

**VILLAGE OF UPPER NYACK
ARCHITECTURAL REVIEW BOARD**

boardsecretary@uppernyack-ny.us | 845-358-0084

APPLICATION PACKET

**USE THIS APPLICATION FOR ALL APPLICATIONS
TO THE ARCHITECTURAL REVIEW BOARD OTHER
THAN WIRELESS TELECOMMUNICATION PERMIT
APPLICATIONS AND ROOF-MOUNTED SOLAR
APPLICATIONS**

APPLICATION PACKET CONTENTS

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SUBMITTAL REQUIREMENTS

SEE SUBMISSION CHECKLIST IN THIS PACKET FOR SUBMISSION REQUIREMENTS

ALL PLANS MUST BE COLLATED, STAPLED & FOLDED WITH THE TITLE BLOCK SHOWING. PLANS THAT DO NOT MEET THESE REQUIREMENTS WILL BE REJECTED.

SUBMISSION CHECKLIST

ARCHITECTURAL REVIEW BOARD

ALL PLANS MUST BE COLLATED, STAPLED & FOLDED WITH THE TITLE BLOCK SHOWING PLANS THAT ARE NOT COLLATED, STAPLED & FOLDED WILL BE REJECTED

INCLUDED	WAIVER REQUESTED	DESCRIPTION	# OF COPIES
x		A completed Submission Checklist (this form)	1
x		A completed General Municipal Law Section 809 Disclosure Form	1
X		Application Fee- See Upper Nyack Fee Schedule Notice Sign Fee- See Upper Nyack Fee Schedule	1
x		A completed Village of Upper Nyack Contact Form	1
X		* A completed Village of Upper Nyack Architectural Review Board Application Form	8
x		* A descriptive project narrative in the form of a cover letter or separate narrative. The narrative must include, at a minimum, basic information about the property, including, but not limited to, where it is located, the existing improvements on the property, the proposed improvements, and the status of other required land use approvals.	8
X		* Site plan meeting the requirements of Zoning Law §10.5 if a building addition is proposed.	8
X		*An existing conditions plan or current survey showing all improvements on the Property prepared by a licensed land surveyor.	8
X		*Elevations of all sides of all proposed buildings or buildings proposed to be altered. For Sign applications, a detailed sign plan showing the size, height, materials, colors, and lighting of the proposed sign and the way it will be affixed to a building or structure.	8
X		*Color photographs of the subject property and all buildings and structures located thereon. These photographs should include at least one photograph of each side (north, east, south and west) of the buildings or structures on the property.	8
X		*Color photographs of buildings and structures located on adjacent properties and properties directly across the street. These photographs should be taken from the applicant's property or from the public street; applicants may <u>not</u> enter upon private property without the owner's permission in order to take such photographs.	8
		*A completed Architectural Review Board Finish Schedule Note: When available, the applicant shall bring sample materials and color swatches to the ARB meeting.	8

A PDF COPY OF ALL APPLICATION MATERIALS MARKED WITH AN * ABOVE COMBINED AS ONE PDF MUST BE SUBMITTED BY ELECTRONIC MAIL TO boardsecretary@uppernyack-ny.us. THE PDF FILE NAMES SHOULD REFERENCE THE ANTICIPATED MEETING DATE, PROPERTY ADDRESS AND BOARD (i.e. 20220420-123 N. BroadwayARB.pdf).

Stephanie Pantale

Architect

70K Chestnut Ridge Road • Montvale, New Jersey 07645 • Telephone: (201) 573-8250 • Facsimile: (201) 573-9310

3.21.24

Upper Nyack Architectural Review Board
328 N. Broadway
Upper Nyack, NY 10960

Re: Narrative
344 North Broadway
Nyack, NY 10960
60.13 _ 3 _ 56

Board Members:

Please accept the following as a narrative description of the proposed work at the above referenced address:

We are proposing a one car garage addition and an extension of the Primary Suite above the new garage with a covered porch. The existing dwelling will remain. The proposed addition will provide architectural interest while respecting and complementing the existing structure. All colors, and materials will match the existing structure.

Best Regards,



Stephanie Pantale, RA

**VILLAGE OF UPPER NYACK
LAND USE BOARD CONTACT FORM**

Project Name: 344 North Broadway
Project Street Address: 344 North Broadway Upper Nyack, NY 10960
Section: 60.13 Block: 3 Lot(s): 56 Zoning District: R-30

Applicant: Stephanie Pantale RA
Address: 70-K Chestnut Ridge Rd Montvale, NJ 076454
Phone #: 201.573.9310 Email: pantalearchitect@hotmail.com

Owner: Dr. Holly Cullen & William Zobrist
Address: 344 North Broadway
Phone #: 201.575.5509 Email: _____

Design Professional: Isis Perez, Associate
Address: 70-K Chestnut Ridge Rd Montvale, NJ 076454
Phone #: 201.562.7109 Email: isispz@msn.com

Design Professional: _____
Address: _____
Phone #: _____ Email: _____

Design Professional: _____
Address: _____
Phone #: _____ Email: _____

Attorney: _____
Address: _____
Phone #: _____ Email: _____

Other Representative (specify) _____
Address: _____
Phone #: _____ Email: _____

VILLAGE OF UPPER NYACK
ARCHITECTURAL REVIEW BOARD APPLICATION FORM

Project Name: 344 North Broadway

Applicant Name: STEPHANIE PANTALE

Project Street Address: 344 NORTH BROADWAY UPPER NYACK, NY10960

Section: 60.13 Block: 3 Lot(s): 56 Zoning District: R-30

Application is for (check all that apply):

New building/structure or addition or alteration

Modification to windows/doors or other façade elements other than additions or alterations

Demolition of building/structure built before January 1, 1970

Sign Permit

Other (describe) _____

Description of Proposed Project:

Proposed 1 car garage addition to existing dwelling and extended primary suite and covered porch over proposed garage.

Are approvals from the Village of Upper Nyack Planning Board or Zoning Board of Appeals required as a part of this project? Yes No

If yes, describe:

N/A

Have any Planning Board, Architectural Review Board or Zoning Board of Appeals Approvals been granted or denied for the Property in the past 10 years? Yes No

If yes, list all prior approvals and denials?

N/A

COMPLETE FOR APPLICATIONS FOR THE SUBSTANTIAL DEMOLITION OF A BUILDING THAT WAS CONSTRUCTED BEFORE JANUARY 1, 1970

1. The year the building was built: 1976
2. Have there been any significant renovations to the building, if so explain when they occurred and the scope of the renovation.

UNKNOWN

3. The name of the architect, engineer, builder or other design professional who designed or implemented the construction of the building, if available.

UNKNOWN

4. Is the property, structure or building identified in the most recent Village Comprehensive Plan as being historically or architecturally significant?

Yes No

5. Is the building being substantially demolished located wholly or partially within, or substantially contiguous to, any historic building, structure, facility, or site that is listed on the National Register of Historic Places or the State Register of Historic Places or that has been determined by the Commissioner of the New York State Office of Parks Recreation and Historic Preservation to be eligible for listing on the State Register

Yes No

If yes, provide the name of the historic building, structure, facility, or site:

N/A

6. Provide additional information sufficient to allow the ARB to evaluate whether the building is historically or architecturally significant according to the criteria for such evaluation set forth in Village of Upper Nyack Local Law 7 of 2021, Section 3.6.2.

VILLAGE OF UPPER NYACK

GENERAL MUNICIPAL LAW 809 STATEMENT

APPLICATION NAME: 344 North Broadway

APPEARING BEFORE (CIRCLE ALL THAT APPLY):

- PLANNING BOARD ARCHITECTURAL REVIEW BOARD
ZONING BOARD OF APPEALS BOARD OF TRUSTEES

STATE OF NEW YORK) ss:
COUNTY OF ROCKLAND)

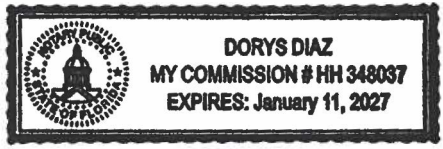
Stephanie Pantale, being duly sworn, deposes and says:
(deponent name)

- 1. Your deponent is over 18 years of age and (resides at) or (maintains an office at) [circle one]:
70-K Chestnut Ridge Road Montvale NJ 07645
2. Deponent is the (a) applicant, (b) one of the applicants, (c) officer of applicant
(A) APPLICANT (state office held), (d) partner or principal in applicant.
[circle applicable status].
3. To deponent's knowledge, the following state, county, Town of Clarkstown or Village of Upper Nyack
officers or employees have an interest in the applicant as defined in General Municipal Law § 809 (for
each person identified state his or her name, residence address and the nature and extent of his or her
interest in the applicant; if none, so state):

[Handwritten signature and notary seal]

Sworn to before me this 21st day of March 2024.

[Handwritten signature of Notary Public, Dorys Diaz]



NEW YORK GENERAL MUNICIPAL LAW

§ 809. DISCLOSURE IN CERTAIN APPLICATIONS

1. Every application, petition or request submitted for a variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions of any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
2. . For the purpose of this section an officer or employee shall be deemed to have an interest in the applicant when he, his spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them:
 - (a) is the applicant, or
 - (b) is an officer, director, partner or employee of the applicant, or
 - (c) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
 - (d) is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition or request.
3. [SECTION OMITTED (applies only in Nassau County)]
4. Ownership of less than five per cent of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
5. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

**VILLAGE OF UPPER NYACK
ARCHITECTURAL REVIEW BOARD
EXTERIOR FINISH SCHEDULE¹**

PROJECT NAME: **344 North Broadway**

DATE: **3.21.2024**

Element	Materials	Finish	Manufacturer (Mfg)	Mfg Style Name/#	Mfg Color Name/#
Foundation	CMU				CEMENT PLASTER
Front Porch	EXISTING				
Railings	WOOD	PAINTED			WHITE
Siding	CEDAR SHAKES	PAINTED			MATCH EXISTING
Window Shutters	N/A				
Windows	CLAD/WOOD		ANDERSEN	400 SERIES DBL HUNG	WHITE TO MATCH EXIST'G
Doors	FIBERGLASS	WOOD FINSH	THERMA-TRU	T.B.D.	
Trim	MATCH EXIST'G	PAINTED			MATCH EXIST'G
Decking	COMPOSITE DECKING		Timbertech		T.B.D.
Garage Doors	STEEL/COMPOSITE		Clipay		WHITE
Fascia	MATCH EXIST'G				
Gutters	MATCH EXIST'G				
Louvers					
Roofing	ASPHALT ROOF		MATCH EXIST'G		MATCH EXIST'G
Chimney	BRICK				
Stack Vents	PVC				
Retaining Walls	N/A				

¹ FENCE AND SIGN PERMIT APPLICATIONS DO NOT REQUIRE A FINISH SCHEDULE, BUT INFORMATION ABOUT ALL MATERIALS, COLORS, AND, FOR SIGNS, MANNER OF ILLUMINATION, IF ANY, SHOULD BE PROVIDED IN THE FORM OF MANUFACTURER SPECIFICATIONS OR EQUIVALENT DOCUMENTS.

ATTACH A SEPARATE SCHEDULE IF MORE SPACE IS NEEDED FOR ANY ITEM.

PUBLIC HEARING AND LEGAL NOTICE (ZONING LAW §11.5)

The Planning Board, ARB and ZBA are required to hold a public hearing on most of the applications they receive. The Village will cause notice of the hearing to be published in The Journal News at least 5 days before the date of the hearing.

The Applicant is required to provide notice of the public hearing as follows:

NEIGHBOR MAILING: The Applicant must mail the hearing notice to all owners of property located within 200 feet of the property that is the subject of the application (including properties within 200 feet of the subject property and located outside of the Village, if applicable). The Secretary to the Land Use Boards will provide the notice and the list of adjoining property owners to the Applicant. The notice must be sent by U.S. First Class Mail with a Certificate of Mailing **at least 5 days before the public hearing.** At least 2 business days before the public hearing, the Applicant must file proof of mailing of such notice with the the Secretary to the Land Use Boards, which shall consist of: (i) a completed United States Postal Service Certificate of Mailing; (ii) an affidavit of mailing stating the date the notice was mailed and the names and addresses of the persons served with the notice; and (iii) all envelopes that were returned to the Applicant as undeliverable prior to the hearing. **Unless otherwise directed, the notice mailing need only be completed prior to the first session of the public hearing before the board; no additional notice mailing is required if the hearing is adjourned to a subsequent meeting.**

NOTICE SIGNS: The Applicant must post two notice signs provided by the Secretary to the Land Use Boards on the lot which is the subject of the application **at least 5 days before the public hearing** and must maintain the posted sign(s) in place until the applicable Board has rendered its final decision on the application. The sign(s) must be posted not more than 10 feet from each boundary of the lot that abuts a public street and must be visible to the public. The bottom edge of each sign so erected must be approximately 14 inches (but not more than 36 inches) above the ground. If the subject property abuts more than one road, additional signs shall be posted facing each public street on which the property abuts. If the property does not abut a public street, the Zoning Inspector will advise as to where the notice signs should be posted.



Smarter Solar

Solar System Investment Proposal

Custom Prepared For:
William Zobrist
344 North Broadway Nyack, NY 10960
1/29/24



Prepared by:

David Kowalsky 347-201-5723 - DavidK@GoPowerSolutions.com

Expiration Date:

Cred Humn

2/8/24

PSSBA JSM 8.27A





What Makes Us Different

SMART SOLAR ADVANTAGE

25 Year Manufacturer Warranty

Equipment

Active Monitoring

Power Solutions tech monitor alerts on your system for prompt attention

Consumption Monitoring (Where available)

Beyond traditional solar monitoring, consumption monitoring keeps track of energy usage AND solar production

25 Year Installation Warranty

For peace of mind for the life of the system

25 Year Roof Penetration Warranty

Low Penetration Racking and Flashing

Get rid of potential roof issues with our exclusive racking and flashing system

Dedicated Quality Assurance Team and Post Installation Care

Post installation inspection and in-service consultation

No Cost Critter Guards

Protects your system from unwanted critters.

No Bait and Switch Tactics

We use our best efforts to give you an accurate proposal from the beginning, so there are no surprises after site survey.

Prepared by:

David Kowalsky 347-201-5723 - DavidK@GoPowerSolutions.com

Expiration Date:

FINANCE

2/8/24

PSSBA JSM 8.27A



Your Custom System Design

ESTIMATED ANNUAL USAGE (kWh) 14,800

SYSTEM SIZE (kW) 18.45

YEAR 1 PRODUCTION (kWh) 15,129

Lifetime Savings **\$96,744.61**

Your installation uses the latest in solar technology.

