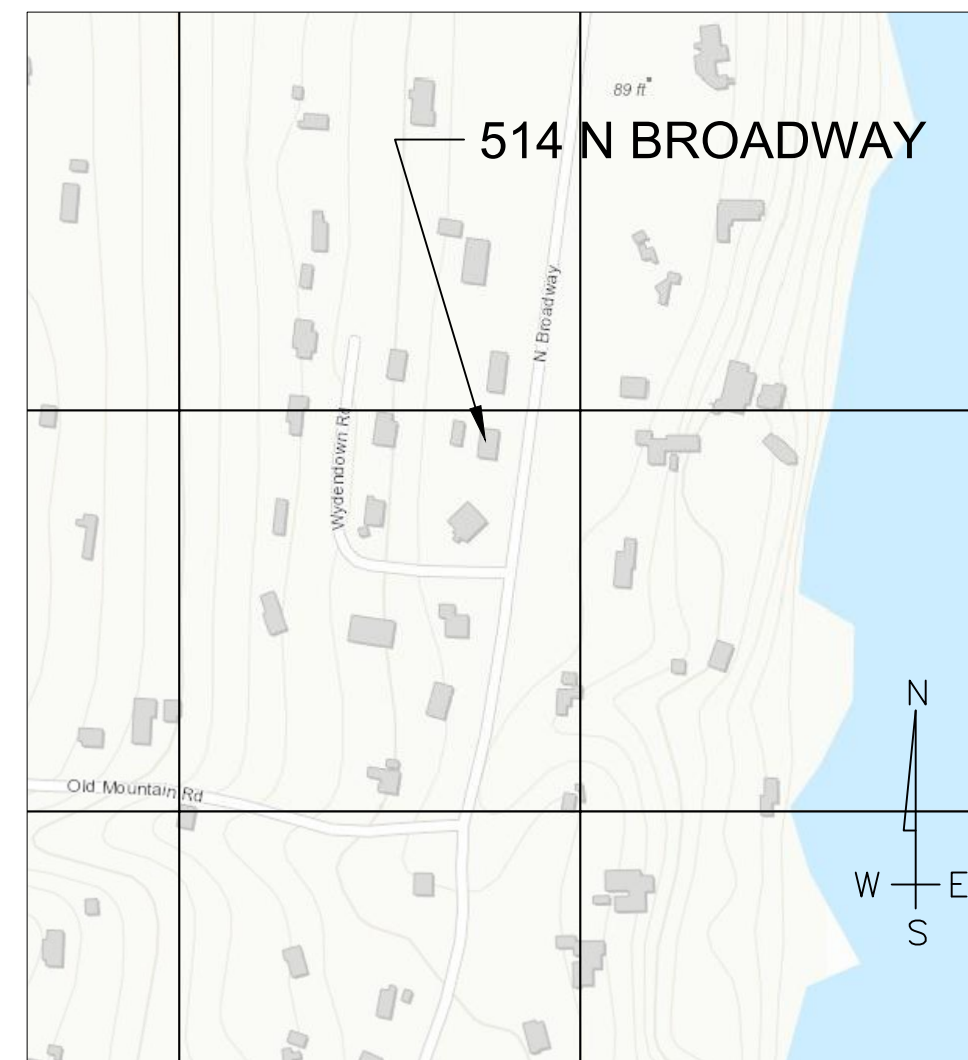


LIST OF DRAWINGS

- SP-1 SITE PLAN, VICINITY MAP, BULK TABLE
- SP-2 SITE DETAILS
- A-1 EXISTING FIRST & SECOND FLOOR PLANS
- A-2 FIRST & SECOND FLOOR DEMOLITION PLANS
- A-3 PROPOSED FIRST FLOOR PLAN
- A-4 PROPOSED SECOND FLOOR PLAN
- A-5 EXISTING EXTERIOR ELEVATIONS
- A-6 PROPOSED EXTERIOR ELEVATIONS EAST & SOUTH
- A-7 PROPOSED EXTERIOR ELEVATIONS WEST & NORTH
- A-8 DECK SECTION & DETAILS
- A-9 GARAGE SECTION & DETAILS
- A-10 VESTIBULE SECTION & DETAILS
- G GENERAL NOTES AND SPECIFICATIONS

