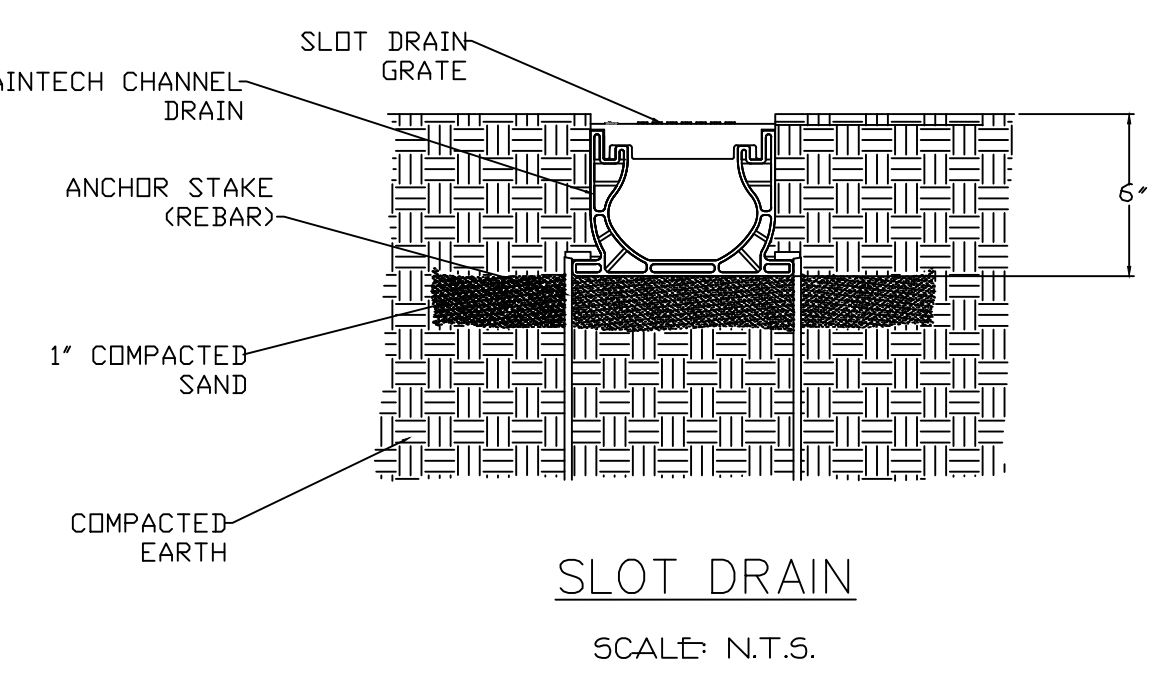


SOILS PERCOLATION FIELD 'C'  
 DEVELOPMENT SIZE = 0.0291 ACRE  
 UNDEVELOPED SCS CURVE NO. = 74.0000  
 DEVELOPED SCS CURVE NO. = 98.0000  
 L SELECT DESIGN STORM  
 100 YEAR 24-HOUR 9.3  
 A TYPE OF SUBSPACE DISPOSAL SYSTEM  
 PRECAST DRYWELL WITH 3/4" ROUNDED STONE  
 B DETERMINE PERCOLATION RATE  
 PERCOLATION RATE 10000 INCHES  
 CORP 300000 MINUTES  
 TIME  
 C AREA OF PERCOLATION LAYER  
 SURFACE AREA OF CYLINDER  
 AC=PIHDIAVIG  
 D HAVIG= 10000 FOOT  
 AC= 60000 INCHES  
 E BOTTOM AREA  
 AB=PIHYZ  
 AB= 07854 FTZ  
 F VOLUME OF PERCOLATION  
 AP=AC\*HD  
 AP= 5007 FTZ  
 G PERCENT PERCOLATION RATE  
 SP=VOLUME/AREA\*TIME  
 SP= 0.0007 FTZ/FTZ\*MIN.  
 H PERCENT CLOGGING FACTOR OF 0.25  
 SH=MINUS CLOGGING FACTOR OF 0.25  
 SH= 0.7826 FTZ/FTZ\*DAY  
 I CALCULATE REQUIRED STORAGE VOLUME  
 JOOVZ 24 HOUR RAINFALL= 9.3000 INCHES  
 FROM TABLE 2-1 OF TR-55  
 K EXISTING CN= 74.0000 THEREFORE DEPTH V= 4.11 INCHES  
 L PROPOSED CN= 98.0000 THEREFORE DEPTH VS= 9.30 INCHES  
 M DELTA V= VS-DELTA V\*AREA  
 VS= 4258256 FTZ  
 N CALCULATE VOLUME PER DRYWELL  
 O VOLUME OF STONE= 30000 FEET  
 P THICKNESS OF DRYWELL WALL= 0.3333 FOOT  
 Q DIAMETER OF DRYWELL= 60000 FEET  
 R LEGIT OF DRYWELL= 60000 FEET  
 S V= 57.65 FTZ  
 T CALCULATE 24-HOUR PERCOLATION VOLUME PER DRYWELL  
 U VOLUME OF PERCOLATION VOLUME PER DRYWELL  
 VP=PIHYZ\*SP\*SH  
 VP= 0.0007 FTZ/FTZ\*MIN.\*0.7826 FTZ/FTZ\*DAY  
 W VOLUME OF PERCOLATION VOLUME PER DRYWELL  
 VV=VP\*TIME  
 VV= 0.0007 FTZ/FTZ\*MIN.\*1440 MIN  
 X TOTAL VOLUME OF PERCOLATION VOLUME PER DRYWELL  
 VV= 0.08  
 Y DRYWELL VOLUME OF STORAGE  
 Z TOTAL VOL PER DRYWELL  
 Z= 57.65 FTZ