COMPONENTS



Solar Panels:
45 Q-CELL 410 BOB

ANNUAL PRODUCTION

45	15,128kWh	102%
Panels	Energy	Energy Offset



Inverters:
Enphase IQ Series

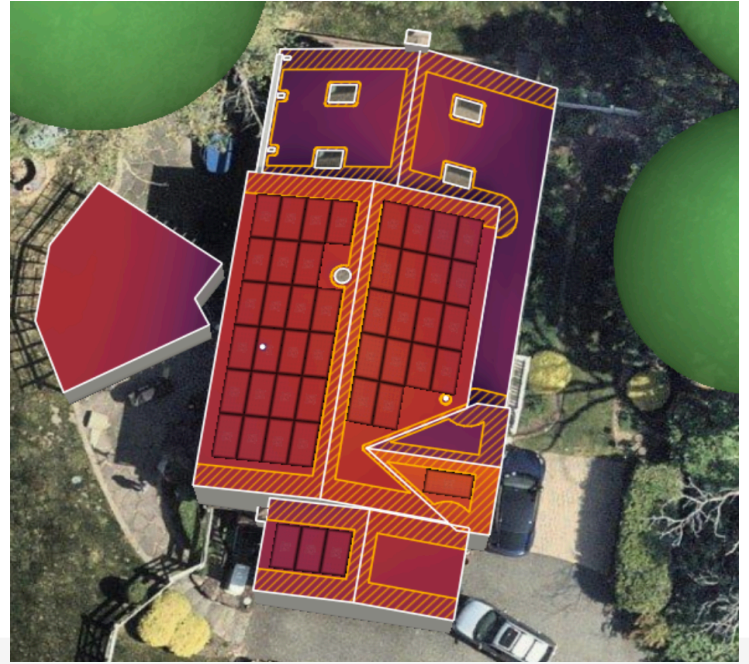
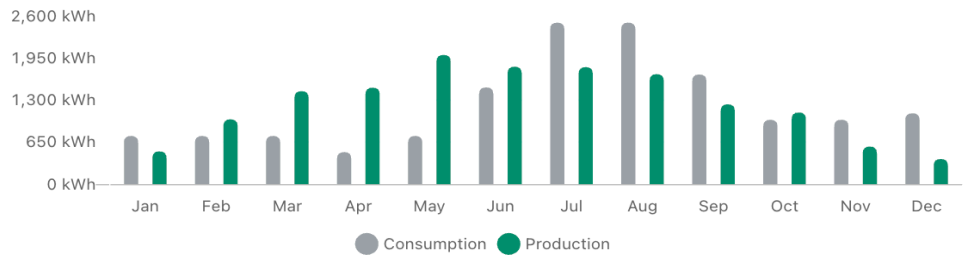


Racking:
Iron Ridge



Crittter Guards

MONTHLY PRODUCTION (KWH)



Environmental Benefits

Your system prevents...

9.08 tons of CO2 from going into the atmosphere, per year.



which is equal to..

Planting 363 trees, per year.



or..

1,304,211 fully charged smartphones, per year.



Prepared by:

David Kowalsky 347-201-5723 - DavidK@GoPowerSolutions.com

Expiration Date:

FINANCE

2/8/24

PSSBA JSM 8.27A

TAX LOT 60.13-3-51
N. OR F. GAMELSKY

TAX LOT 60.13-3-52
N. OR F. BAERE

TAX LOT 60.13-3-53
N. OR F. RUSCITTO

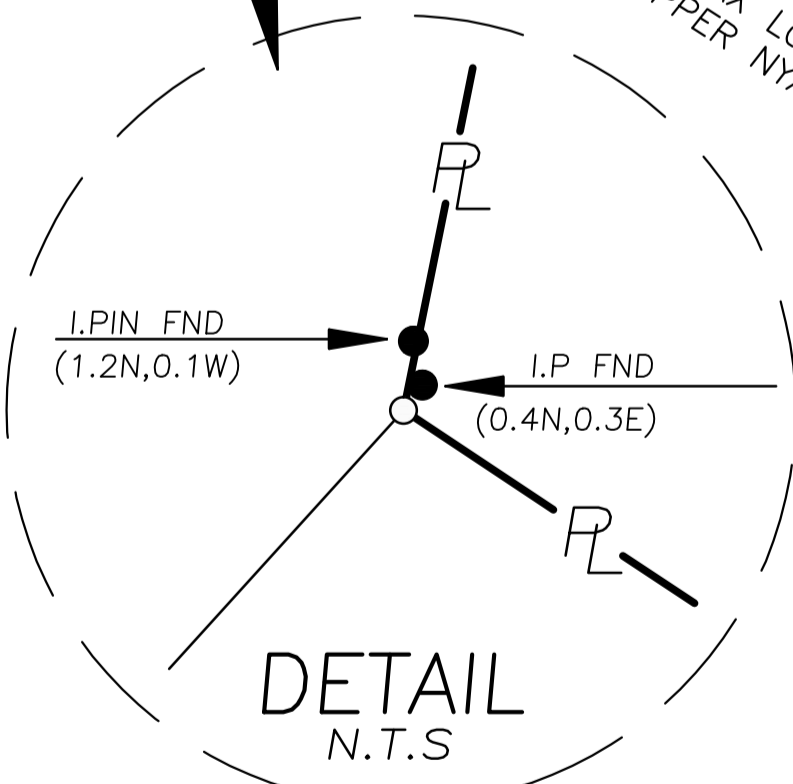
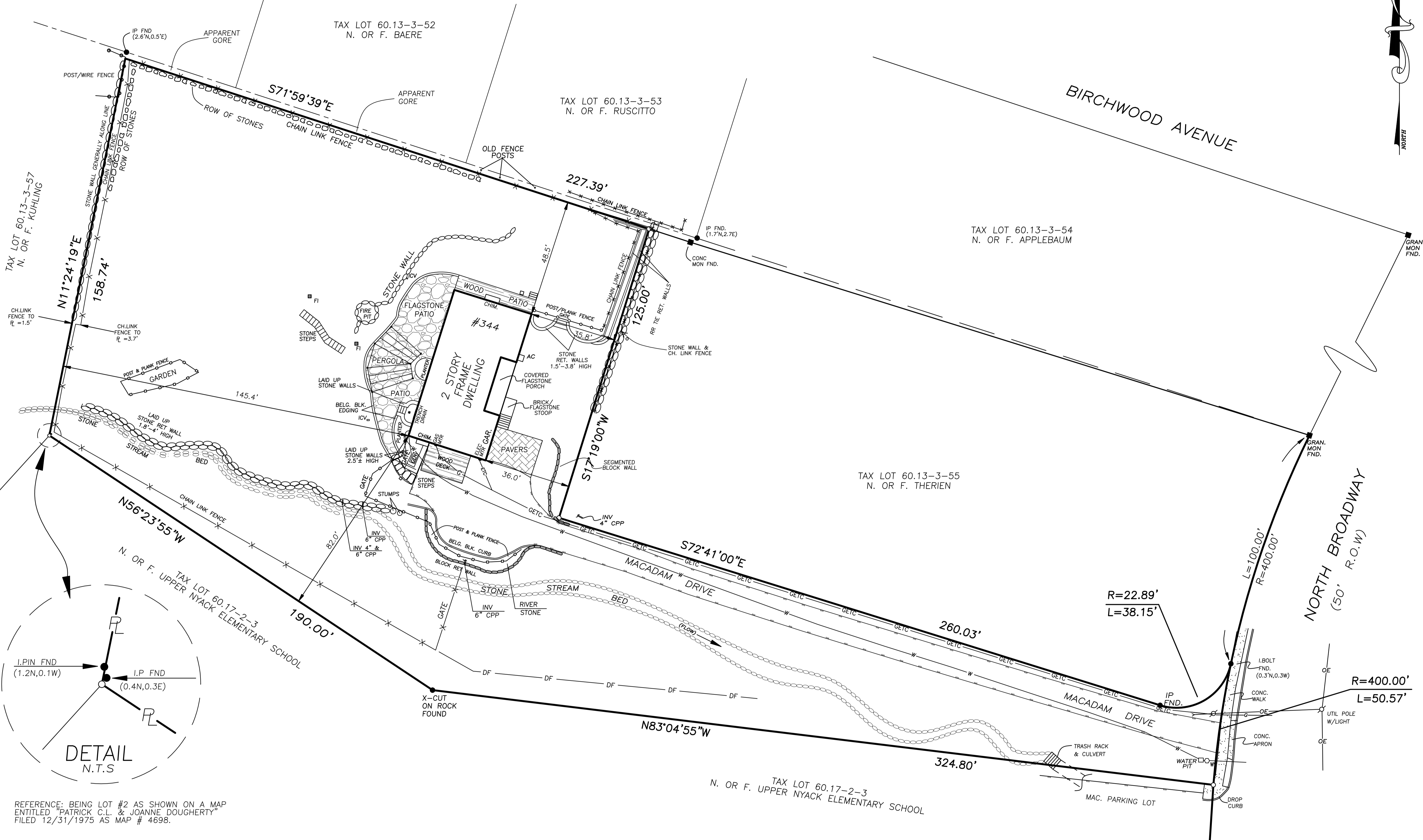
TAX LOT 60.13-3-54
N. OR F. APPLEBAUM

TAX LOT 60.13-3-55
N. OR F. THERIEN

TAX LOT 60.17-2-3
N. OR F. UPPER NYACK ELEMENTARY SCHOOL

BIRCHWOOD AVENUE

NORTH BROADWAY
(50' R.O.W)



REFERENCE: BEING LOT #2 AS SHOWN ON A MAP ENTITLED "PATRICK C.L. & JOANNE DOUGHERTY" FILED 12/31/1975 AS MAP # 4698.

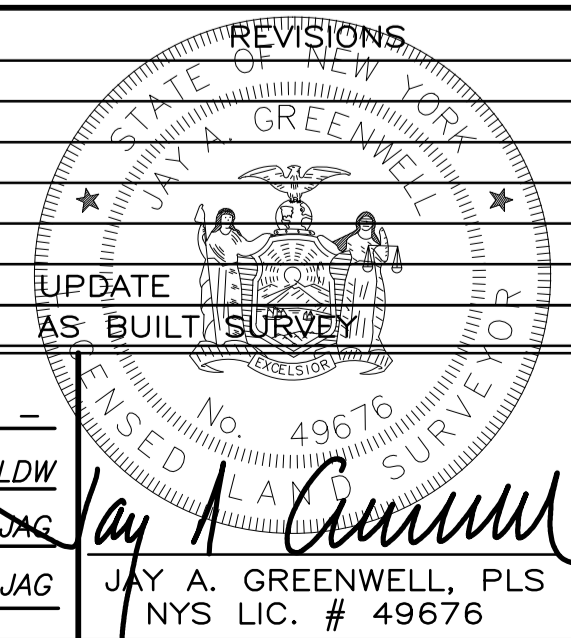
LEGEND

- FIELD INLET
- EDGE OF PAVEMENT
- CONCRETE CURB
- GAS LINE/ VALVE
- WATER LINE / VALVE
- GAS, ELEC, TEL & CABLE (UNDERGROUND)
- UTILITY POLE
- LIGHT POLE
- OVERHEAD/UNDERGROUND ELECTRIC
- CORRUGATED PLASTIC PIPE
- IRRIGATION CONTROL VALVE

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION HEREON IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. EASEMENTS OR RIGHTS OF WAY, EITHER ON OR BELOW THE SURFACE OF THE GROUND, EVIDENCE OF WHICH IS NOT VISIBLE IN THE FIELD OR FOR WHICH DOCUMENTATION IS NOT PROVIDED, ARE NOT SHOWN. UTILITIES ARE NOT SHOWN UNLESS MARKED IN THE FIELD. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS SURVEY NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYOR ARE NOT VALID. CERTIFICATIONS ARE SUBJECT TO A CURRENT AND COMPLETE TITLE SEARCH.

CERTIFIED TO:
 • WILLIAM ZOBRIST
 • HOLLY CULLEN

DATE	REVISIONS
04/12/23	UPDATE
11/14/18	AS BUILT SURVEY
DESIGNED	
DRAWN	LDW
CHECKED	JAG
APPROVED	JAG



SURVEY OF PROPERTY FOR
ZOBRIST & CULLEN
 VILLAGE OF UPPER NYACK
 ROCKLAND COUNTY, NEW YORK
JAY A. GREENWELL, PLS, LLC
 LAND PLANNING - LAND SURVEYING
 34 WAYNE AVENUE, SUFFERN, NEW YORK 10901
 PHONE 845-357-0830 GREENWELLPLS@AOL.COM
 © 2023 JAY A GREENWELL, PLS, LLC

TAX LOT #	60.13-3-56
AREA	55,670 SF
FILE	2848AB
SCALE	1" = 30'
DATE	11/11/08
JOB NO.	2848

DRAWING INDEX

- ARCHITECTURAL:
A0 TITLE SHEET & GENERAL NOTES
A1 FOUNDATION PLAN
A2 FIRST FLOOR PLAN
A3 ROOF PLAN & BRACING NOTES
A4 ELEVATIONS
A5 ELEVATIONS, BUILDING SECTION & WALL SECTION
A6 REFLECTED CEILING PLANS & PLUMBING RISER DIAGRAM

CODE DATA

BUILDING INFORMATION:
STRUCTURE:
MASONRY FOUNDATION WALLS, WOOD FRAMING
BEAMS, WOOD FLOOR, WALL and ROOF FRAMING
UTILITIES:
GAS, ELECTRIC AND WATER
BUILDING CODE:
THIS PROJECT HAS BEEN DESIGNED UNDER THE FOLLOWING CODES:

Table with 2 columns: Building Code, Description. Includes codes for International Residential Code, International Mechanical Code, International Fuel Gas Code, International Energy Conservation Code, ASHRAE 90.1-2016 Commercial, and National Standard Plumbing Code.