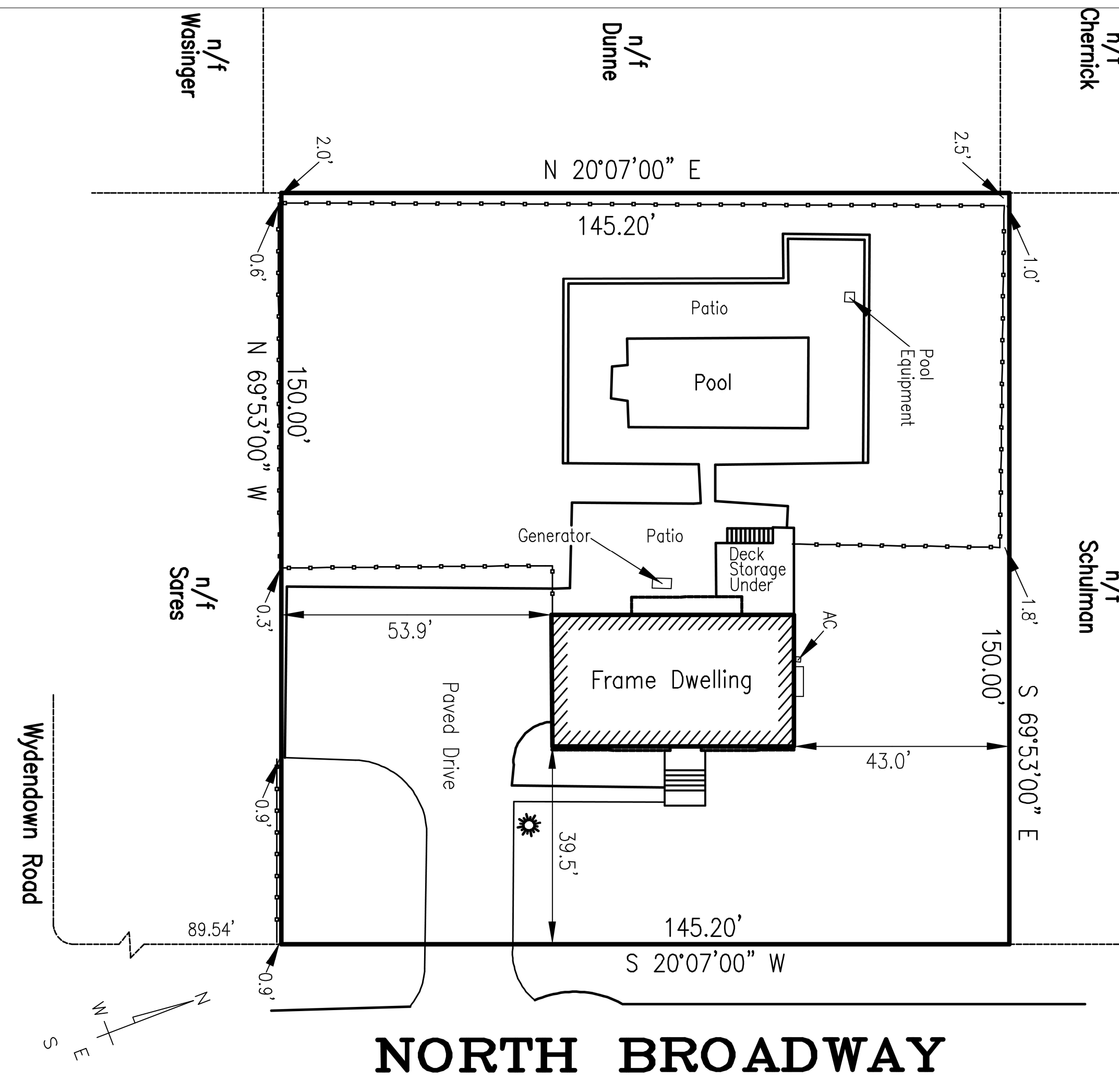


1 VICINITY MAP

A-0 1" = 300'

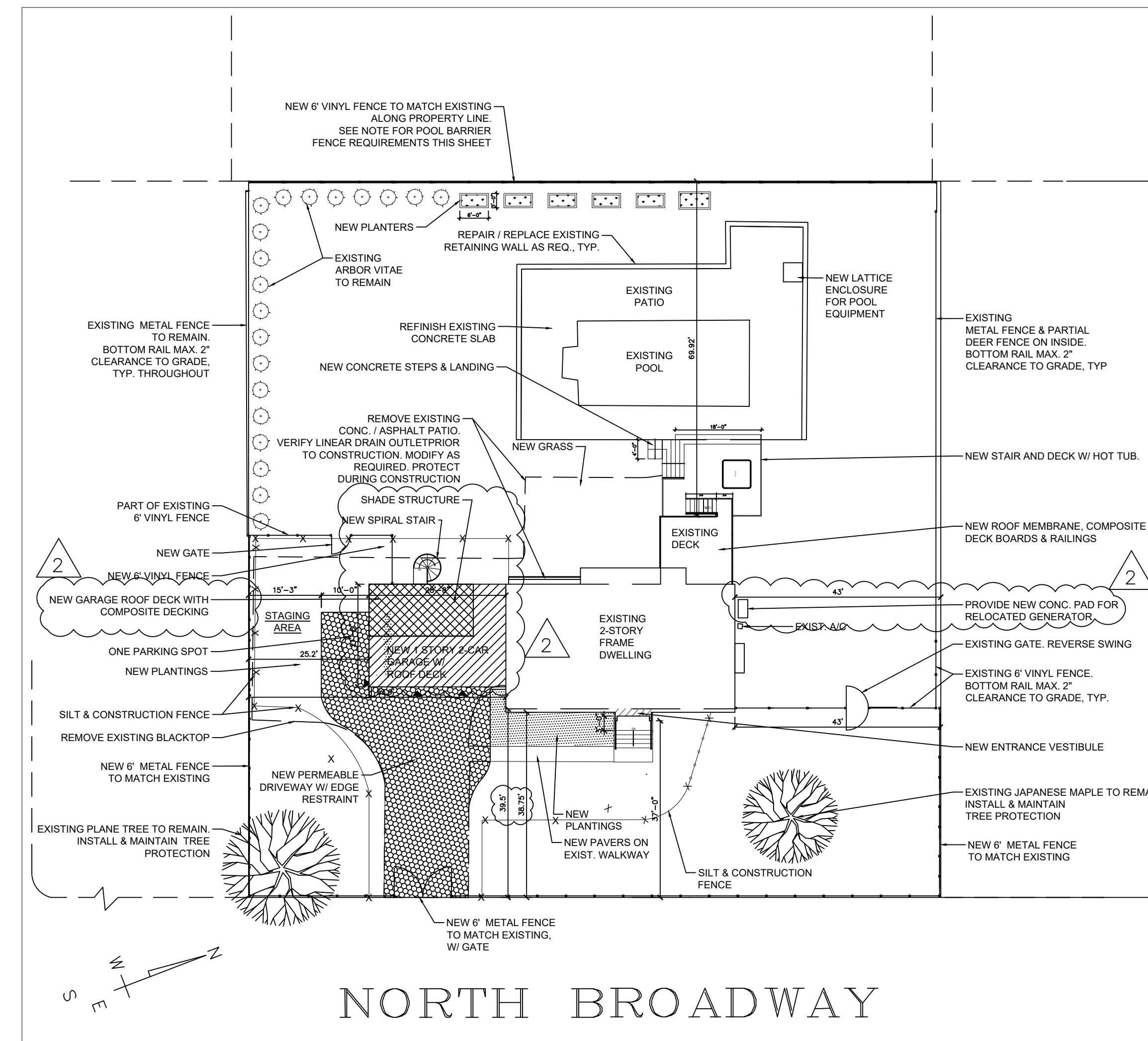
SQUARE FOOTAGE

	EXISTING	PROPOSED
1ST FLOOR	1,450	2,066
2ND FLOOR	1,432	1,681
TOTAL	2,882	3,747



2 SURVEY

A-0 1" = 20'



3 PROPOSED SITE PLAN

A-0 1" = 20'

