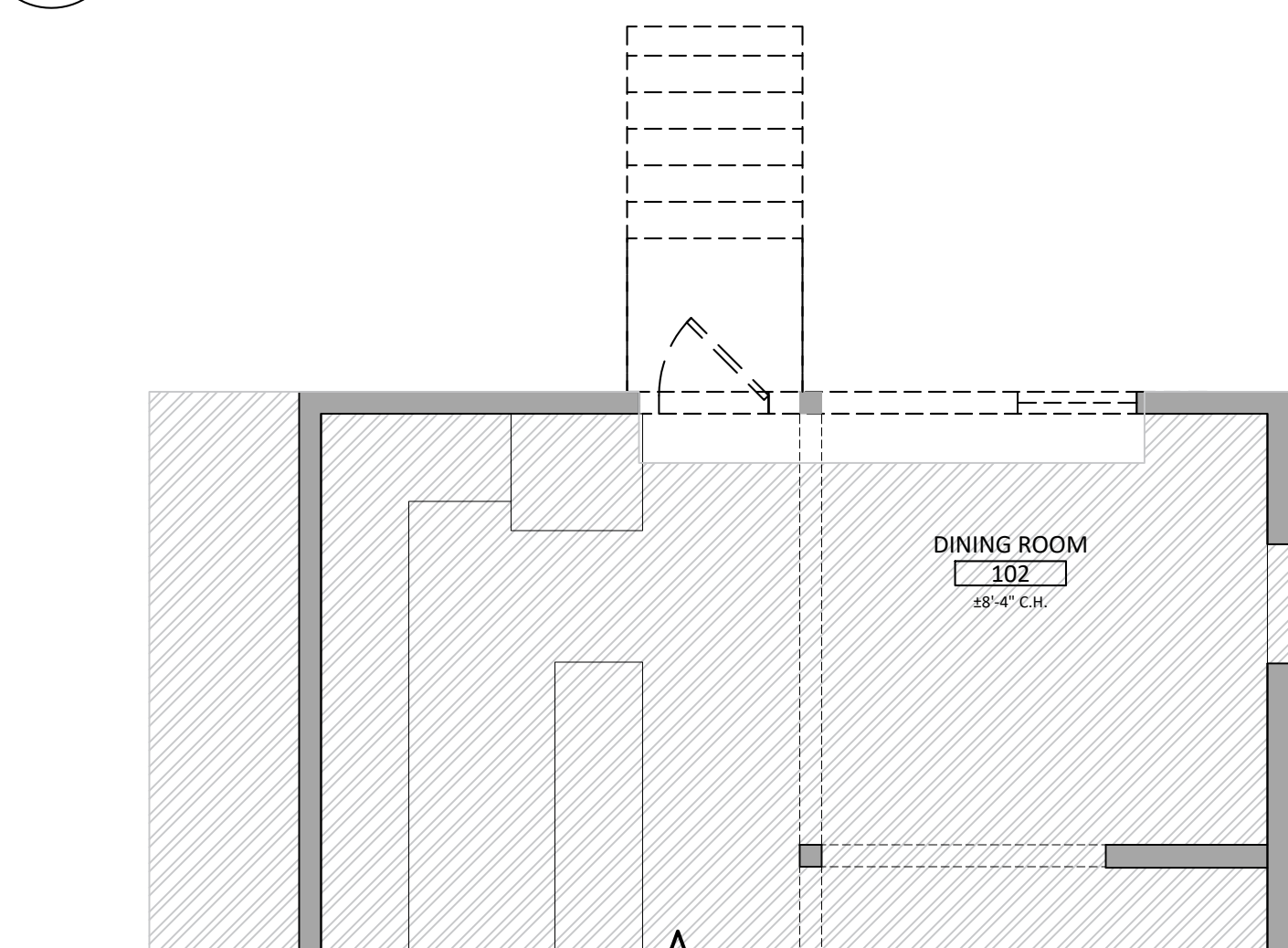
4 FIRST FLOOR - PROPOSED
SCALE: 1/4" = 1'-0"



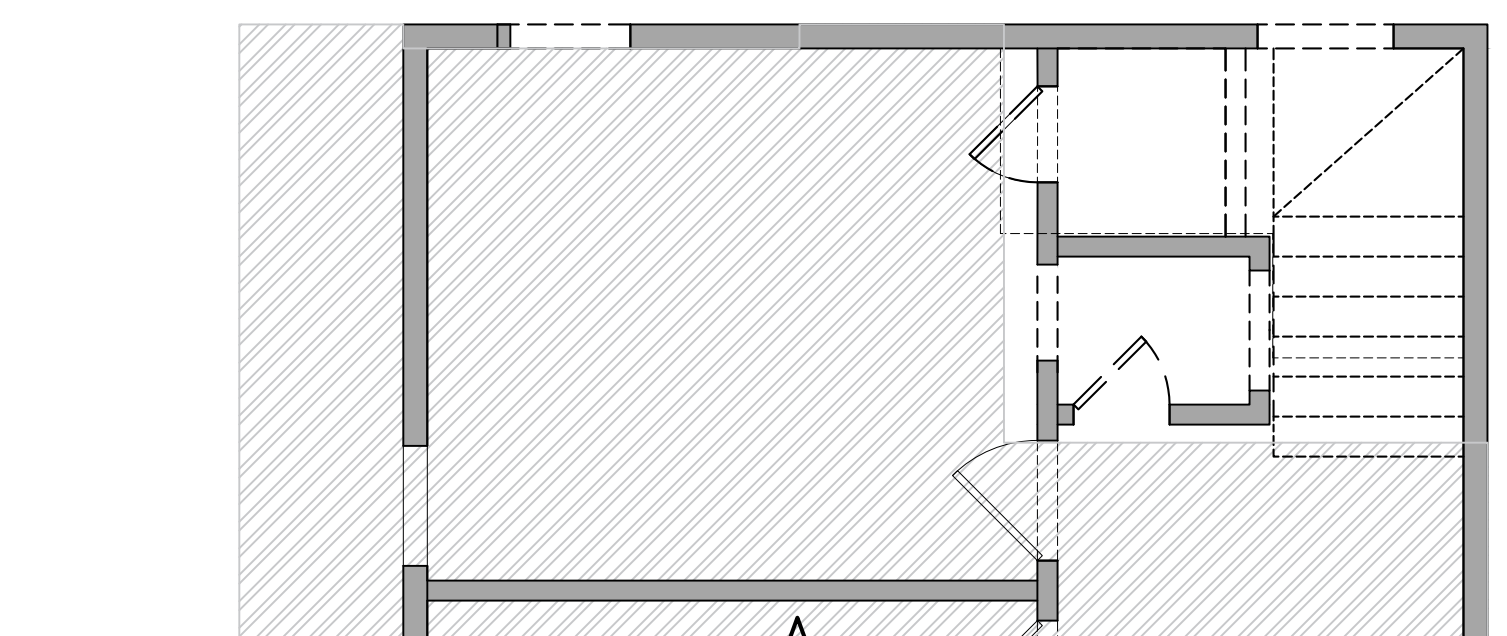
5 SECOND FLOOR - PROPOSED
SCALE: 1/4" = 1'-0"



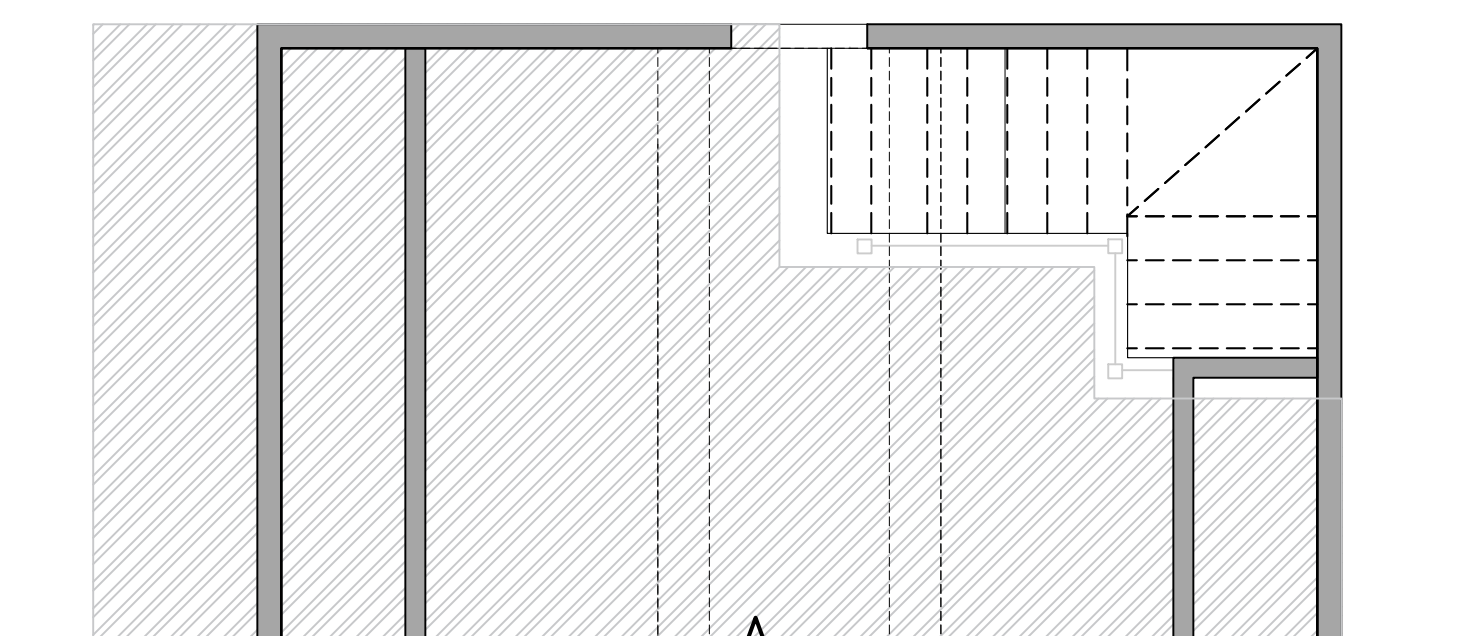