VOLUME(ADDITION): 7,260 CU FT

LIFE SAFETY SYSTEM:

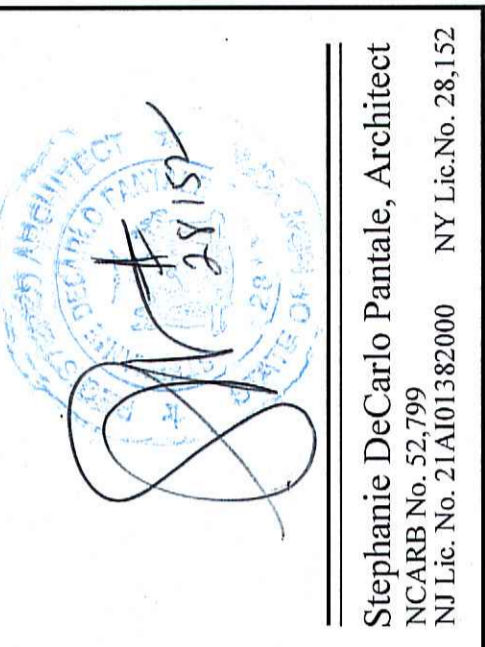
SMOKE DETECTION SYSTEM: X YES
CARBON MONOXIDE DETECTION SYSTEM: X YES

ENERGY CODE DATA - Rescheck is the alternative for documenting energy subcode compliance as per UCC Bulletin 15-4
INSULATION:
- WALLS R-15 HD (4" WALLS) R-21 HD (6" WALLS)
- FLAT CEILINGS R-30 MINIMUM
- CATHEDRAL CEILINGS R-49 MINIMUM
- FLOORS ABOVE UNHEATED SPACE R-38 MINIMUM

ALL JOINTS AROUND WINDOWS, DOORS, FOUNDATIONS, ETC. SHALL BE CALLED.
ALL GLASS SHALL BE INSULATED (THERMO-pane) LOW E OR EQUAL WITH A U-VALUE OF 0.2

ZOBRIST & CULLEN RESIDENCE
Lot: 60.13-3 56
344 North Broadway
Nyack, New York 10960

Stephanie De Carlo Pantale Architect
70-K Chestnut Ridge Rd. Montvale, N.J. 07645
Tele: (201) 573-8250
Fax: (201) 573-9310



GENERAL OUTLINE SPECIFICATIONS

1.1 GENERAL CONDITIONS
THIS IS A BUILDER'S PLAN AND ARCHITECTURAL SERVICES PROVIDED ON THESE DRAWINGS IS LIMITED TO THE ARRANGEMENTS, DIMENSIONS, STRUCTURAL DESIGN AND CONSTRUCTION DETAILS EXPLICITLY SHOWN.
1.2 THE ARCHITECT WILL NOT BE HELD RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWING, ALL CHANGES TO THIS PROJECT SHALL BE BY REVISIONS MADE TO THE PLANS OR BY WRITTEN APPROVAL OF THE ARCHITECT.
1.3 CONTRACTOR IS TO VERIFY ALL GRADES AND ESTABLISHED ELEVATIONS SHOWN PRIOR TO THE START OF CONSTRUCTION. COORDINATE SAME AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF ANY CONSTRUCTION.
1.4 THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING AND PROPOSED CONDITIONS AND DIMENSIONS AT THE SITE AGAINST THE DRAWING AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. THE START OF WORK WILL CONSTITUTE THE ACCEPTANCE OF THE DRAWINGS AND THE EXISTING CONDITIONS BY THE CONTRACTOR.
1.5 THE CONTRACTOR SHALL FOLLOW ACCEPTED TRADE PROCEDURES AND MANUFACTURER'S STANDARDS AND SHALL PRODUCE THE PROJECT IN A GOOD AND WORKMANLIKE MANNER. ALL MATERIALS ARE TO BE NEW AND CONTRACTOR SHALL NOT SUBSTITUTE ANY STRUCTURAL GRADE MATERIALS WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT.
1.6 THE GENERAL CONTRACTOR SHALL NOT DISTURB ANY EXISTING STRUCTURE OR FINISHES TO REMAIN.
1.7 THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, RE-USED OR ALTERED WITHOUT HER APPROVAL. IN ALL CASES, THESE ORIGINAL TRACINGS SHALL REMAIN IN THE ARCHITECT'S POSSESSION. DUPLICATES WILL BE ISSUES ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. DO NOT SCALE ANY DRAWINGS. CONSULT ARCHITECT ON ANY CONFLICTS OR CLARIFICATION.
1.8 THE CONTRACTOR SHALL PRODUCE ALL PERMITS REQUIRED AND PROCEED WITH THE WORK IMMEDIATELY UPON RECEIVING SAME.
1.9 GENERAL CONTRACTOR SHALL MAINTAIN THE SITE, CLEAN AND FREE OF DEBRIS. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE DAILY. CONTRACTOR SHALL PROVIDE AN ADEQUATE AMOUNT OF DUMPSTERS FOR THIS PROJECT.
1.10 CONTRACTOR MUST MAKE SURE IN THE CONTRACT WITH OWNER THAT THEY HAVE READ THROUGH THE PLANS AND SIGN OFF THAT THEY HAVE READ THE CONSTRUCTION DOCUMENTS.

2.0 SITE WORK

2.1 GENERAL CONTRACTOR SHALL FILL AND GRADE AROUND FOUNDATION AS REQUIRED BY SITE ENGINEERING. ALL FINISHED GRADES AROUND THE NEW CONSTRUCTION SHALL SLOPE DOWN AND AWAY FROM THE BUILDING AT A 1% PITCH OR AS DESIGNED BY THE SITE ENGINEER. AREA AROUND THE HOUSE OR CONSTRUCTION SHALL BE STABILIZED AS PER SITE DRAWINGS.
2.2 CONTRACTOR SHALL SHORE ALL FOUNDATIONS UNDERMINED DURING EXCAVATION FOR NEW FOUNDATION WORK UNDERPINNED AFFECTED FOUNDATIONS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE FOUNDATION AND THE SOIL BEARING CAPACITY.

3.0 CONCRETE FOUNDATIONS, FOOTINGS & SLABS

3.1 REMOVE ALL TOP SOIL, RUBBISH AND OTHER DETERIOROUS MATERIAL FROM INSIDE THE BUILDING AREA.
3.2 EXCAVATION FOR ALL FOOTING SHALL BE MADE TO THE DEPTH OF A MINIMUM OF 3'-6" BELOW FINISHED GRADE OR DEEPER IF LOCAL CONDITIONS REQUIRE.
3.3 FOOTINGS ARE DESIGNED FOR AND SHALL BE PLACED ON FIRM UNDISTURBED EARTH WITH A BEARING CAPACITY OF 2500 PSI. THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SOILS BEARING CAPACITY VERIFIED PRIOR OR DURING EXCAVATION BY A LICENSED SOILS ENGINEER.

3.4 CONCRETE FOOTINGS SHALL BE A MINIMUM OF 6" WIDER THAN EACH SIDE OF THE FOUNDATION WALL ABOVE UNLESS OTHERWISE NOTED ON THE PLANS. THE FOOTING SHALL BE A MINIMUM OF 12" DEEP. ALL FOOTINGS SHALL BE FORMED.
3.5 ALL FOUNDATION WALL FOOTINGS SHALL BE REINFORCED WITH (2) #4 CONTINUOUS REBAR. RODS SHALL BE PLACED NO CLOSER THAN 3" FROM ANY EDGE OF THE CONCRETE OR NO LESS THAN 3" FROM THE BOTTOM OF THE FOOTING.
3.6 CONSTRUCT CONCRETE FLOOR SLABS ON GRADE 4" THICK OVER POLYETHYLENE VAPOR BARRIER AND 4" THICK POROUS FILL. PLACE ALL DEEP FILLS UNDER CONCRETE SLABS IN 8" THICK LAYERS COMPACTED TO A MINIMUM DENSITY OF 95%. DO NOT POUR SLABS ON GRADE IN SECTIONS EXCEEDING 1800 SF AT ONE TIME.
3.7 CONCRETE THICKNESS IN GARAGES TO BE 4" THICK AND BE AIR ENTRAINED. PROVIDE W/ 10x10 - 6/8 FABRIC MESH.
3.8 WHERE FOOTINGS ARE STEPPED, BOTTOMS SHALL NOT BE SLOPED MORE THAN (1'-0") VERTICALLY FOR EACH (2'-0") HORIZONTALLY.
3.9 ALL CONCRETE USED SHALL BE NO LESS THAN 3000 PSI AT (28) DAYS STRENGTH. STONE AND AGGREGATE READY MIX. - DO NOT ADD ADDITIVES OR CHEMICALS (ADMIXTURES) TO THE CONCRETE.
3.10 ALL COLUMNS SHALL BE 4" DIAMETER STANDARD STEEL TUBE COLUMNS TO HOLD 40,000 PSI AND SHALL COMPLY WITH NJ UNIFORM CONSTRUCTION CODE.
3.11 THE ELECTRICAL SYSTEM WITHIN THE HOUSE SHALL BE GROUNDED TO THE #4 REBAR IN THE FOOTINGS AND SHALL COMPLY TO THE NJ UCC AMENDMENTS and the NEC (NATIONAL ELECTRIC CODE) SECTION 250-50.
3.12 UNLESS OTHERWISE NOTED ON THE FOUNDATION PLAN OF THE CONSTRUCTION DOCUMENTS, FOR 9'-0" HIGH FOUNDATION WALLS A MINIMUM OF 10" POURED CONCRETE WITH #4 REBARS @ 32" O.C VERTICALLY AND (4) CONTINUOUS HORIZONTAL #4 REBARS, (1) AT THE TOP, (1) AT THE BOTTOM AND (2) SPACED EQUALLY BETWEEN THE TOP & BOTTOM TO TIE THE VERTICALS TOGETHER.

4.0 MASONRY

4.1 LAY ALL MASONRY UNITS IN A RUNNING BOND PATTERN IN A FULL BED OF MORTAR.
4.2 CONSTRUCT FOUNDATION WALLS OF MASONRY CONCRETE BLOCKS WITH THE BOTTOM TWO BLOCK COURSES FILLED SOLID WITH CONCRETE AND KEYS TO THE FOOTINGS BELOW AND FILL SOLID THE TOP (2) BLOCK COURSES. NO OTHER TYPE OF MASONRY BLOCK UNITS SHALL BE ACCEPTED IN ANY EXTERIOR WALLS OR BEARING WALLS. ALL CONCRETE BLOCK MASONRY WALLS SHALL BE REINFORCED WITH DUR-0-WALL AT EVERY BLOCK COURSE BELOW GRADE AND EVERY OTHER BLOCK COURSE ABOVE GRADE. SEE PLANS FOR REBAR VERTICAL REINFORCING AND SPACING.
4.3 PROVIDE 1/2" THICK SOLID BRICK OR BLOCK MASONRY UNITS UNDER ALL WOOD OR STEEL GIRDER ENDS.
4.4 DAMP PROOF HOLLOW MASONRY BLOCK WALLS WITH 1/4" THICK COAT OF PORTLAND CEMENT PARGE APPLIED TO THE EXTERIOR FACE FROM JOIST TO CAP AND APPLY TWO(2) COATS OF BITUMINOUS DAMP PROOFING OVER THE CEMENT PARGE OR CONCRETE FOR BASEMENT WALLS BELOW GRADE.
4.5 PROVIDE 1/2" x 18" DIAMETER HOOKED ANCHOR BOLTS OR OR SIMPSON ANCHOR STRAPS FOR WOOD PLATES DESCRIBED IN SECTION 5.
4.6 WHEN NOT OTHERWISE SPECIFIED ON THE CONSTRUCTION DOCUMENTS-- FOR 9'-0" HIGH OF LES FOUNDATION WALLS USE 12" CONCRETE MASONRY UNITS FOR FOUNDATION WALLS WHERE THE FOUNDATION IS MORE THAN 4'-0" BELOW GRADE. FOR UNBALANCED FILL GREATER THAN 6'-0" HIGH VERTICALLY REINFORCE FOUNDATION WALL WITH #4 REBARS @ 32" O.C. AND FILL CELLS SOLID.
4.7 4" BRICK OR STONE VENEER INSTALL BRICK TIES AT 16" VERTICALLY AND HORIZONTALLY. MAINTAIN 1" AIR SPACE BETWEEN VAPOR BARRIER AND BRICK. PROVIDE WEEP HOLES AT 24" O.C. ALONG BOTTOM OF EXTERIOR WALL APPROXIMATELY 12" ABOVE FINISHED GRADE. INSTALL CONTINUOUS BLIND FLASHING AT BEHIND BRICK VENEER AT (1) BLOCK COURSE BELOW WEEPHOLES.

5.0 WOOD FRAMING

5.1 ALL LUMBER AND FASTENERS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION RECOMMENDED BY THE L.L.M.A. AND CODE STANDARDS LISTED UNDER GENERAL CONDITIONS.
5.2 ALL FRAMING LUMBER SHALL BE COAT REGION DOUGLAS FIR #2 "CONSTRUCTION GRADE" WITH A MINIMUM FIBER STRESS OF 1450 PSI.

5.3 ALL EXTERIOR SHEATHING AND SUB FLOORING SHALL BY EXTERIOR GRADE PLYWOOD TYPE C-D DOUGLAS FIR PLYWOOD.
5.4 SET ALL FLOOR JOISTS, CEILING JOISTS AND WOOD BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING POINTS SHALL BE SECURELY SPIKED TOGETHER, FIRE CUT ENDS BEARING ON MASONRY. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL ABOVE.
5.5 PROVIDE STANDARD WOOD OR METAL CROSS BRIDGING WITHIN ALL WOOD FLOOR JOISTS CONSTRUCTION AT A MAXIMUM 8'-0" ON CENTER AND SOLID CONTINUOUS BLOCKING AT JOIST ENDS.
5.6 ANCHOR SILLS AND PLATES TO MASONRY WALLS BELOW WITH A MIN. 1/2" DIA. 18" LONG STEEL HOOKED BOLTS, SPACED A MINIMUM OF 6'-0" O.C (1'-0" EACH SIDE OF CORNERS). BOLTS SHALL BE SET SOLID IN CONCRETE. PROVIDE TERMITE SHIELD AND SILL SEALER UNDER WOOD.
5.7 PROVIDE HEADERS FOR OPENINGS IN FRAMED WALLS AS FOLLOWS: (UNLESS OTHERWISE NOTED ON THE PLANS.)
FOR OPENINGS FROM 2' TO 3' - USE 2-2x8
FOR OPENINGS FROM 3' TO 5' - USE 2-2x8
FOR OPENINGS FROM 5' TO 7' - USE 2-2x10
FOR OPENINGS FROM 7' TO 8' - USE 2-2x12
5.8 SPIKE TOGETHER WITH SPACERS BETWEEN 2"x... AND FOR OPENINGS 8'-0" IN LENGTH AND OVER PROVIDE DOUBLE STUDS UNDER BOTH BEARING ENDS.
5.9 ALL DRILLING IN FLOOR JOISTS AND WOOD BEAMS FOR ELECTRICAL WIRES, PLUMBING LINES, ETC. SHALL BE MADE AT ITS CENTER LINE (NEUTRAL AXIS) OR ABOVE IT. IF ANY WOOD MEMBER SHOULD BE DRILLED BELOW ITS NEUTRAL AXIS IT WILL NEED TO BE REPLACED.
5.10 CONTRACTOR TO SUBMIT PRICE FOR CABINETS AND VANITIES AS SHOWN ON PLANS BASED ON A LINEAR FOOTAGE. STYLE AND FINISHES OF CABINETS SHALL BE SELECTED BY THE OWNER.
5.11 ALL STRUCTURAL WOOD MEMBERS EXPOSED TO WEATHER AND IN CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED WOLMANIZED LUMBER WITH GALVANIZED FASTENERS.
5.12 CONTRACTOR SHALL FIRE STOP & FIRE SAFE ALL LOCATIONS AS REQUIRED BY CODE.
5.13 CONTRACTOR SHALL INSTALL ENGINEERED I-JOIST AS PER MANUFACTURER'S SPECIFICATION. SQUASH BLOCKS SHALL BE INSTALLED AT EACH END OF I-JOISTS.
5.14 CONTRACTOR SHALL BLOCK SOLID I-JOIST WEBS WHEN I-JOISTS ARE BEING FASTENED WITH JOIST HANGERS.
5.15 THE UNDER SIDE OF ALL WOOD I-BEAM FLOOR/CEILING JOISTS SHALL BE FINISHED WITH 1" CWB OR THE WOOD I BEAMS TO BE COATED WITH "FLAK JACKET" OR APPROVED EQUAL THAT MEETS IRC 2015 CODE REQUIREMENTS. VERIFY WITH WOOD I-BEAM MANUFACTURER.