BULK TABLE				
TAX MAP NO. 60.13-3-14	VALLEX HERARD			
OWNER OF RECORD	514 N BROADWAY			
PROPERTY ADDRESS	R-20			
ZONE	R-20			
USE GROUP	R-3 SINGLE FAMILY DETACHED			
	REQUIRED	EXISTING	PROPOSED	NET CHANGE
MIN. LOT AREA SF	20,000 SF	21,780 SF	21,780 SF	NO CHANGE
MIN. LOT WIDTH	100 FT	145.20'	145.20'	NO CHANGE
MIN. FRONTAGE (FT)	100 FT	145.20'	145.20'	NO CHANGE
MIN. FRONT YARD (FT)	35 FT	38.75'	37'	-1.75'
MIN. SIDE YARD (EACH/TOTAL) (FT)	25 FT / 50 FT	43 FT / 53.9 FT	43 FT / 25.2 FT	-28.7 FT
MIN. REAR YARD SETBACK FT	25 FT	69.92 FT	69.92 FT	NO CHANGE
MAX. BUILDING HT. FT	28 FT	18'-2"	18'-2"	NO CHANGE
MAX. BUILDING HT. (FT) ACCESSORY	15 FT	N/A		
MAX. DEVELOPMENT COVERAGE %	25%	36%	23%	-13%
MAX. BLDG COVERAGE %	12%	7%	9%	+2%
MAX. FAR	0.20	0.13	0.17	+0.04
MIN. DISTANCE BETWEEN BLDGS ON SAME LOT	10 FT	N/A		
MIN. SETBACK PARKING DRIVEWAY, WALKWAY FROM ANY LOT LINE	5 FT	0.75 FT	15.3 FT	+14.55 FT
MIN PARKING REQUIREMENTS	2	3	3	NO CHANGE

EXISTING LOT COVERAGE:

DWELLING (INCL. STORAGE BELOW DECK)	1,450
EXISTING DRIVEWAY	2,459
WALKWAY	91
FRONT STOOP	90
PATIO	803
POOL & PATIO	2,395
TOTAL EXISTING COVERAGE	7,288

PROPOSED LOT COVERAGE:

DWELLING	1,461
NEW GARAGE	616
RE-PAVED WALKWAY	91
FRONT STOOP	79
GENERATOR PAD	8
SPIRAL STAIR CON. PAD	31
POOL & PATIO	2,395
NEW DECK	344
TOTAL PROPOSED COVERAGE	5,025 SFT

THE EXISTING ASPHALT DRIVEWAY WILL GET REPLACED WITH PERVIOUS PAVEMENT AND THE CONCRETE / ASPHALT PATIO WILL GET REPLACED WITH LAWN RESULTING IN A LOT COVERAGE REDUCTION OF 2,263 SFT. NO STORM WATER RETENTION IS REQUIRED.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

16 NYCRR PART 753 - PROTECTION OF UNDERGROUND FACILITIES REQUIRE 2 TO 10 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK



POOL FENCING NOTES

POOL FENCING BARRIER SHALL BE IN ACCORDANCE WITH THE 2020 RCNYS SECTION R326. PER R326.4.2 PERMANENT BARRIERS HEIGHT SHALL BE NO LESS THAN 48" AT THE TOP AND NO MORE THAN 2" AT THE BOTTOM. MAXIMUM SPACING OF VERTICAL MEMBERS IS NOT TO EXCEED 4" CLEAR. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES, THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 1/2 INCHES. IN WIDTH. GATES MUST BE SELF CLOSING, SELF LATCHING, AND LOCKING. ALL GATES SHALL OPEN OUTWARD. LATCH HANDLE TO BE 40" ABOVE GRADE AND LOCATED WITHIN THE ENCLOSURE. IF LATCH HANDLE IS LESS THAN 54 INCHES FROM GRADE, LATCH HANDLE SHALL BE AT LEAST 3 INCHES BELOW TOP OF THE GATE, AND THERE SHALL BE NO OPENING GREATER THAN 0.5 INCH WITHIN 18 INCHES OF THE LATCH HANDLE. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED.

WHEN THE DWELLING IS A PART OF THE BARRIER ANY DOOR WITHIN THE ENCLOSURE MUST BE EQUIPPED WITH AN ALARM PER SECTION R326.4.2.8. OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48" ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4- INCH-DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION.