6 ATTIC & ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR - DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR - DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



3 ATTIC - DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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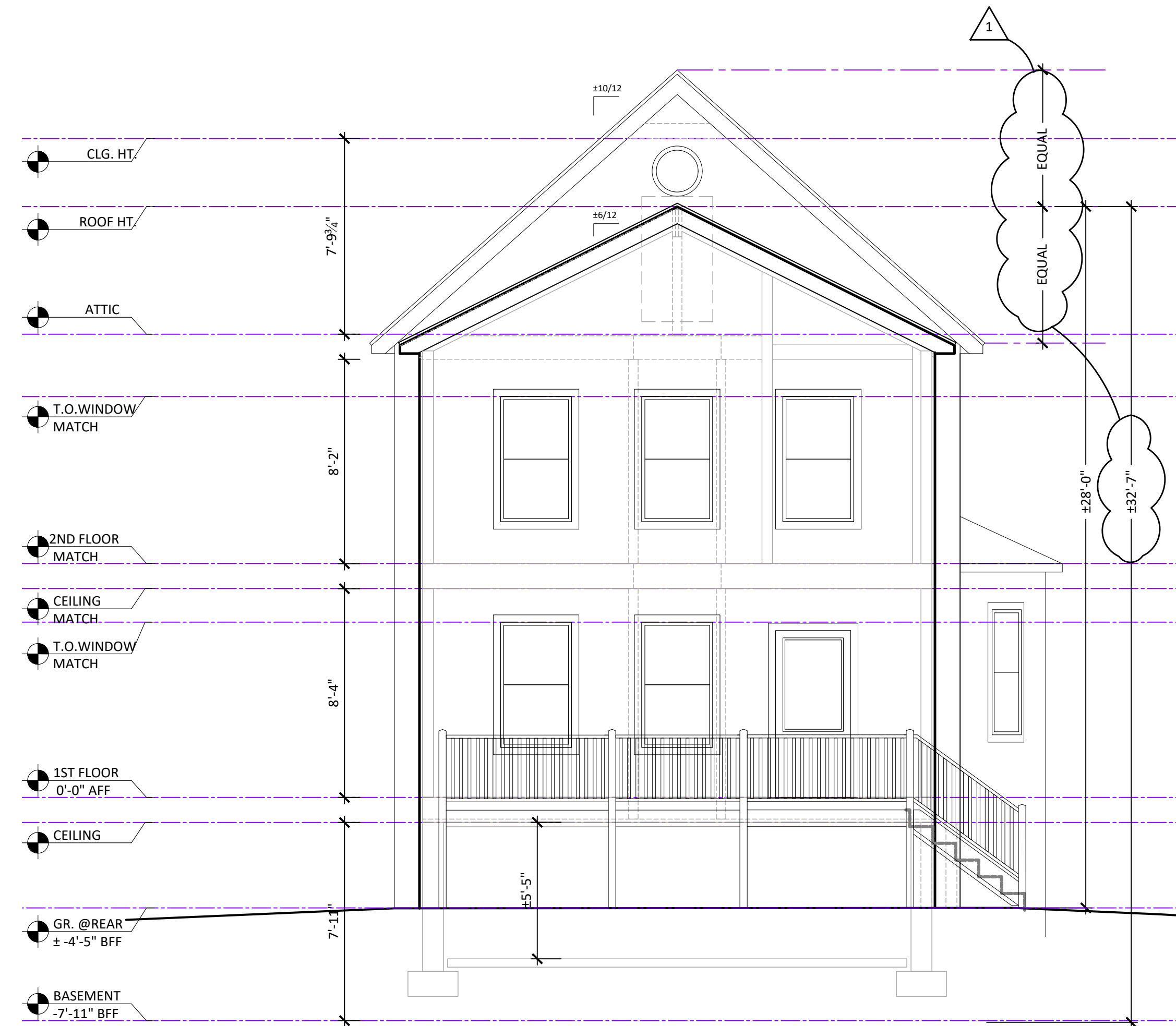
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1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"
SOUTH FACADE



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"
WEST FACADE