6.0 THERMAL AND MOISTURE PROTECTION:

6.1 ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH PAPER BACKED FIBERGLASS INSULATION WITH A MINIMUM "R" VALUE AS NOTED ON THE PLANS.
6.2 PROVIDE EXTERIOR FINISH OF TYPE AND STYLE AS NOTED ON THE PLANS.
6.3 ROOFING SHINGLES SHALL BE ASPHALT IMPREGNATED ROOF SHINGLES IN COLOR AND STYLE AS SELECTED BY THE OWNER UNLESS OTHERWISE NOTED ON THE PLANS. ALL SHINGLE STRIPS MUST BE SECURED TO STRUCTURE WITH MINIMUM OF (6) FASTENERS PER SHINGLE AND MUST MEET STANDARDS REFERENCED IN THE IRC NATIONAL BUILDING CODE 2015 ASTM D3462 AND ASTM D3161.
6.4 METAL ROOFING CONSISTS OF SHEET METAL OR COPPER ROOFING PANELS JOINED SIDE BYSIDE AND ATTACHED TO THE ROOFING DECK TO WITH CONCEALED FASTENERS. THE CONNECTION POINT WHERE THE METAL ROOFING PANELS MEET FORMS A VERTICALLY POINTED RIB THAT CAN BE 1" TO 1 1/2" HIGH. THE TYPICAL STANDING SEAM PANEL OR COPPER PANEL CAN BE 12", 16" OR 18" WIDE. THE PANELS ARE ROLLED FORMED AT THE JOB SITE OR ROOFING SUPPLY HOUSE. PANELS ARE MADE FROM 16-20 OZ COPPER, .032-.04 ALUMINUM OR 24 GA GALVALUME COATED STEEL. METAL ROOFING AS SELECTED BY OWNER.
6.5 ROLLED ROOFING MUST BE APPLIED TO ROOFS THAT HAVE A SLOPE LESSER THAN 3:12 AND ATTACHED TO THE ROOFING DECK WITH ANK 4-12. A DOUBLE-LAYER ON UNDERLAYMENT MUST BE APPLIED TO ROOF.
6.6 PROVIDE NON CORROSIVE FLASHING AT ALL VALLEYS AND INTERSECTIONS OF ROOF AND EXTERIOR WALLS AND AS INDICATED ON THE DRAWINGS. PROVIDE WATER/ICE SHIELD AT ALL EAVES AND VALLEYS.
6.7 PROVIDE .006 POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE IN BASEMENTS OR CRAWL SPACES.
6.8 UNDER ALL ROOFING MATERIALS INSTALL A MINIMUM OF (1) LAYER OF #15 FELT PAPER. CONTRACTOR TO VERIFY WITH ROOF MANUFACTURER THE EXACT UNDERLAYMENT REQUIREMENT REQUIRED FOR THIS PROJECT SPECIFIC ROOF.

6.9 INSTALL NEW SUMP PIT AND FRENCH DRAINS ALONG THE INTERIOR PERIMETER OF THE NEW BASEMENT. INSTALL 24 HOUR MARINE BATTERY BACK UP FOR SUMP PUMP.
6.10 INSTALL 0.32 SEAMLESS 5" ALUMINUM GUTTERS AND 2x3 LEADERS. COLOR AS SELECTED BY OWNER.
7.0 DOORS AND WINDOWS:
7.1 ALL WINDOWS WHICH SHALL BE PREHUNG. THE DOORS SHALL BE 80" HIGH MINIMUM UNLESS OTHERWISE NOTED AND WIDTH AS NOTED ON THE PLANS. ALL INTERIOR DOORS SHALL BE PAINTABLE SOLID CORE DOORS. TYPE OF DOOR DESIGN AND WOOD TPE AS SELECTED BY OWNER.
7.2 ALL INTERIOR NEW DOORS, MAN DOOR OR OVERHEAD GARAGE DOORS ON THE PLANS SHALL BE INSULATED METAL, INSULATED VINYL COATED OR SOLID CORE WOOD DOORS. WOOD STYLE AND FINISH AS SELECTED BY OWNER. MAN DOORS TO BE A MIN. OF 80" HIGH AND WIDTH AS PER PLANS. OVERHEAD GARAGE DOOR TO FIT IN THE EXISTING OPENING OR SIZE AS PER PLANS.
7.3 ALL SLIDING GLASS DOORS SHALL BE INSULATED DOUBLE PANE TEMPERED GLASS WITH THERMAL BREAK IN FRAME.
7.4 ALL WINDOW SIZES ARE BASED ON ANDERSON MODEL NUMBERS UNLESS OTHERWISE NOTED ON DRAWINGS. PROVIDE ROUGH OPENINGS PER ANDERSON SPECIFICATIONS. SEE ELEVATIONS FOR SPECIAL FEATURES. COLOR OF FRAME AND HARDWARE SELECTED BY OWNER.
NOTE: ALL WINDOWS WHICH EXTEND BELOW 18" OF FINISHED FLOOR OR WITHIN 18" OF DOORS (IN OR ADJACENT TO DOORS) SHALL BE TEMPERED GLASS.
ALL WINDOWS IN SHOWER OR TUB AREAS THAT ARE WITHIN 2'-0" HORIZONTALLY IN DISTANCE OR WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN LET MUST BE TEMPERED GLASS.
7.5 CONTR. TO PROVIDE STANDARD BUILDERS HARDWARE FOR ALL NEW DOORS. STYLE AND FINISH OF HARDWARE TO BE SELECTED BY THE OWNER. UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
7.6 ALL DOORS AND WINDOWS MUST BE CAULKED WITH SILICONE BASED SEALANT OF COLOR TO MATCH ADJACENT SURFACE.
8.0 INTERIOR FINISHES:
8.1 ALL GYPSUM BOARD SHALL BE 1/2" THICK STANDARD WALL BOARD UNLESS OTHERWISE NOTED. GARAGES SHALL MEET LOCAL FIRE CODE BY USE OF 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND (2) LAYERS ON CEILINGS. ADJACENT TO LIVING AREAS. GARAGES SHALL CONFORM TO U.L. DESIGN # 305.
8.2 ALL GYPSUM BOARD IN BATHROOMS AND WET AREAS SHALL BE 1/2" MOISTURE RESISTANT WALL BOARD. USE "DUROCK" CEMENT TILE BACKER BOARD SURROUNDING TUB AND SHOWER AREA TO BE TILED.
8.3 ALL GYPSUM BOARD SHALL BE TAPED AND SPACKLED, MINIMUM OF (3) COATS. PRIME AND PAINTED (2) COATS OF LATEX FLAT PAINT. COLORS SELECTED BY OWNER. (PAINT TO BE HAND-ROLLED, NOT SPRAYED)
8.4 FLOORS OF ALL BATHROOMS SHALL BE FINISHED WITH CERAMIC TILE GRANITE, MARBLE OR STONE. ALL COLORS AND STYLE AS SELECTED BY OWNER. CERAMIC TILE SHALL BE SELECTED BY OWNER. CERAMIC TILE SHALL INCLUDE A 6" CERAMIC TILE BASE. BATHROOM WALLS TO BE PAINTED ALL CERAMIC TILE TO BE SET ON 1" MUD BASE OVER 5/8" CEMENT BOARD.
8.5 CARPET AND WALL COVERINGS ARE NOT INCLUDED. MARBLE, STONE AS SELECTED BY OWNER.
8.6 ALL FLOORS TO BE FINISHED AS NOTED, WITH HARDWOOD FLOORING, CERAMIC TILE.
8.7 ALL STAIR RISERS TO BE A MAXIMUM OF 8" HIGH. ALL STAIR TREADS TO BE A MINIMUM OF 10" WIDE.
8.8 HAND RAILS TO BE INSTALLED AT ALL LOCATIONS WHERE THERE ARE (3) RISERS OR MORE. ALL HAND RAILS MUST BE 33" TO 36" HIGH MEASURED PERPENDICULAR TO THE STAIR TREAD. ALL HAND RAILS MUST CONFORM TO THE GRASPABILITY GUIDELINES SET FORTH IN THE U.S. UNIFORM CONSTRUCTION CODE , BOCA 1996 & THE FEDERAL AMERICANS DISABILITY ACT.
8.9 UNLESS OTHERWISE NOTED ON PLANS OR IN G.C. CONTRACT, ALL BASE MOLDINGS, DOOR TRIM & WINDOW TRIM SHALL BE SELECT STAINABLE GRADE LUMBER. ALL TRIM SHALL HAVE (2) COATS OF STAINED AND FINISHED WITH (2) COATS OF POLY-URETHANE

9.0 ELECTRICAL AND PLUMBING

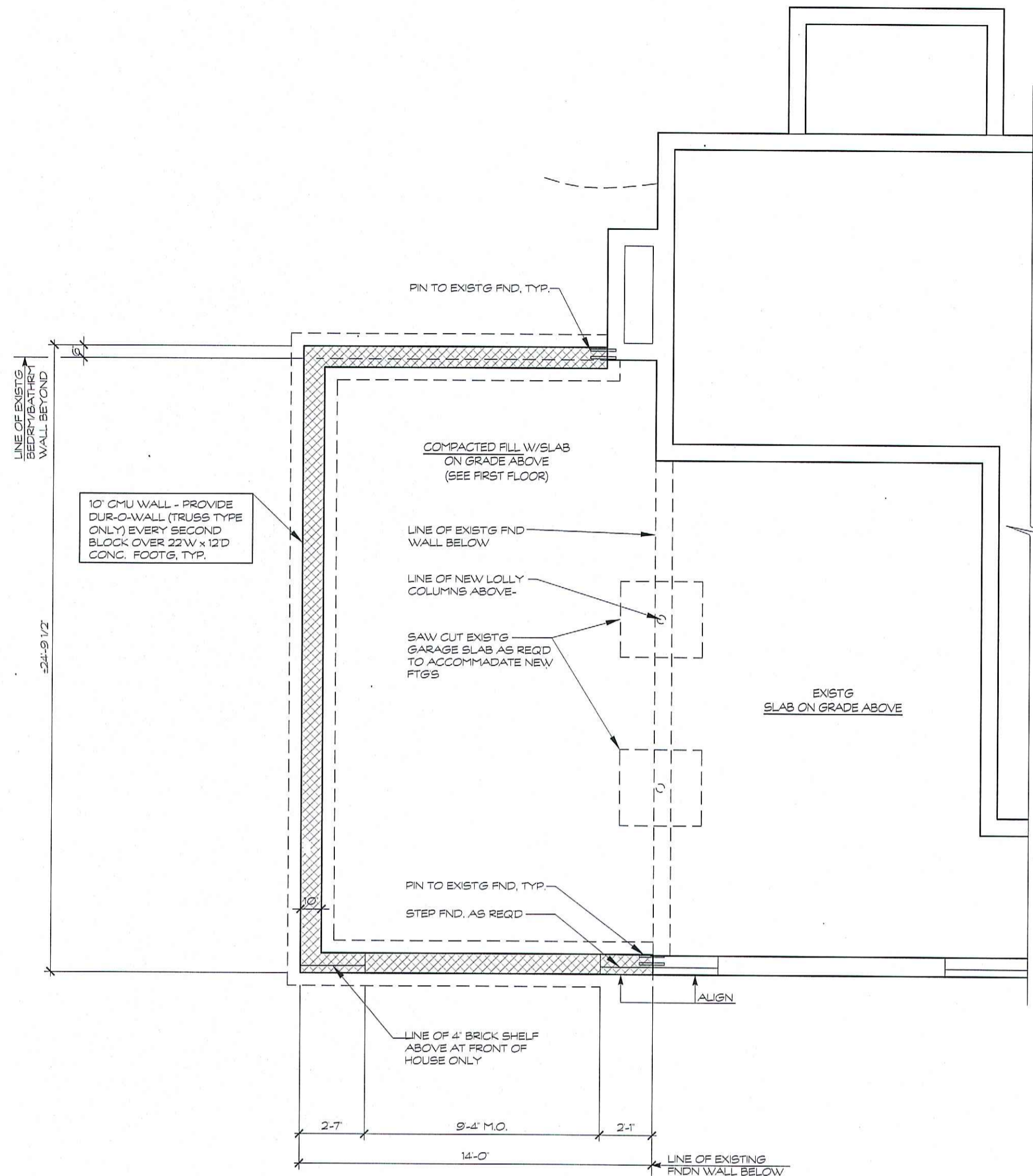
9.1 ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE TO THE NATIONAL STANDARD PLUMBING CODE AND INSTALLED BY A LICENSED PLUMBER.
9.2 ALL PLUMBING FIXTURES ON THE PLANS, LAVATORIES, WATER CLOSETS AND SHOWER BASES SHALL BE AMERICAN STANDARD OR EQUAL. WATER CLOSETS SHALL HAVE A MIN. OF 15" CLEARANCE FROM THE CENTERLINE AND A MIN. OF 21" CLEARANCE ALONG THE FRONT AND 80" CLEAR HEIGHT IN FRONT OF THE WATER CLOSET. ALL PLUMBING FIXTURES SHALL OR EQUIPMENT SHALL BE VALVED. ALL WATER CLOSETS SHALL BE WATER SAVING 1.6 GALLON FLUSH TYPE.