ENTRAPMENT PROTECTION: POOL SUCTION OUTLETS MUST COMPLY WITH SECTION R326.6. ALARMS MUST COMPLY WITH R326.7

SITE PLAN NOTES

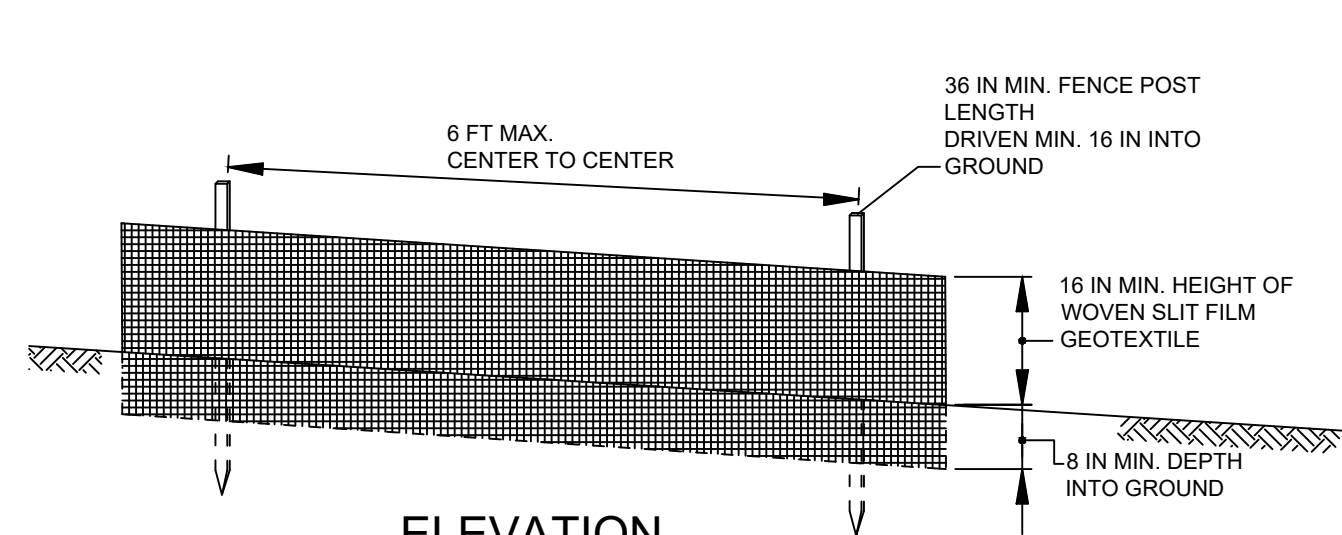
- PROPERTY REFERENCE: TAX MAP SECTION 60.13, BLOCK 3, LOT 14 AS SHOWN ON THE TAX MAP OF THE VILLAGE OF UPPER NYACK
- OWNER: VALLEX HERARD, 514 N. BROADWAY, UPPER NYACK NY 10960
- SURVEY METES AND BOUNDS TAKEN FROM SURVEY BY EDWARD T. GANNON, DATED MAY 13, 2021.
- DISTRICTS ZONING: R-20 SCHOOL: NYACK UNIFIED SCHOOL DISTRICT FIRE: NYACK WATER: UPPER NYACK LIGHTING: SEWER:
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND DOES NOT REQUIRE APPROVAL SPECIFIED BY SECTION 239 OF THE NEW YORK GENERAL MUNICIPAL LAW.
- ALL NEW UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND.
- IRON PINS, 3/4" IN DIAMETER AND MINIMUM 30" LONG, SHALL BE INSTALLED AT ALL LOT CORNERS AFTER FINAL GRADING.
- PLAN IS SUBJECT TO ALL STATE, COUNTY AND LOCAL CONSTRUCTION AND UTILITY STANDARDS AS APPLICABLE.
- THE BUILDER SHALL COMPLY WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL".
- RETAINING WALLS SHALL BE DESIGNED BY AN ENGINEER LICENSED IN THE STATE OF NY AND DESIGN SHALL BE SUBMITTED FOR REVIEW WITH THE APPLICATION FOR BUILDING PERMIT. CERTIFICATION OF CONSTRUCTION IN ACCORDANCE WITH THE DESIGN, BY A NYS LICENSED PROFESSIONAL ENGINEER, SHALL BE SUBMITTED PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY.
- SITE PLAN APPROVAL FOR THIS APPLICATION WAS GRANTED BY RESOLUTION OF THE VILLAGE OF UPPER NYACK PLANNING BOARD DATED ____ ONCE THIS SITE PLAN IS SIGNED BY THE PLANNING BOARD CHAIR, IT SHALL EXPIRE IF:
 - A BUILDING PERMIT HAS NOT BEEN ISSUED FOR CONSTRUCTION IN ACCORDANCE WITH AN APPROVED SITE PLAN WITHIN 18 MONTHS OF THE DATE THAT THE SITE PLAN WAS SIGNED BY THE PLANNING BOARD CHAIR OR IF ALL IMPROVEMENTS PERMITTED OR REQUIRED BY THE SITE PLAN APPROVAL ARE NOT COMPLETED AND A CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF COMPLIANCE HAS NOT BEEN ISSUED WITHIN 2 YEARS OF THE DATE THAT THE BUILDING PERMIT IS ISSUED, UNLESS EXTENDED PURSUANT TO VILLAGE OF UPPER NYACK ZONING LAW (LOCAL LAW #5 OF 2022 AS AMENDED), §10.4.1.2.
 - THIS SITE PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS, ORDINANCES AND SPECIFICATIONS OF THE VILLAGE OF UPPER NYACK.
 - NO OUTDOOR LIGHTING SHALL PRODUCE ILLUMINATION BEYOND THE BOUNDARIES OF THE LOT ON WHICH IT IS LOCATED, AND LIGHT SOURCES SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
 - ANY CHANGES OR MODIFICATIONS TO THIS SITE PLAN REQUIRE AMENDED SITE PLAN APPROVAL FROM THE VILLAGE OF UPPER NYACK PLANNING BOARD.
 - THE CONTINUED VALIDITY OF ANY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE FOR THE IMPROVEMENTS DEPICTED ON THIS PLAN SHALL BE SUBJECT TO CONTINUED CONFORMANCE WITH THIS SITE PLAN AND THE CONDITIONS HERETO.
 - ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
 - THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

REVISION NOTE 1:

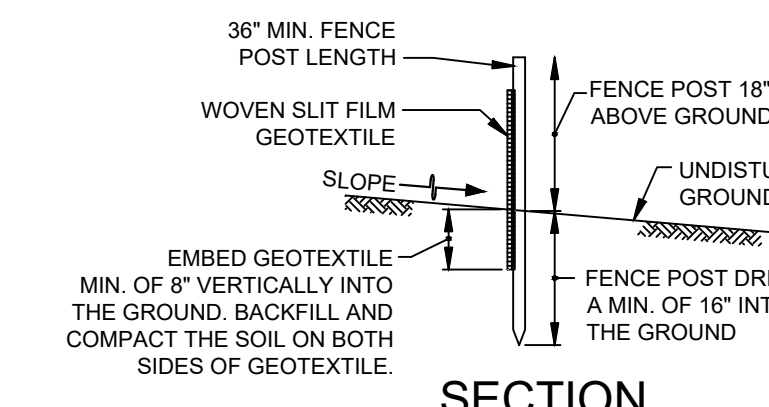
THE PREVIOUSLY APPROVED SITE PLAN HAS BEEN REVISED TO SHOW A NEW DECK WITH HOT TUB AND A NEW STAIR TO REPLACE THE EXISTING BETWEEN THE POOL AND THE STORAGE STRUCTURE WITH THE EXISTING DECK ON TOP. THE PROPOSED SPIRAL STAIR HAS BEEN REPLACED WITH A WOODEN LINEAR STAIR IN THE SAME LOCATION AS THE EXISTING STAIR.

REVISION NOTE 2:

THE PREVIOUSLY APPROVED SITE PLAN HAS BEEN REVISED TO SHOW A NEW ROOF DECK WITH SHADE STRUCTURE ABOVE THE NEW GARAGE AND A NEW SPIRAL STAIR TO THE BACK YARD. THE GENERATOR HAS BEEN MOVED TO THE NORTH SIDE OF THE HOUSE.



NOTE: CONSTRUCT SILT FENCE AROUND AREA TO BE DISTURBED DURING CONSTRUCTION, INCLUDING TEMPORARY SOIL STOCKPILE AREA. COMPLETELY & SEPARATELY ENCLOSE TEMPORARY SOIL STOCKPILE



3 SILT FENCE DETAIL

A-0 1/2" = 1'-0"

HERARD RESIDENCE
INTERIOR & EXTERIOR
RENOVATIONS &
ADDITIONS

VALLEX HERARD

514 N BROADWAY
UPPER NYACK, NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

2 AMENDED SITE PLAN 2/20/24

1 SITE PLAN REVISIONS 11/17/23

ISSUED FOR BUILDING PERMIT 7/5/23

ISSUED FOR PB SIGNATURE 6/22/23

REVISIONS FOR PB MEETING 6/21/23

PLANNING BOARD SUBMISSION 4/4/23

DRAWING TITLE
**AMENDED SITE PLAN,
BULK TABLE**

PROJECT NO.	2334
DRAWN BY	MCR
SCALE	AS NOTED
DATE	FEBRUARY 20, 2024

SP-1

**HERARD RESIDENCE
NEW ROOF DECK**

VALLEX HERARD

514 N BROADWAY
UPPER NYACK, NY 10960

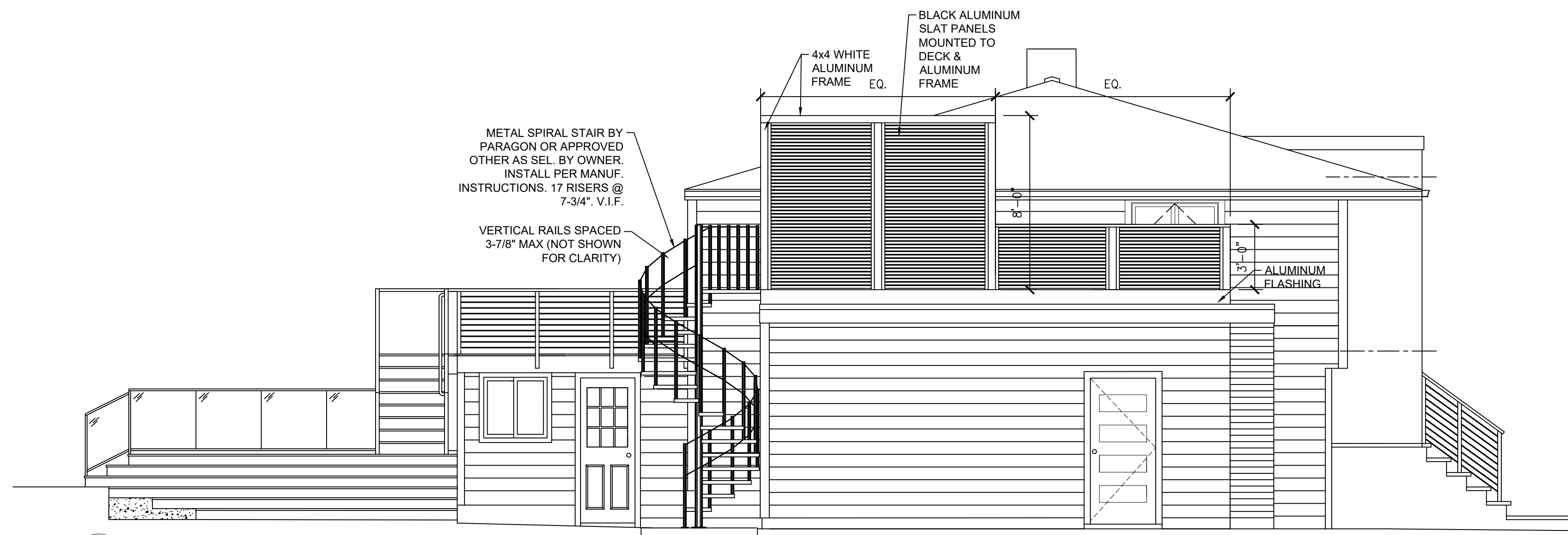
MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

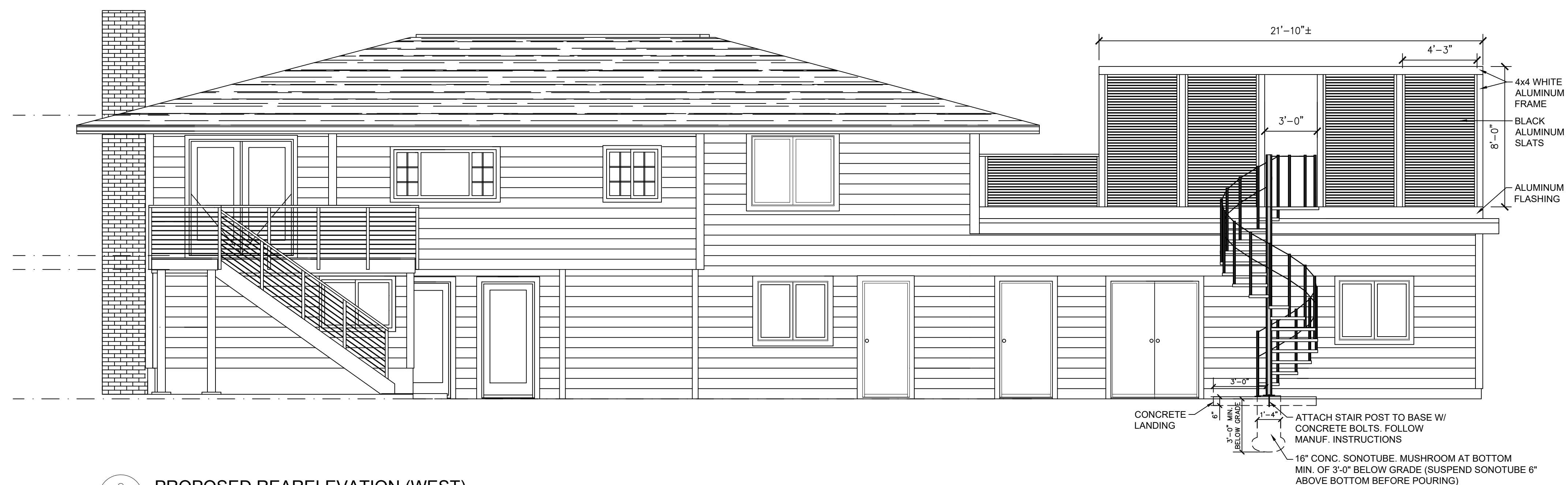
58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com