9.3 ALL NEW WATER SUPPLY LINES TO BE PEX TUBING AND SIZED AS PER THE NATIONAL STANDARD PLUMBING CODE. HOT AND COLD WATER BRANCHES SHALL BE PROVIDED WITH AIR CHAMBERS AT THEIR UPPERMOST POINT.
9.4 ALL HOT WATER PIPES IN CRAWL SPACES AND UNHEATED SPACES SHALL BE INSULATED WITH PIPE INSULATION. HOT WATER PIPES EXPOSED TO CANTLEVERS OR RAISED ADDITIONS SHALL BE INSULATED WITH PIPE INSULATION AS WELL AS R-30 Batts INSULATION.
9.5 ALL SANITARY SEWER LINES SHALL BE PITCHED TO PROVIDE COMPLETE DRAINAGE AND TO MEET NATIONAL PLUMBING CODE STANDARDS (MIN)
9.6 A CLEAN OUT SHALL BE INSTALLED AT THE BASE OF EVERY VERTICAL STACK AND AT EACH CHANGE OF DIRECTION 45 DEGREES OR GREATER.
9.7 CONTRACTOR SHALL INSTALL CAP FLASHING ON ALL PIPES PASSING THROUGH THE ROOF.
9.8 PROVIDE (1) HOSE BIBB AT THE FRONT AND THE REAR OF THE BUILDING. (MIN) INSTALL AS PER PLANS SEE PLANS
9.9 A BACK FLOW PREVENTER TO BE INSTALLED AS PER CODE.
9.10 AT SHOWER/ TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL BALANCED PRESSURE AUTOMATIC COMPENSATING VALVE TO LIMIT THE MAXIMUM DISCHARGE TEMPERATURE OF THE WATER.
9.11 NOT USED.
9.12 WHERE BACK FLOW PREVENTER DEVICE, CHECK VALVE OR WATER PRESSURE REGULATOR IS INSTALLED SERVING WATER HEATING EQUIPMENT SUCH THAT A CLOSED SYSTEM IS CREATED, A DEVICE FOR CONTROLLING EXPANSION SHALL BE INSTALLED.
9.13 FOR ALTERATION OR RENOVATION WORK - PLUMBER TO RECONFIGURE OR ADD NEW PIPINGAS REQUIRED. MECHANICAL -HVAC SHALL BE RECONFIGURED AS REQUIRED BY NEW WORK. ALL ABANDONED HVAC DUCTWORK TO BE REMOVED.
9.14 ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE TO THE NATIONAL ELECTRIC CODE AND INSTALLED BY A LICENSED ELECTRICIAN.
9.15 IF ELECTRICAL SERVICE NEEDS TO BE UPGRADED (AS DIRECTED BY OWNER) THE UPGRADE SHALL BE A MINIMUM OF A 200 AMP 240 VOLT, SINGLE PHASE, 3W SERVICE WITH CIRCUIT BREAKER PANEL HAVING A MIN. OF 42 POLES. LABEL ALL CIRCUITS. ELECTRICAL CONTRACTOR TO CALCULATE LOADS AND UPGRADE ELECTRICAL SERVICES AS REQUIRED BY NATIONAL, ELECTRICAL CODE.

9.16 WIRING SHALL BE SIZED IN ACCORDANCE WITH NEC. NO WIRING LESS THAN 14 AWG.
9.17 DUPLEX RECEPTACLES LOCATED IN KITCHENS, LIVING ROOM, DINING ROOM, BEDROOM, FAMILY ROOMS OR SIMILAR ROOMS SHALL BE 120v, INSTALLED 12" ABOVE THE FINISHED FLOOR and SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE ON ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE.
9.18 GROUND FAULT CIRCUIT- INTERRUPTER PROTECTION RECEPTACLES TO BE INSTALL IN BATHROOMS, GARAGES AT OR BELOW GRADE, OUTSIDE KITCHENS, UNFINISHED BASEMENTS, DUNDRY ROOM, UTILITY ROOMS AND WET-BARS. AT COUNTERS AND SINK LOCATIONS (KITCHEN, WET BAR, LAUNDRY AND KITCHEN LOCATIONS, G.F.I. RECEPTACLES SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE IN THAT SPACE. RECEPTACLE INSTALLED ABOVE COUNTER TOPS SHALL BE LOCATED NO GREATER THAN 20" ABOVE THAT COUNTER TOP.
9.19 LIGHT SWITCHES SHALL BE INSTALLED NOT GREATER THAN 40" ABOVE FINISHED FLOOR.
E.9.7 AS PER NEC TABLE 220.12 , THE GENERAL LIGHTING LOAD SHALL BE 3 VOLT-AMPERE PER SQUARE FOOT.
9.20 ALL SMOKE DETECTORS AND CARBON DIOXIDE DETECTORS TO BE INSTALLED HARDWIRED and EACH HAVE A BACK UP BATTERY. SMOKE DETECTORS TO BE INSTALLED AT THE HIGHEST POINT OF EACH BEDROOM AND IN SPACES WITHIN 10'-0" OF BEDROOMS. CARBON DIOXIDE DETECTORS SHALL BE INSTALLED (1) PER EACH FLOOR.
9.21 EXHAUST FANS AND EXHAUST FANS WITH LIGHTS SHALL BE INSTALLED IN EVERY BATHROOM AND DUCTED DIRECTLY TO THE EXTERIOR. INSTALL (1) HOUR UL RATED FIRE DAMPERS IN ALL EXHAUST DUCTS THAT PENETRATE (1) HOUR RATED WALLS OR RATED FLOOR SYSTEMS.
9.22 APPLIANCES IN THE ATTIC SHALL HAVE ACCESS WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGE WAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30" HIGH AND 22" WIDE AND NOT MORE THAN 20' LONG WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGE WAY. THE PASSAGE WAY SHALL HAVE CONTINUOUS FLOORING NOT LESS THAN 24" WIDE. A LEVEL SERVICE SPACE 30" WIDE x 30" DEEP AND THE 30" SHALL BE CONTINUOUS ON ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. A LIGHT FIXTURE WITH A SWITCH SHALL BE INSTALLED ALONG THE PASSAGE AND A RECEPTACLE IS REQUIRED NEAR THE APPLIANCE IN ACCORDANCE TO THE ELECTRICAL CODE (NAC 5:23-3.16)
9.23 THE ELECTRICAL SYSTEM WITHIN THE HOUSE SHALL BE GROUNDED TO #4 REBAR IN THE FOOTINGS AND SHALL COMPLY WITH THE NJ UCC AMENDMENTS and NEC SECTION 250-50.
9.24 FOR ALTERATION OR RENOVATION WORK - Electrician TO RECONFIGURE OR ADD NEW ELECTRICAL WIRING AS REQUIRED BY NEW WORK. ALL ABANDONED WIRING TO BE REMOVED.

Table with 3 columns: No., Date, Revisions. Contains a grid for tracking changes to the drawing.

TITLE SHEET
PROJECT: ZOBRIST & CULLEN RESIDENCE ADDITION & RENOVATION
344 NORTH BROADWAY NYACK, NEW YORK 10960
LOT: 60.13-3-56
DATE: 12/15/2023
DRAWING No. 2023-032



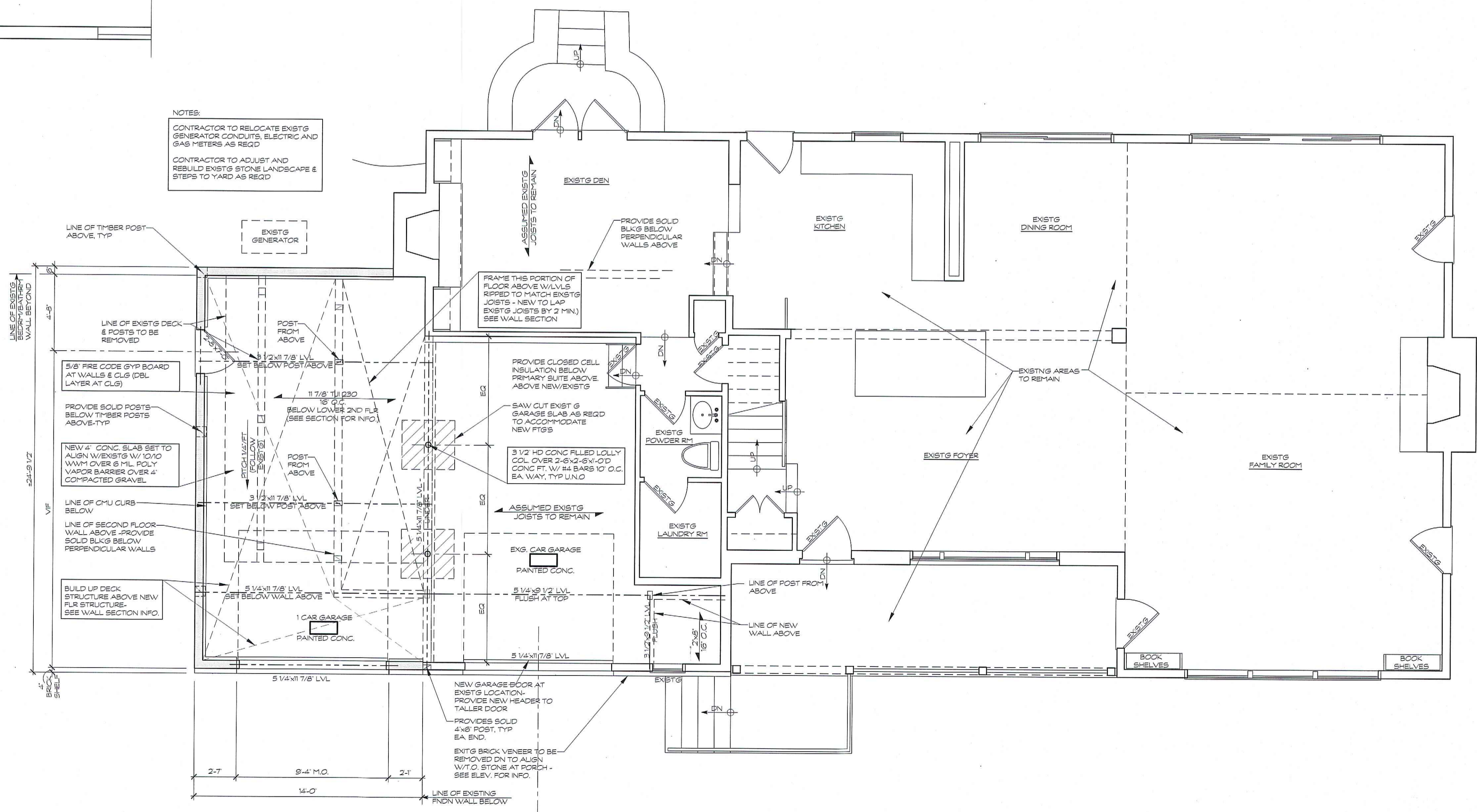
1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

WALL PARTITION LEGEND

	NEW 2x6" OR 2x4" WALL CONSTRUCTION-SEE PLAN
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CMU WALL - SEE PLAN FOR INFO.
	NEW POURED CONCRETE WALL - SEE PLAN FOR INFO.

- 10" CMU FOUNDATION NOTES**
- FOOTINGS SHALL BE MIN. 12" THK. AND PROJECT 6" EITHER SIDE (U.O.N.) OF MASONRY WALL. (2#4 STEEL REBARS MIN.)
 - CONTRACTOR SHALL SUPPLY ARCHITECT WITH A CERTIFIED ENGINEER'S REPORT VERIFYING A MIN. 2 TON SOL. BEARING CAPACITY.
 - USE CUR-G-WALL REINFORCING EVERY SECOND BLOCK COURSE. TRUSS TYPE ONLY.
 - ALL FOOTING CONCRETE SHALL BE MIN. 3000 PSI AT 28 DAYS. GARAGE SLAB 4" THK. WITH FIBER MESH.
 - PROVIDE 6 MIL. POLY. VAPOR BARRIER UNDER SLAB AND OVER 4" CRUSHED STONE.
 - PROVIDE 1/2" x 18" ANCHOR BOLTS @ 6'-0" O.C. AND 2'-0" FROM CORNERS. FILL 2 COURSES SOLID AROUND BOLTS.
 - SILL SEALER ALL EXTERIOR PLATES.
 - 2 - 2" x 4" WOL-MANIZED PLATE EXTERIOR WALLS.
 - 2 - 2" x 4" WOL-MANIZED PLATE INTERIOR WALLS.
 - PROVIDE 2 COAT BITUMINOUS DAMPROOFING OVER 1/2" CEMENT PARGING ALL EXTERIOR WALLS.
 - INSTALL 4" PVC FOOTING DRAINS AT ALL EXTERIOR FOOTINGS WITH CRUSHED STONE.
 - FILL LALLY COLS. SOLID CONCRETE.
 - TOP AND BOTTOM BLOCK COURSE FILLED SOLID WITH CONCRETE.
 - FILL BLOCK WALL SOLID WITH CONCRETE UNDER BEARING POINTS AS INDICATED ON DRAWINGS.