1 PROPOSED FRONT ELEVATION (EAST)
A-2 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION (SOUTH)
A-2 1/4" = 1'-0"



2 PROPOSED REARELEVATION (WEST)
A-2 1/4" = 1'-0"

DRAWING TITLE
**PROPOSED ROOF DECK
ELEVATIONS**

PROJECT NO. 2334

DRAWN BY MCR

SCALE AS NOTED

DATE JANUARY 4, 2024

A-2

**HERARD RESIDENCE
NEW ROOF DECK**

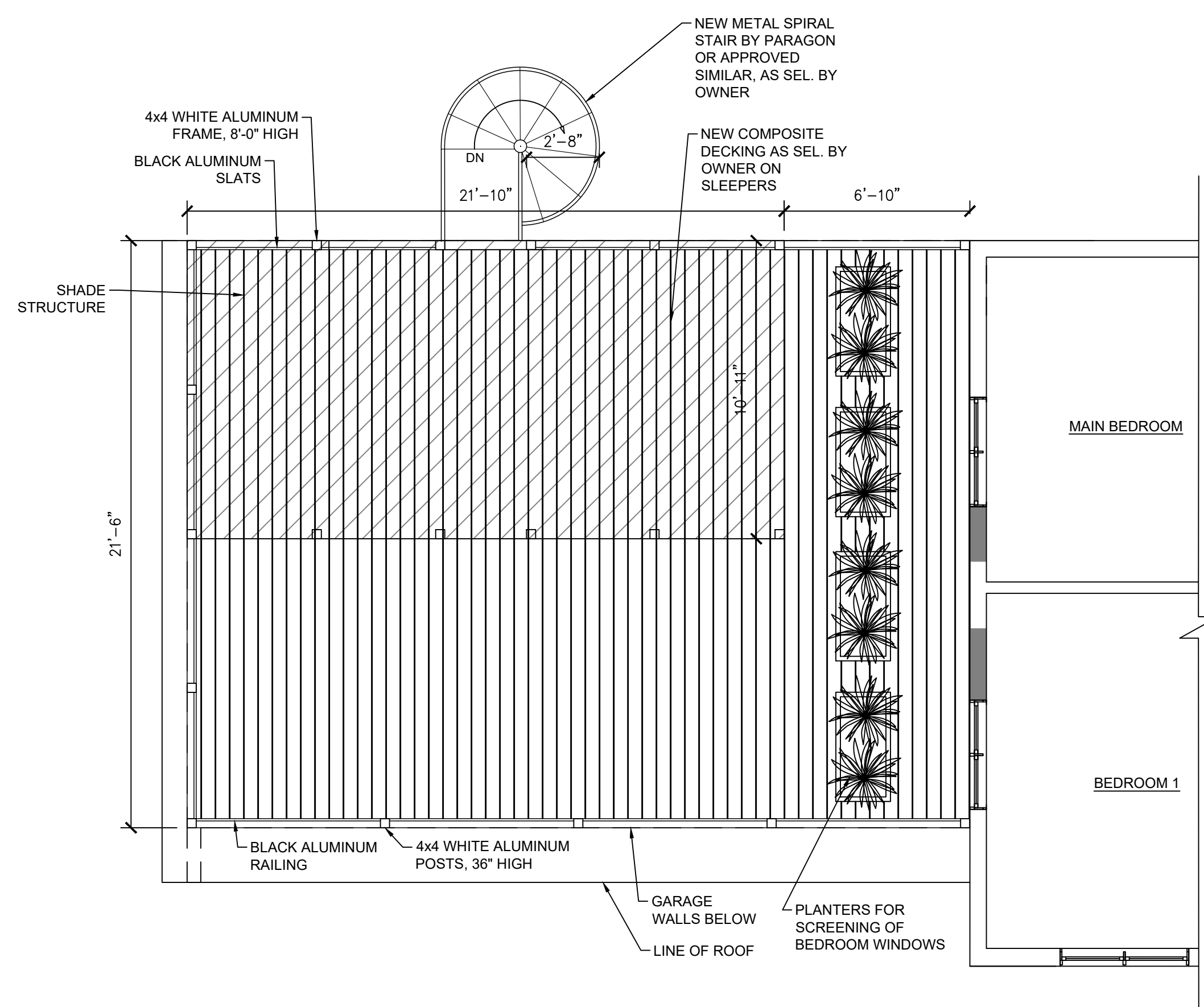
VALLEX HERARD

514 N BROADWAY
UPPER NYACK, NY 10960

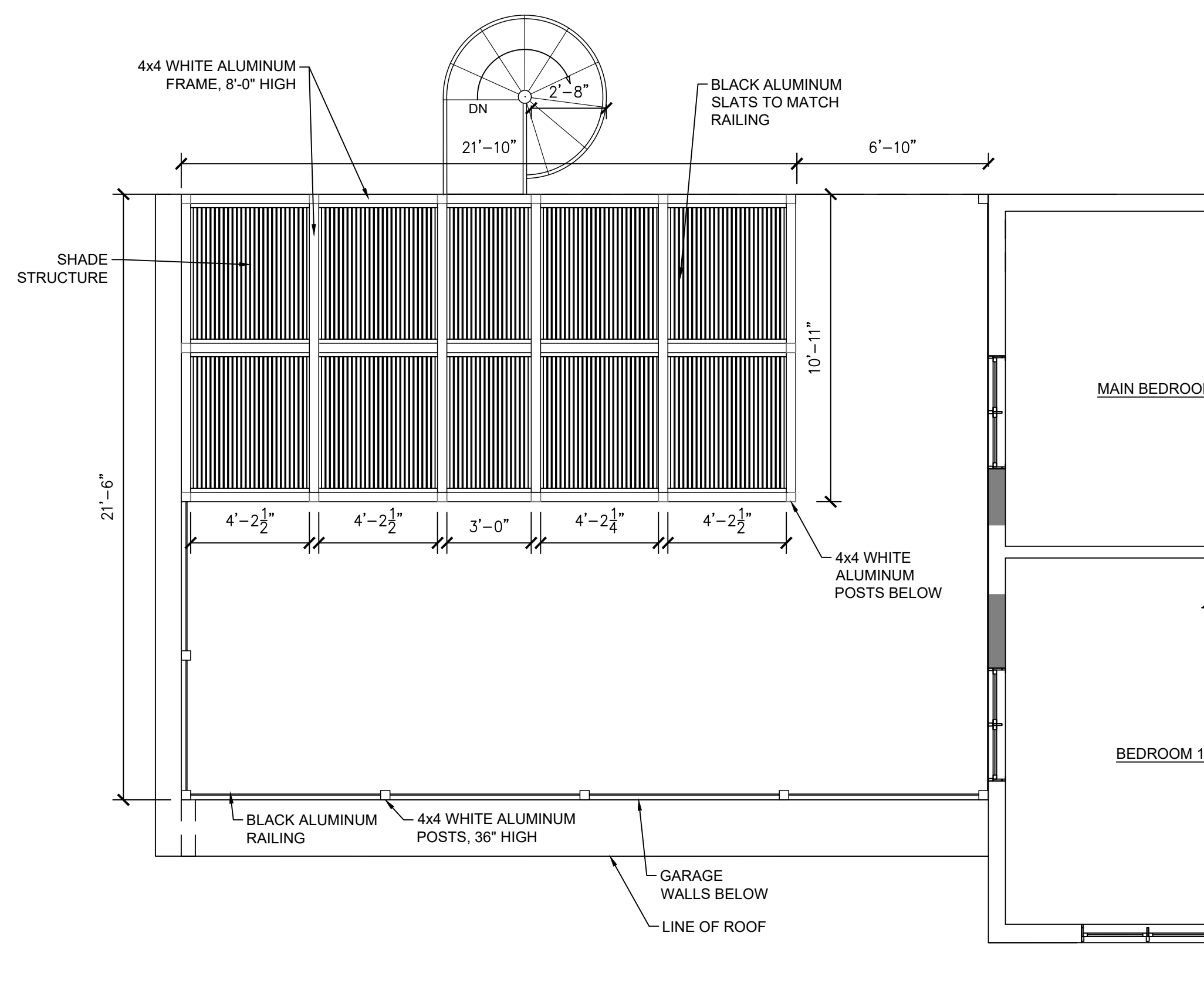
**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

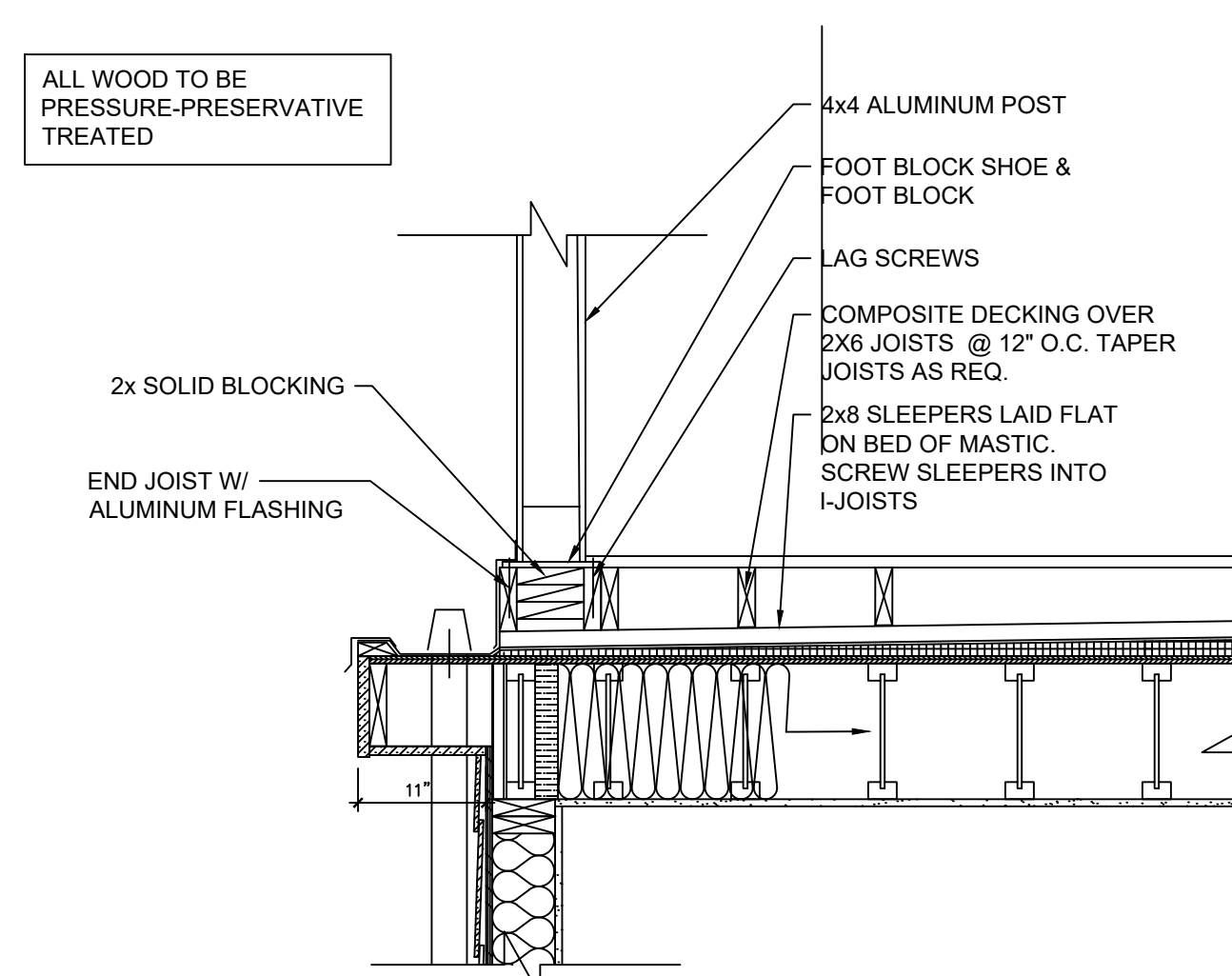
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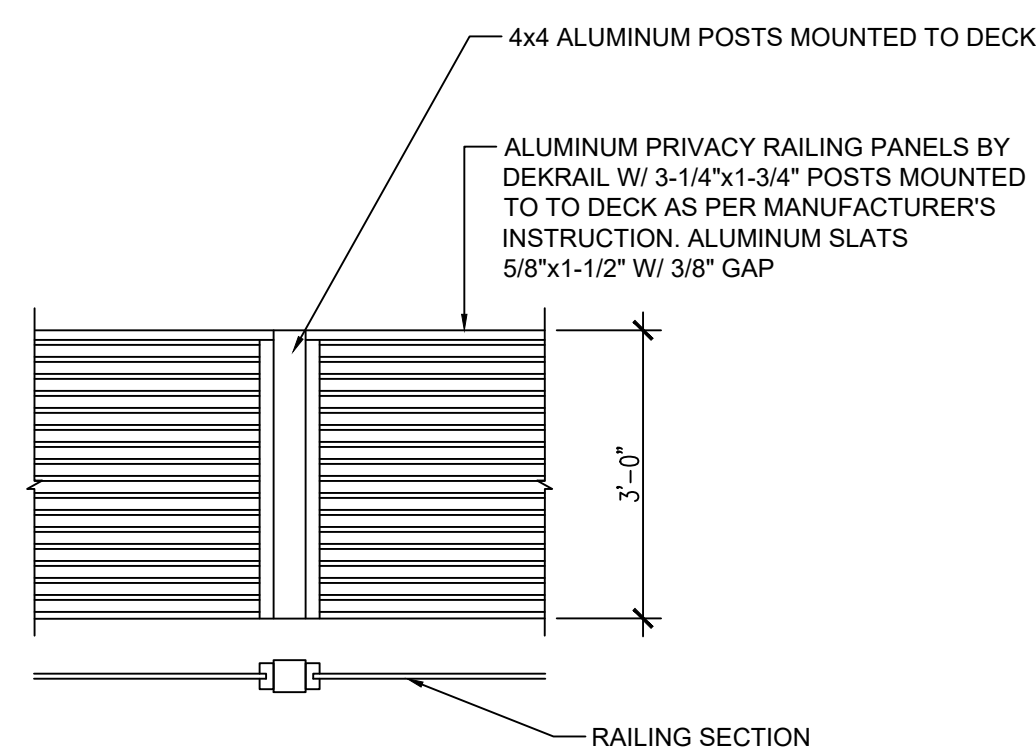
1 PROPOSED ROOF DECK PLAN
A-1 1/4" = 1'-0"