- FRAMING NOTES**
- STUDS & FRAMING MEMBERS DESIGN VALUES BASED ON ASTM STANDARD D1900-01. STUDS TO BE DOUGLAS FIR STUD GRADE OR BETTER. FRAMING MEMBERS, DOUGLAS FIR NO. 2 OR BETTER. MAXIMUM 19% MOISTURE CONTENT. INSTALL STUDDING IN ACCORDANCE WITH INDUSTRY STANDARDS. STUD SPACING SHOULD BE 16". WOOD BLOCKING TO STUDS FOR SUPPORT OF WALL CABINETS, TOILET ACCESSORIES AND HARDWARE, ETC. COORDINATE INSTALLATION OF BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL WORK PLACED IN OR BEHIND PARTITION FRAMING.
 - LVL - LAMINATED VENEER LUMBER MUST HAVE A RATING OF 2.0E (MODULUS OF ELASTICITY). LVL SIZED AS PER CONTRACT DOCUMENTS. NOTE: (1)3-1/2" THICK BEAM MAY BE SUBSTITUTED FOR (2)1-3/4" MEMBER. DOUBLE MEMBERS SHALL BE NAILED WITH MINIMUM 2 ROWS 16d COMMON NAILS 12" O.C. TRIPLE MEMBERS SHALL BE NAILED WITH 3 ROWS 16d COMMON NAILS 12" O.C. (STAGGERED). CUTTING AND HOLE LOCATION SHALL BE ONLY AS PERMITTED BY MANUFACTURER'S SPECIFICATION. HANGERS AS MANUFACTURED BY UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. MINIMUM BEARING 3" EACH END.
 - WOOD I-BEAM JOISTS MUST COMPLY WITH ASTM D5055 BY APA-THE ENGINEERED WOOD ASSOCIATION. FLANGE AND DEPTH AS INDICATED ON CONSTRUCTION DOCUMENTS. JOIST HANGERS TO BE EITHER UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. INSTALL AND BRACE WOOD I-BEAMS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. MINIMUM END BEARING TO BE 1-3/4". MINIMUM INTER-MEDIATE BEARING LENGTH IS 3-1/2". CUTTING AT HOLE LOCATIONS ONLY AS PERMITTED BY MANUFACTURER'S SPECIFICATIONS. STORE AND HANDLE JOISTS TO PROTECT AGAINST CONTACT WITH DAMP AND WET SURFACES, EXPOSURE TO WEATHER, BREAKAGE AND DAMAGES.
 - RAFTERS, CEILING JOISTS, AND COLLAR TIES SHALL BE MECHANICALLY FASTENED AS PER TABLE R802.51 (9) I.R.C.



2 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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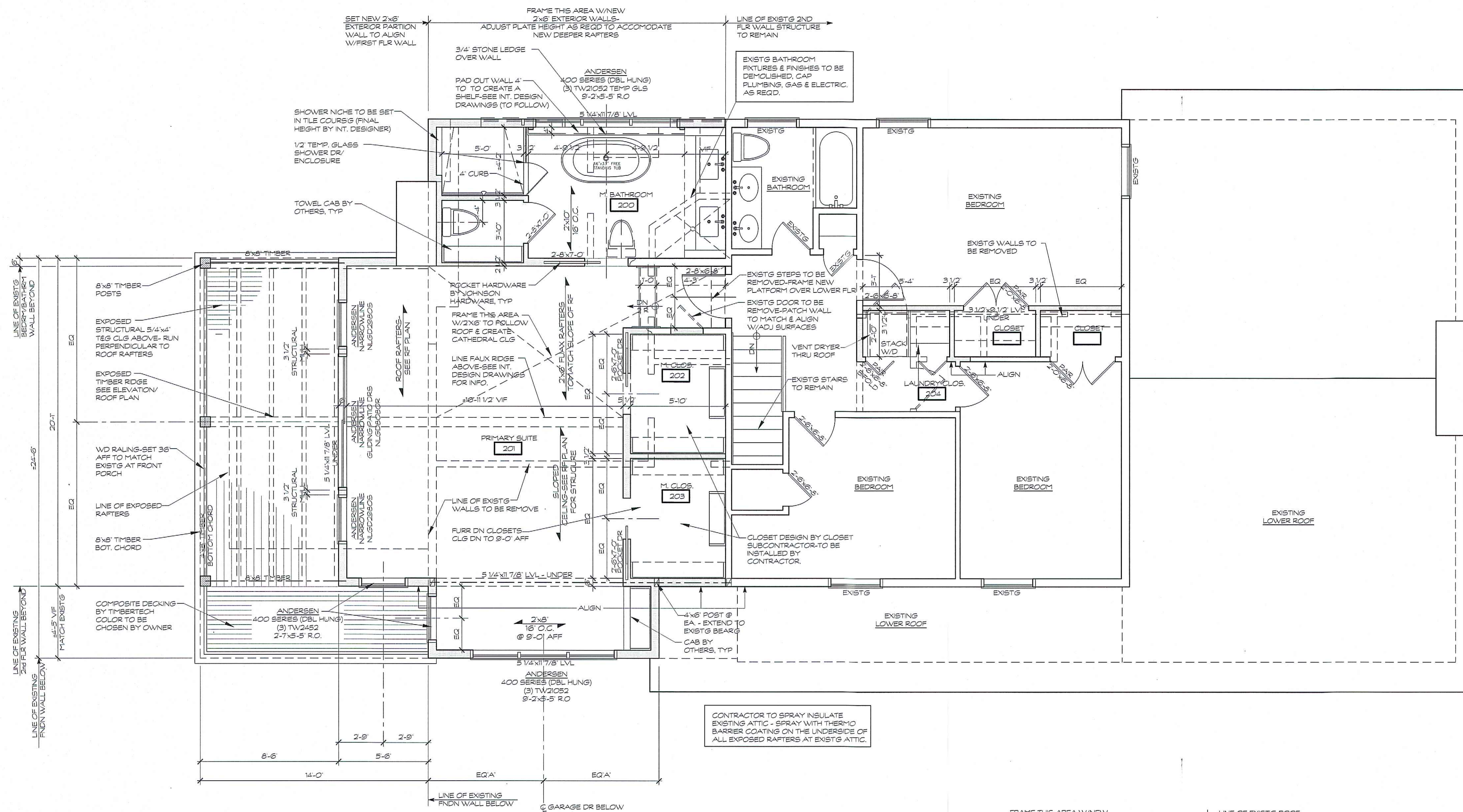
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No.	Date	Revisions

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344 NORTH BROADWAY
NYACK, NEW YORK 10960
LOT: 60.13-3-56

A1
DRAWING No.
PROJECT No. 2023-032
DATE: 12/15/2023

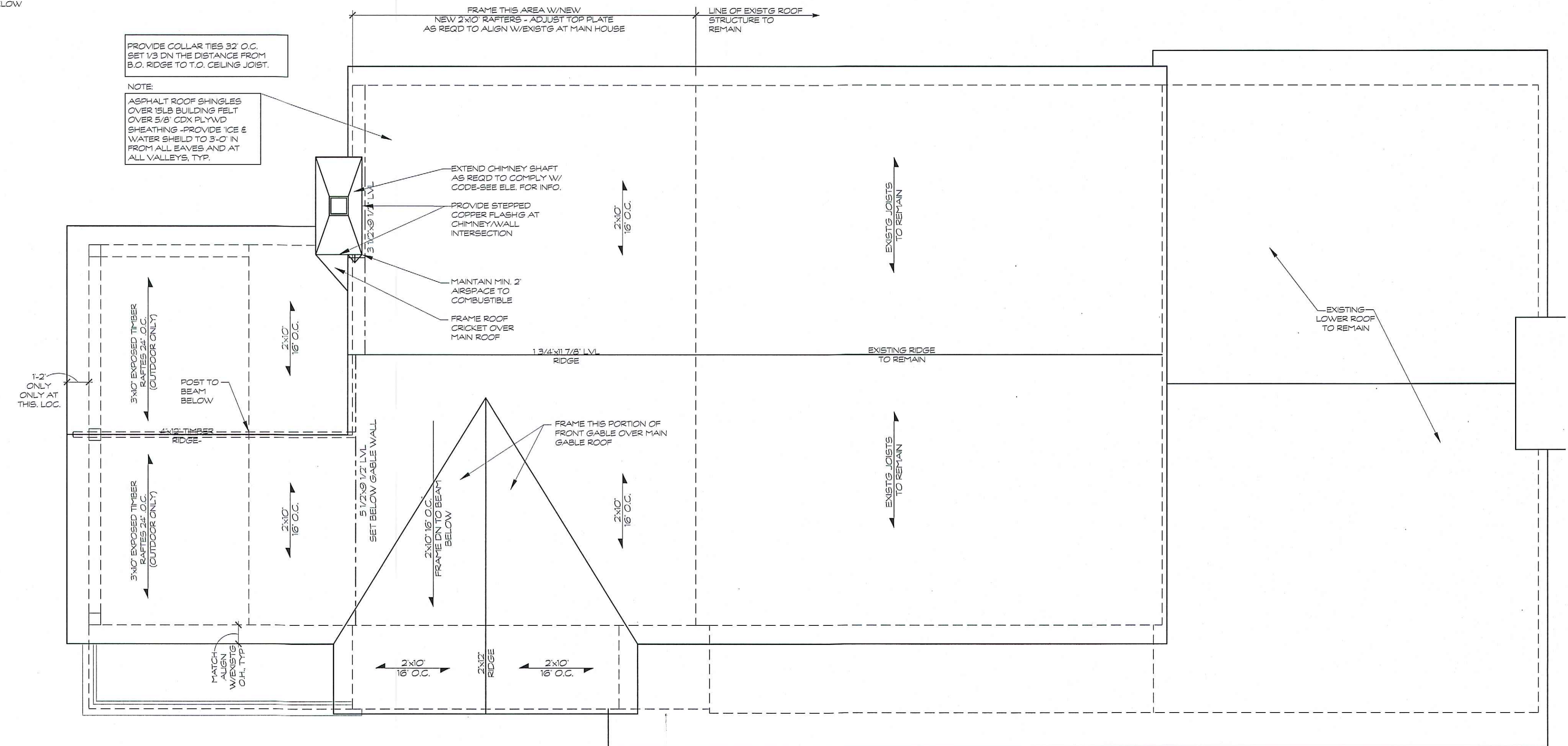


WALL PARTITION LEGEND

- NEW 2x6" OR 2x4" WALL CONSTRUCTION-SEE PLAN
- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CMU WALL - SEE PLAN FOR INFO.
- NEW POURED CONCRETE WALL - SEE PLAN FOR INFO.

- ### FRAMING NOTES
- STUDS & FRAMING MEMBERS DESIGN VALUES BASED ON ASTM STANDARD D1900-91. STUDS TO BE DOUGLAS FIR STUD GRADE OR BETTER. FRAMING MEMBERS DOUGLAS FIR NO. 2 OR BETTER, MAXIMUM 19% MOISTURE CONTENT. INSTALL STUDS IN ACCORDANCE WITH INDUSTRY STANDARDS. STUD SPACING SHOULD BE 16" WOOD BLOCKING TO STUDS FOR SUPPORT OF WALL, CABINETS, TOILET ACCESSORIES AND HARDWARE, ETC. COORDINATE INSTALLATION OF BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL WORK PLACED IN OR BEHIND PARTITION FRAMING.
 - LVL - LAMINATED VENEER LUMBER MUST HAVE A RATING OF 2.0E (MODULUS OF ELASTICITY). LVL SIZED AS PER CONTRACT DOCUMENTS. NOTE: (1) 3-1/2" THICK BEAM MAY BE SUBSTITUTED FOR (2) 1-3/4" MEMBER. DOUBLE MEMBERS SHALL BE NAILED WITH MINIMUM 2 ROWS 16d COMMON NAILS 12" O.C. TRIPLE MEMBERS SHALL BE NAILED WITH 3 ROWS 16d COMMON NAILS 12" O.C. (STAGGERED). CUTTING AND HOLE LOCATION SHALL BE ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATION. HANGERS AS MANUFACTURED BY UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. MINIMUM BEARING 3" EACH END.
 - WOOD I-BEAM JOISTS MUST COMPLY WITH ASTM D5055 BY APA-THE ENGINEERED WOOD ASSOCIATION. FLANGE AND DEPTH AS INDICATED ON CONSTRUCTION DOCUMENTS. JOIST HANGERS TO BE EITHER UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. INSTALL AND BRACE WOOD I-BEAMS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MINIMUM AND BEARING TO BE 1-3/4". MINIMUM INTER-MEDIATE BEARING LENGTH IS 3-1/2". CUTTING AT HOLE LOCATIONS ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATIONS. STORE AND HANDLE JOISTS TO PROTECT AGAINST CONTACT WITH DAMP AND WET SURFACES, EXPOSURE TO WEATHER, BREAK-AGE AND DAMAGES.
 - RAFTERS, CEILING JOISTS, AND COLLAR TIES SHALL BE MECHANICALLY FASTENED AS PER TABLE R302.5.1 (9) I.R.C.

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 ROOF PLAN
SCALE: 1/4" = 1'-0"

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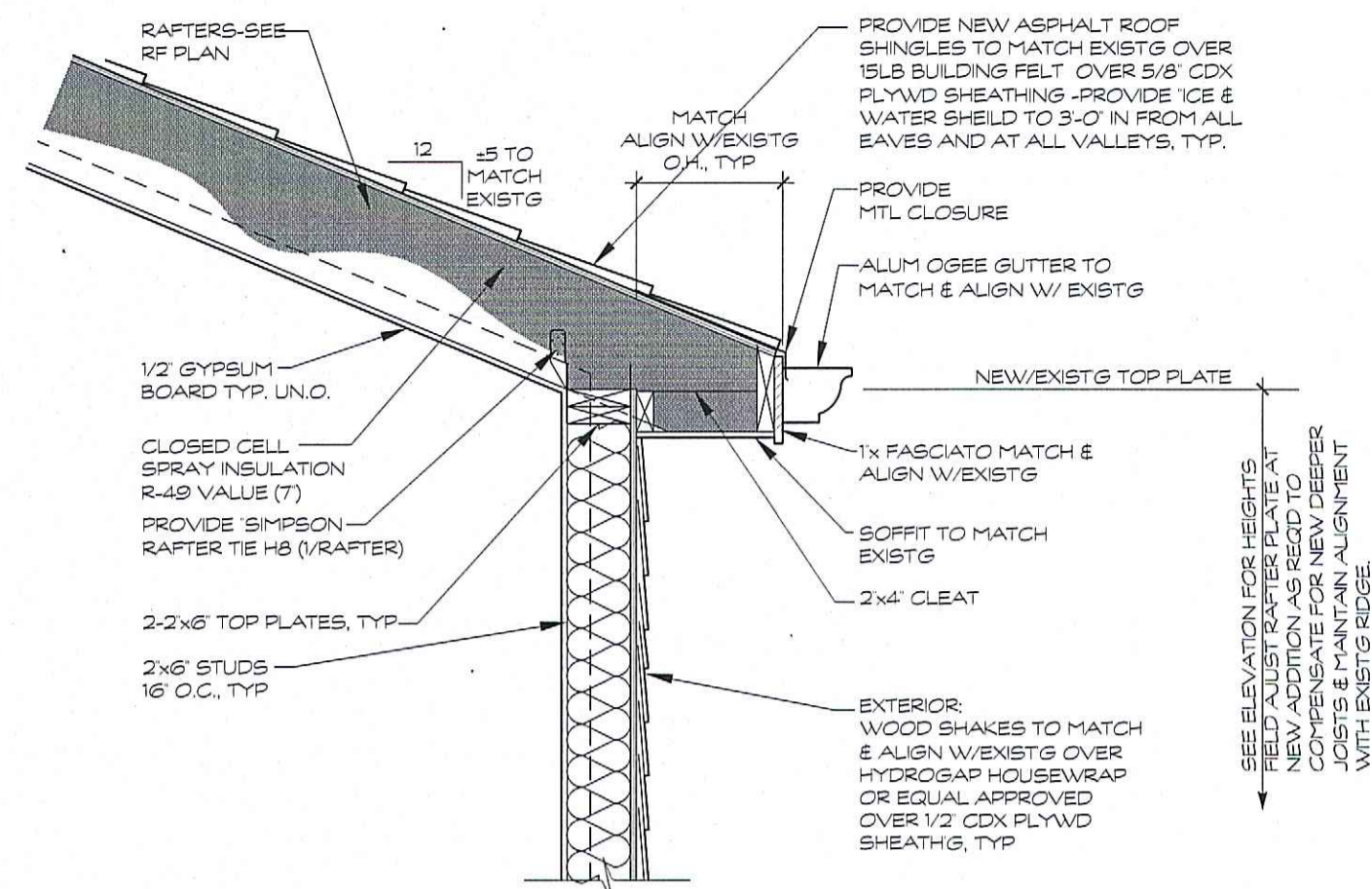
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No.	Date	Revisions

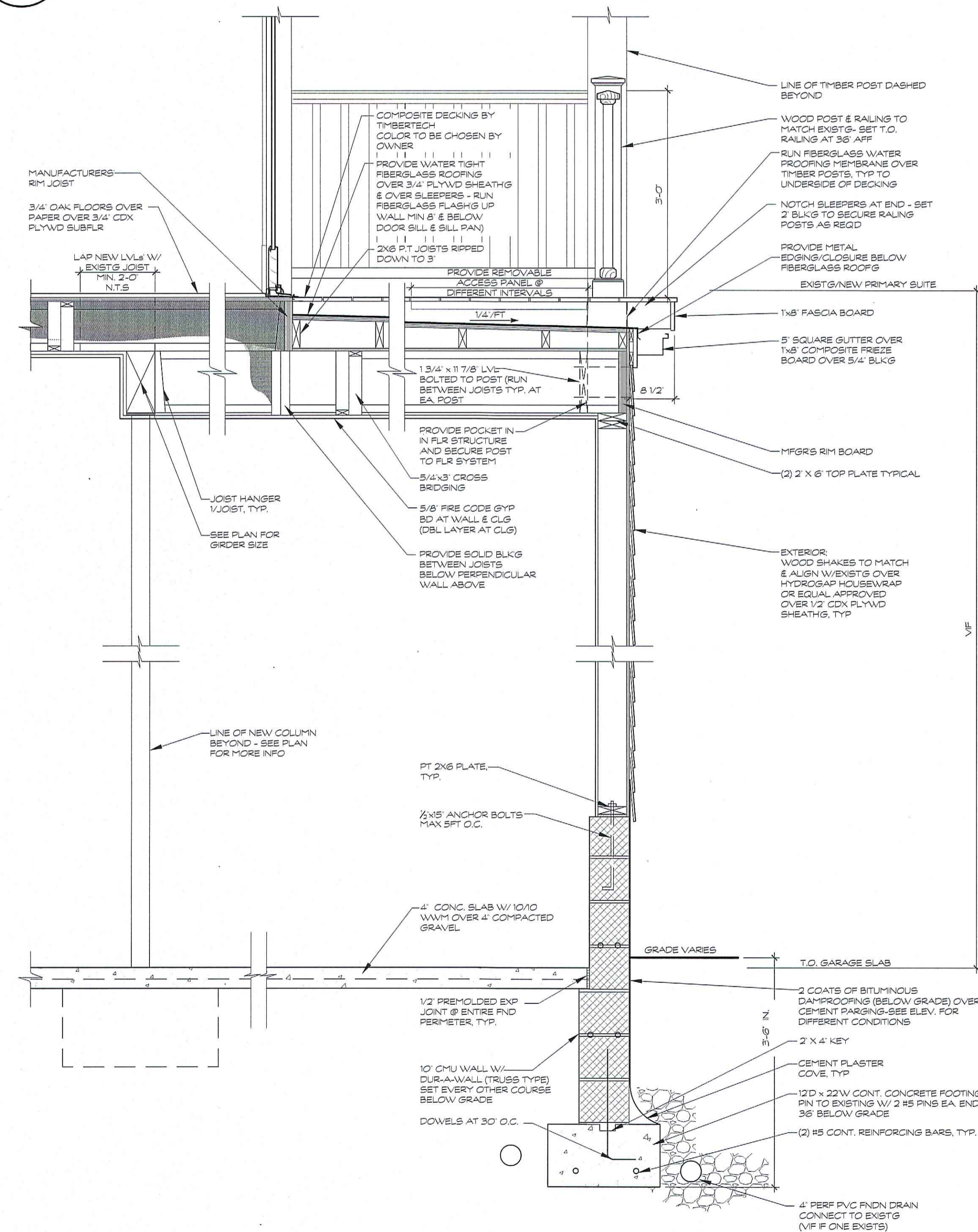
PROJECT: ZOBRIST & CULLEN RESIDENCE
ADDITION & RENOVATION
344 NORTH BROADWAY
NYACK, NEW YORK 10960

A2
DRAWING No.
PROJECT No.
2023-032

DATE: 12/15/2023
LOT: 60.13-3-56

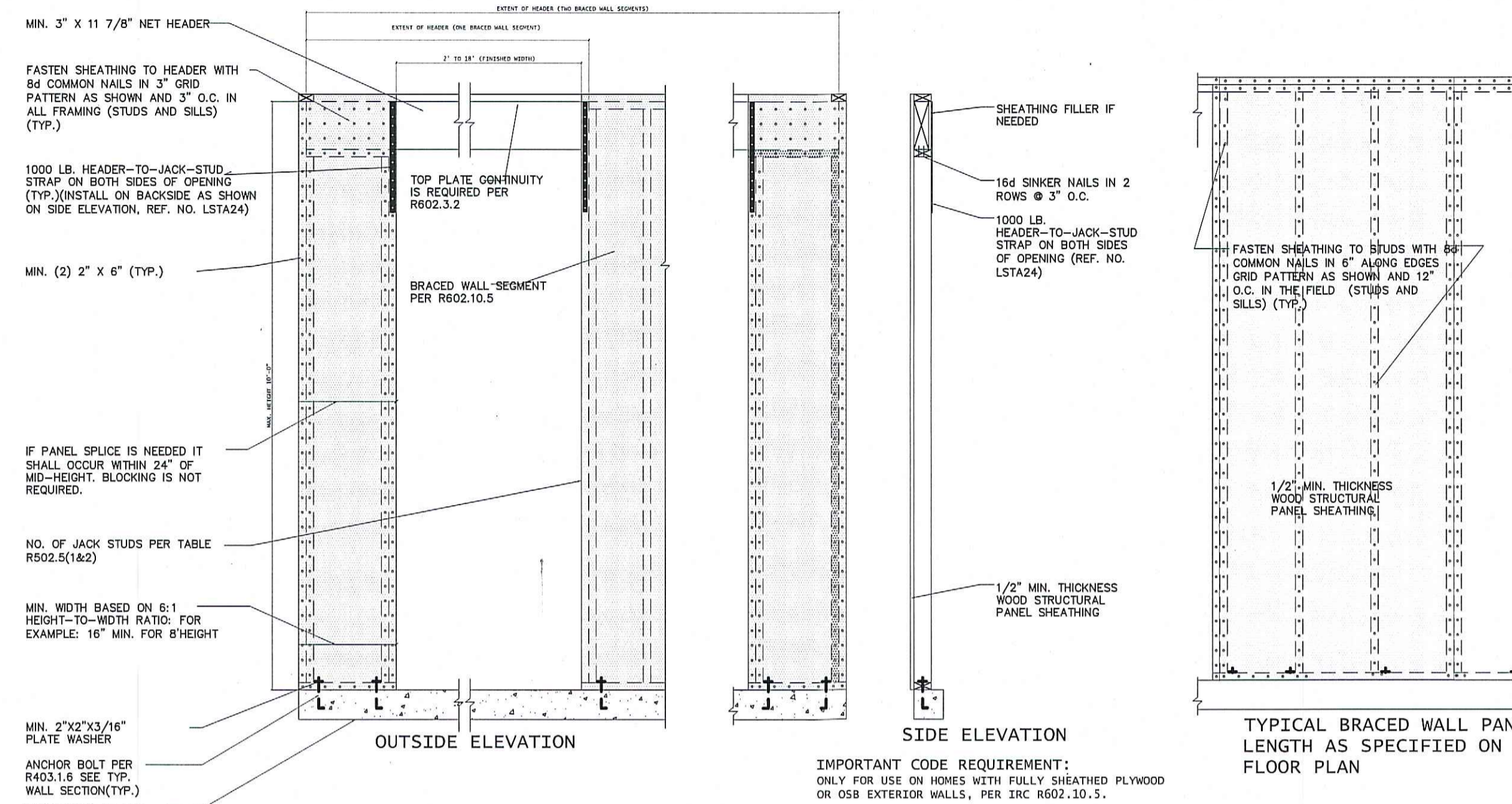


TYPICAL EAVE DETAIL
SCALE: 3/4"=1'-0"



NOTE: ALL CONCRETE SHALL BE MIN. 3000 P.S.I. AT 28 DAYS. FIBER MESH AT SLABS.