2 PROPOSED ROOF DECK SHADE STRUCTURE
A-1 1/4" = 1'-0"



3 SECTION DETAIL DECKING & POST
A-1 3/4" = 1'-0"



4 RAILING DETAIL
A-1 1/4" = 1'-0"

LUMBER, FRAMING & DECK NOTES:

1. COMPOSITE EXTERIOR DECK BOARDS SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D7032 AND THE RELATED SECTION OF THE IRC, LATEST EDITION.
2. REFER TO COMPOSITE DECKING MANUFACTURER'S GUIDELINES FOR REQUIRED SPACING OF JOISTS & DECK BOARDS.
3. FLASHING SHALL BE CORROSION-RESISTANT METAL OF NOMINAL THICKNESS NOT LESS THAN 0.019 INCH OR APPROVED NONMETALLIC MATERIAL THAT IS COMPATIBLE WITH THE SUBSTRATE OF THE STRUCTURE AND THE DECKING MATERIALS.

GENERAL NOTES

1. DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
4. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.

DRAWING TITLE
**PROPOSED ROOF DECK
PLANS & DETAILS**

PROJECT NO. 2334
DRAWN BY MCR
SCALE AS NOTED
DATE JANUARY 4, 2024

A-1

Maren Robertson
Architect
58 Washington Street
Nyack, NY 10960
845-553-5525
marencr@yahoo.com

April 1, 2024

514 N Broadway
Architectural Review Board Meeting

Narrative

The owner of the property at 514 N Broadway would like to add a roof deck above the new garage with a shade structure over roughly half of the roof area. A metal spiral stair will provide access from the back yard.

The decking material will match the Trex decking proposed for the existing and new decks on the north-west corner of the house.

Besides providing additional usable outdoor space the owner wants to balance the house by adding a structure to the garage roof. The black and white color scheme matches the rest of the house. The proposed railing has white aluminum posts with black privacy panels consisting of 3-1/4" slats with a 3/8" gap. The shade structure has a white aluminum frame with black slats to match the railing.

The garage roof was designed with the option of a possible future second floor and is structurally capable of supporting a roof deck.

Thank you for your consideration!

514 N BROADWAY



Front Elevation (East)



Side Elevation (South)



Rear Elevation (West)



Side Elevation (North)

514 N Broadway



Gara South-East View



Front Elevation (East)

514 N BROADWAY



515 N Broadway – Neighbor across the street



510 N Broadway – Neighbor to the South



518 N Broadway – Neighbor to the North

**VILLAGE OF UPPER NYACK
ARCHITECTURAL REVIEW BOARD
EXTERIOR FINISH SCHEDULE¹**

PROJECT NAME: Herard Residence

DATE: April 1, 2024

Element	Materials	Finish	Manufacturer (Mfg)	Mfg Style Name/#	Mfg Color Name/#
Foundation	Concrete	parged & painted			white
Front Porch	Wood	stained			brown
Railings	Aluminum posts & slats	powder coated			white posts & black slats
Siding	Fiber cement board	smooth	James Hardie	Hardie Plank Lap Siding	artic white
Window Shutters	n/a				
Windows	Wood	cladded	Andersen	400 Series	black
Doors	Fiberglass/Glass	Mahogany grain texture	Steves	Regency Modern 5 lite	onyx
Trim	Fiber cement board	smooth	James Hardie	smooth	iron grey
Decking	Composite	Wood grain pattern	Trex		grey
Garage Doors	Aluminum/Glass	Anodized/Laminated	Clopay	Avante Model AX	Black Alum./White Glass
Fascia	Existing Aluminum	painted			white
Gutters	Existing aluminum	painted			white
Louvers					
Roofing	Existing asphalt shingles				dark grey
Chimney	existing brick	painted			white
Stack Vents	metal				grey
Retaining Walls	existing brick	parged			grey

¹ FENCE AND SIGN PERMIT APPLICATIONS DO NOT REQUIRE A FINISH SCHEDULE, BUT INFORMATION ABOUT ALL MATERIALS, COLORS, AND, FOR SIGNS, MANNER OF ILLUMINATION, IF ANY, SHOULD BE PROVIDED IN THE FORM OF MANUFACTURER SPECIFICATIONS OR EQUIVALENT DOCUMENTS.

ATTACH A SEPARATE SCHEDULE IF MORE SPACE IS NEEDED FOR ANY ITEM.