1 WALL SECTION THRU GARAGE
SCALE: 3/4"=1'-0"

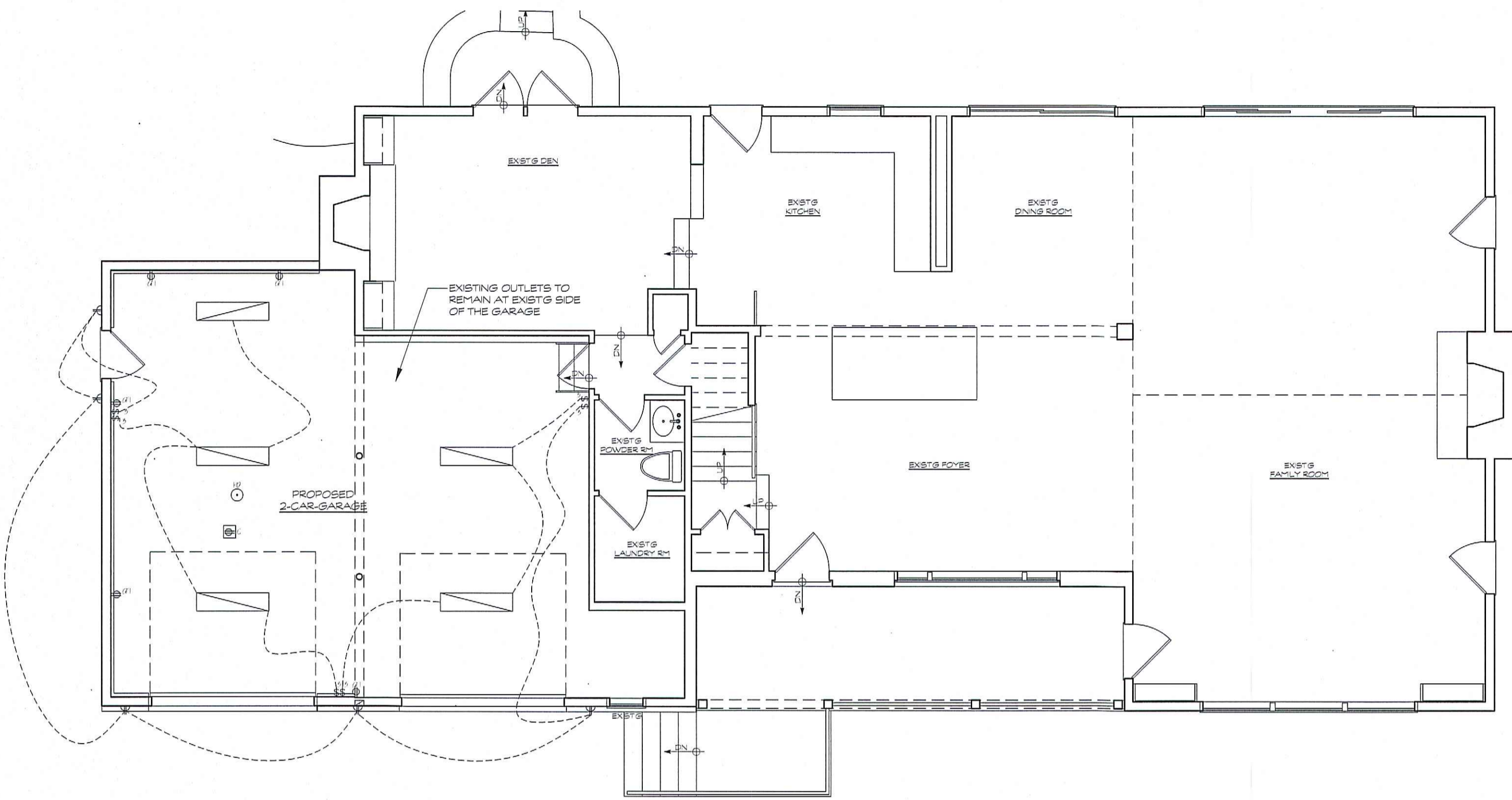


INSTALL HOLD DOWN ANCHORS AS SHOWN ON THE FLOOR PLAN
VERIFY FOUNDATION PLAN AND FIRST FLOOR PLAN FOR HOLD DOWN LOCATIONS

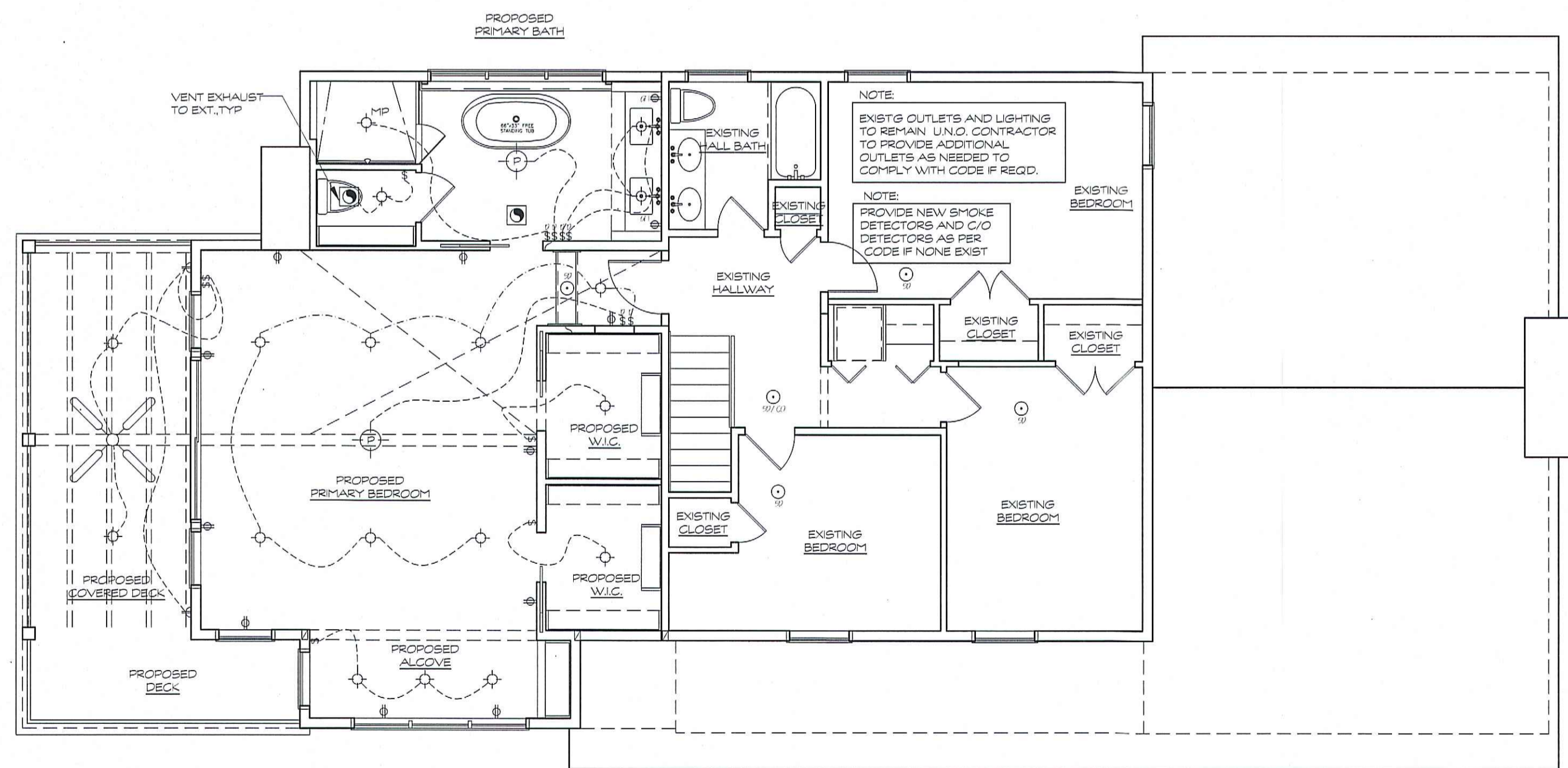
DETAIL 'X' - NARROW WALL FRAMING FOR GARAGE PORTALS

WALL BRACING PLAN

- NOTES:
- HOLD DOWN STRAPS SHALL BE INSTALLED AT EACH END OF BRACED WALL PANELS THAT ARE LESS THAN 4'-0" WIDE.
 - HOLD DOWNS BETWEEN FLOORS SHALL BE INSTALLED ALWAYS.
 - BRACED-WALL PANEL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IRC 2021 SECTION ONE (CHORDS, R602.10.1, TABLE R602.10.2, TABLE R602.10.3, TABLE R602.10.4, TABLE R602.10.5, TABLE R602.10.6, TABLE R602.10.7, TABLE R602.10.8, TABLE R602.10.9, TABLE R602.10.10, TABLE R602.10.11, TABLE R602.10.12, TABLE R602.10.13, TABLE R602.10.14, TABLE R602.10.15, TABLE R602.10.16, TABLE R602.10.17, TABLE R602.10.18, TABLE R602.10.19, TABLE R602.10.20, TABLE R602.10.21, TABLE R602.10.22, TABLE R602.10.23, TABLE R602.10.24, TABLE R602.10.25, TABLE R602.10.26, TABLE R602.10.27, TABLE R602.10.28, TABLE R602.10.29, TABLE R602.10.30, TABLE R602.10.31, TABLE R602.10.32, TABLE R602.10.33, TABLE R602.10.34, TABLE R602.10.35, TABLE R602.10.36, TABLE R602.10.37, TABLE R602.10.38, TABLE R602.10.39, TABLE R602.10.40, TABLE R602.10.41, TABLE R602.10.42, TABLE R602.10.43, TABLE R602.10.44, TABLE R602.10.45, TABLE R602.10.46, TABLE R602.10.47, TABLE R602.10.48, TABLE R602.10.49, TABLE R602.10.50, 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1 PROPOSED 1ST FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



2 PROPOSED 2ND FLOOR ELECTRICAL PLANS
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- SURFACE MOUNTED LED
- LED RECESSED DN-LIGHT 4"
- PORCELAIN LAMP HOLDER
- LED LIGHT/FAN COMBO
- MOISTURE PROOF LED
- SLOPED CEILINGS RECESSED LED
- RECESSED LED DN-LIGHT WAC W/ SQUARE TRIM
- PENDANT FIXTURE
- CLOSET LIGHT
- CLOSET LIGHT W/MOTION SENSOR
- UNDERCOUNTER LED LIGHT
- LED TRACK LIGHT
- 2 x 2 LED FLAT PANEL
- 2 x 4 LED FLAT PANEL
- 1 x 4 LED FLAT PANEL
- INFRARED HEATER
- SWITCH - SINGLE POLE
- SWITCH - 3 WAY
- SWITCH WITH DIMMER
- DOOR SWITCH
- PLOT LIGHT INDICATOR SWITCH
- SWITCH - MOTION SENSOR
- DUPLEX 110 V. GROUND FAULT PROTECTION
- DUPLEX 110 V.
- DUPLEX 110 V. SWITCH TOP ONLY
- (2) DUPLEX 110 V.
- CLG MNT DUPLEX
- FLOOR DUPLEX
- HEAT DETECTOR
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- TELEPHONE JACK LOCATED IN FIELD BY OWNER
- DATA LINE FOR TV (CAT 6)
- EXHAUST FAN ONLY (VENTED TO EXTERIOR)
- DISCONNECT FOR STEAM UNIT LOCATED BY OWNER
- CABLE TV LOCATED IN FIELD BY OWNER
- WATER CONNECTION
- GAS CONNECTION
- WALL MTD FIXTURE
- FLOOD LIGHT
- MOTION ACTIVATED SECURITY CAMERA
- RECESSED MOTION SENSOR PATH LIGHT W/ OVER RIDE SWITCH
- ELEC. JUNCTION BOX W/ POWER AS REQD
- DOOR BELL

HEATING VENTILATION & AIR CONDITIONING NOTES:

- HEATING SYSTEM TO BE DESIGNED AND INSTALLED TO PROVIDE HEATING TO ALL FINISHED AREAS OF RESIDENCE TO ACHIEVE A MINIMUM TEMPERATURE OF 75 DEGREES F. WHEN OUTDOOR TEMPERATURE IS ZERO DEGREES F.
- COOLING SYSTEM TO BE DESIGNED AND INSTALLED TO PROVIDE COOLING TO ALL FINISHED AREAS OF RESIDENCE TO ACHIEVE A MINIMUM TEMPERATURE OF 75 DEGREES F. DRY BULB AND 67 DEGREES F. WET BULB WHEN OUTDOOR TEMPERATURE IS 95 DEGREES F.
- ALL BATHROOMS AND LAVATOIRES TO BE PROVIDED WITH A SYSTEM OF MECHANICAL EXHAUST SATISFYING APPLICABLE VENTILATION STANDARDS.
- ALL WORK TO BE DONE AS PER APPLICABLE CODES INCLUDING BUT NOT LIMITED TO GOVERNMENT AGENCIES, LOCAL FIRE DEPARTMENTS, NATIONAL FIRE PROTECTION ASSOCIATION, FIA UTILITY COMPANY, ASME, NATIONAL FIRE PROTECTION CODE, ARI STANDARDS, UNDERWRITERS INSPECTION AGENCIES, ETC.
- ALL DUCTWORK LOCATED IN UNHEATED/UNCONDITIONED AREAS, INCLUDING ATTICS, SHALL BE EXTERNALLY INSULATED.
- HVAC CONTRACTOR WILL ASSUME TOTAL RESPONSIBILITY FOR THE DESIGN, INSTALLATION, AND SATISFACTORY OPERATION OF ALL HVAC SYSTEMS INCLUDING THE COMPLIANCE WITH ALL AFOREMENTIONED REQUIREMENTS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ELECTRICAL AND PLUMBING SUB-CONTRACTORS TO ENSURE PROPER INSTALLATION OF ALL EQUIPMENT.

PLUMBING NOTES:

- ALL PLUMBING WORK, EQUIPMENT, ETC. SHALL BE IN ACCORDANCE WITH ALL LOCAL ORDINANCES, REGULATIONS, AND CODES AS ADOPTED BY THE LOCAL GOVERNING STATE, COUNTY, AND TOWN AUTHORITIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REQUIREMENTS WHETHER OR NOT INFORMATION AND/OR WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS. ALL WORK SHALL BE INSPECTED AS REQUIRED DURING THE CONSTRUCTION PROCESS AND APPROVED AT THE END OF THE PROJECT BY THE TOWN PLUMBING INSPECTOR.
- ALL PLUMBING WORK SHALL CONFORM TO THE BUILDING, PLUMBING, FUEL-GAS CODE, AND ENERGY CONSERVATION CODES OF THE STATE OF NEW JERSEY.

ELECTRICAL NOTES:

- SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AT LEAST 1 PER LEVEL, AT LEAST 1 IN THE ATTIC AND 1 HEAT DETECTOR IN GARAGE. INSTALL SO THAT ACTUATION OF 1 ALARM SHALL ACTUATE ALL ALARMS EXISTING IN HOUSE. (BY OWNER'S ALARM SUB-CONTRACTOR. N/C) MAINTAIN A 3'-0" MINIMUM DISTANCE BETWEEN SMOKE DETECTORS AND HVAC OR FAN OUTSIDE OUTLETS TYPICALLY. WORK TO BE COORDINATED BY GENERAL CONTRACTOR. TYPE IS TO BE PHOTOELECTRIC.
- SMOKE DETECTORS SHOWN ON DRAWINGS ARE TO BE CONNECTED TO FIRE ALARM SYSTEM AND TO BE SUPPLIED BY OWNER'S ALARM SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR.
- ELECTRICAL OUTLETS, FIXTURE LOCATIONS AND SWITCH LOCATIONS SHOWN ARE SUGGESTED ONLY. CONTRACTOR IS TO ADD OUTLETS TO COMPLY WITH CODE REQUIREMENTS AND CONFIRM ALL LOCATIONS IN FIELD WITH OWNER. SEE FLOOR PLANS AND REFLECTED CEILING PLANS.
- ALL RECESSED FIXTURES (INCLUDING LAMPS), OUTLETS, SWITCHES, ETC. ARE TO BE SUPPLIED BY CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ELECTRICAL LEGEND. SURFACE AND PENDANT MOUNTED FIXTURES ARE TO BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR AS NOTED ON THE ELECTRICAL LEGEND.
- ALL PERMANENT LIGHTING FIXTURES WILL BE HIGH EFFICIENCY FIXTURES.
- PROVIDE A GFI CIRCUIT AT ANY RECESSED FIXTURES USED IN CLOSETS AND ANY RECESSED FIXTURES USED OVER BATHTUBS, SINKS, AND EXTERIOR. LIGHTING FIXTURES LOCATED OVER TUB/SPA SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER AND/OR RECESSED FIXTURES TO HAVE A GLASS OR PLASTIC LENS WITH ELECTRICALLY ISOLATED TRIM, SUITABLE FOR ALL DAMP LOCATIONS.
- PROVIDE GFCI PROTECTION IN ALL FINISHED AND UNFINISHED BASEMENT AREAS.
- PROVIDE EMERGENCY SERVICE DISCONNECT IN A READILY ACCESSIBLE OUTDOOR LOCATION
- PROVIDE A SURGE-PROTECTIVE DEVICE (SPD) AT THE SERVICE PANEL.
- ELECTRICAL SERVICE PANEL SHALL BE GROUNDED TO CONTINUOUS NOTED FOOTING RE-BAR. ELECTRICAL PERMIT REQUIRED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED N.J. ELECTRICIAN. UTILIZE NO. 4 WIRE OR BETTER FASTENED TO REBAR WITH AN APPROVED CLAMP.
- CONTRACTOR TO PROVIDE MAKEUP AIR AS PER CODE IF EXHAUST HOOD EXCEEDS 400 CFM
- CONTRACTOR TO PROVIDE MAKEUP AIR FOR GAS DRYERS AS PER CODE

NOTE: CONTRACTOR SHALL COORDINATE WITH OWNER FOR TELEPHONE, DATA, AND CABLE QUANTITY AND LOCATIONS.

NOTE: ELEC CONTRACTOR SHALL PROVIDE DIMMER SWITCHES THROUGHOUT EXCEPT FLOURESCENT FIXTURES AND FANS

CONTRACTOR TO PROVIDE ELECTRICAL POWER FOR THE FOLLOWING KITCHEN APPLIANCES-FINAL LOCATION SHOULD BE VERIFIED WITH KITCHEN DESIGNER/ARCHITECT

- REF/FRZ
- DISHWASHER
- COOK TOP
- WARMING DRAWERS
- EXHAUST HOOD
- INSTANT HOT
- MICROWAVE
- WINE REFRIGERATOR
- DBL OVEN
- DISPOSALS

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No.	Date	Revisions

PROJECT: ZOBORST & CULLEN RESIDENCE ADDITION & RENOVATION
344 NORTH BROADWAY
NYACK, NEW YORK 10960
LOT: 60.13-3-56

E1
DRAWING No.
PROJECT No.
2023-032
DATE: 12/15/2023



Eastern facade of house (front door)



Eastern facade of house (front door)



View of eastern facade of home from eastern edge of property



View from eastern facade looking east



View of western facade of home



View of western facade of home



View from western facade of home looking at neighbor to the west



View from northern facade of home looking north



Northern facade of home



Southern facade of house



View from southern facade of house



Street view of home from N Broadway

No.	Date	Revisions

PROPERTY PHOTOS

PROJECT: ZOBRIST & CULLEN RESIDENCE ADDITION & RENOVATION
344 NORTH BROADWAY
NYACK, NEW YORK 10960

DATE: 12/15/2023 LOT: 60.13-3-56

P1

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