60.18-1-41  
 N/F  
 SMITH

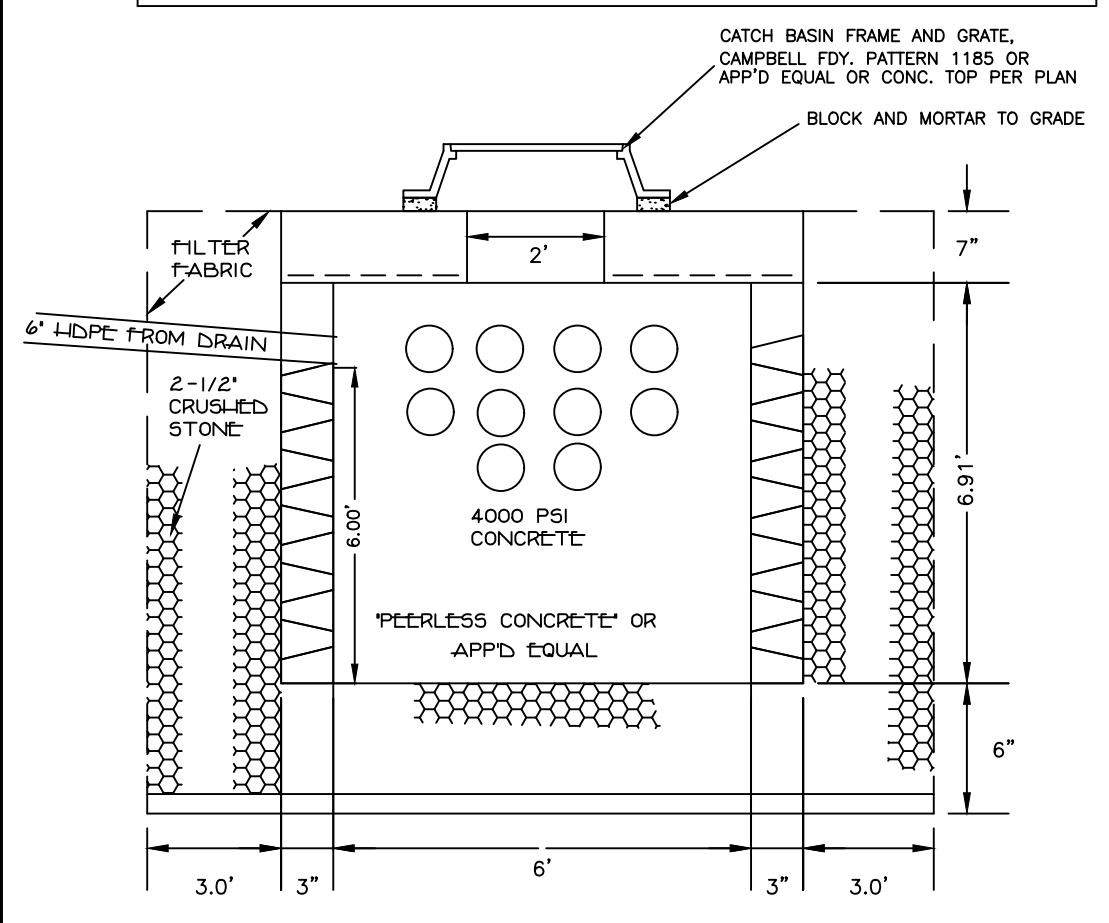
PROPERTY L  
 APPAREN

PROP. 44 LF  
 6" PVC @ 2.0%  
 TO BE ENCASED  
 IN CONCRETE

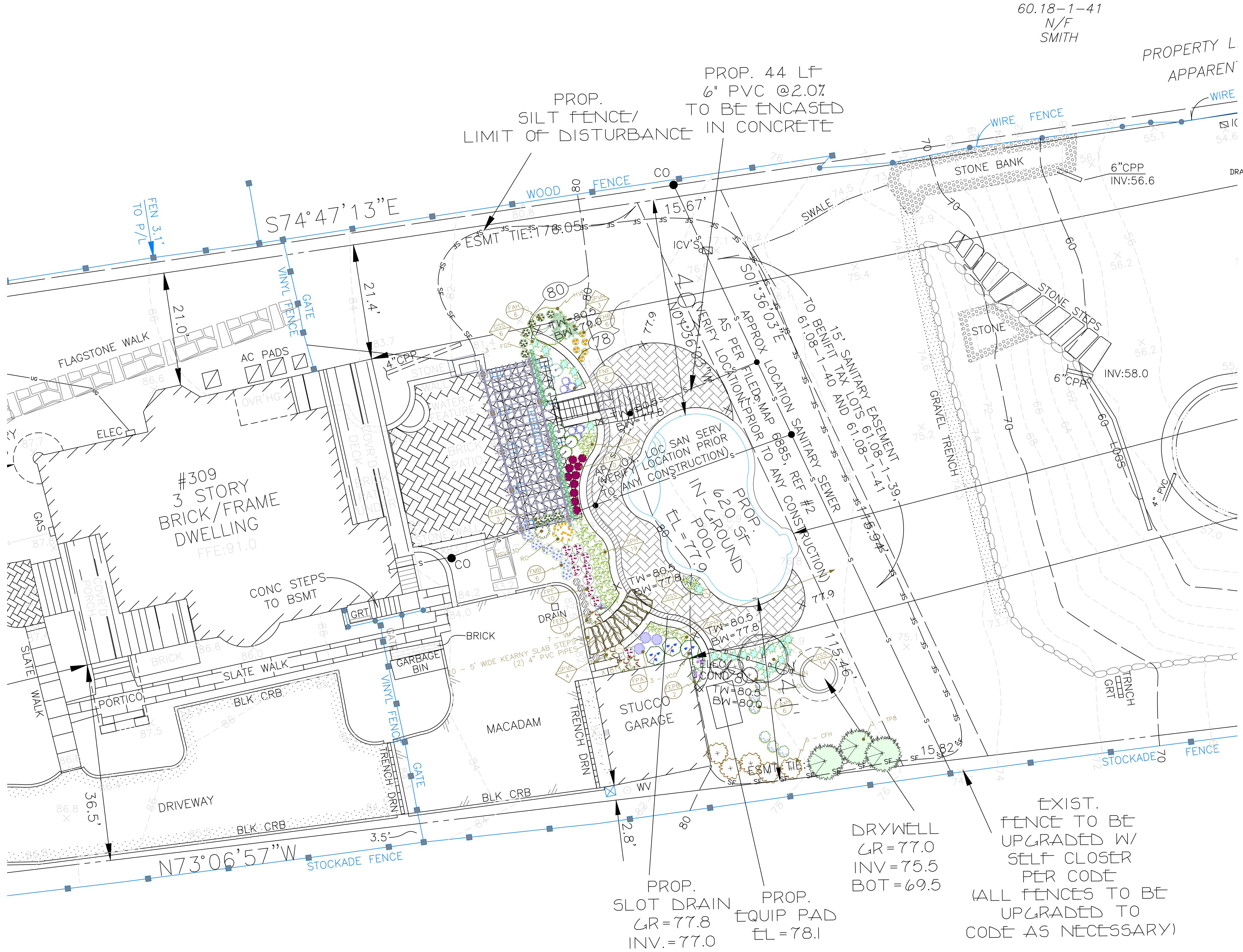


SLOT DRAIN  
 SCALE: N.T.S.

NOTES:  
 1. SET PIT IN 15'X15' OVERALL EXCAVATION, BACKFILL WITH ALL CLEAN STONE.  
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER, AND ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.  
 SEEPAGE PIT MAINTENANCE NOTES  
 1. SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.  
 2. SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORMS).  
 3. IF EVIDENCE PERISTS THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (I.E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



RESIDENTIAL TRAFFIC TOP  
 PRECAST CONC. SEEPAGE PIT DETAIL



DRYWELL  
 GR=77.0  
 INV=75.5  
 BOT=69.5

EXIST.  
 FENCE TO BE  
 UPGRADED W/  
 SELF CLOSER  
 PER CODE  
 (ALL FENCES TO BE  
 UPGRADED TO  
 CODE AS NECESSARY)

PROP.  
 SLOT DRAIN  
 GR=77.8  
 INV.=77.0

PROP.  
 EQUIP PAD  
 EL=78.1

DATE	REVISIONS
DESIGNED EM	CHECKED PG
DRAWN EM	APPROVED PG

GRADING PLAN FOR POOL

FOR TAX LOT 60.18-1-42.1

PALANO

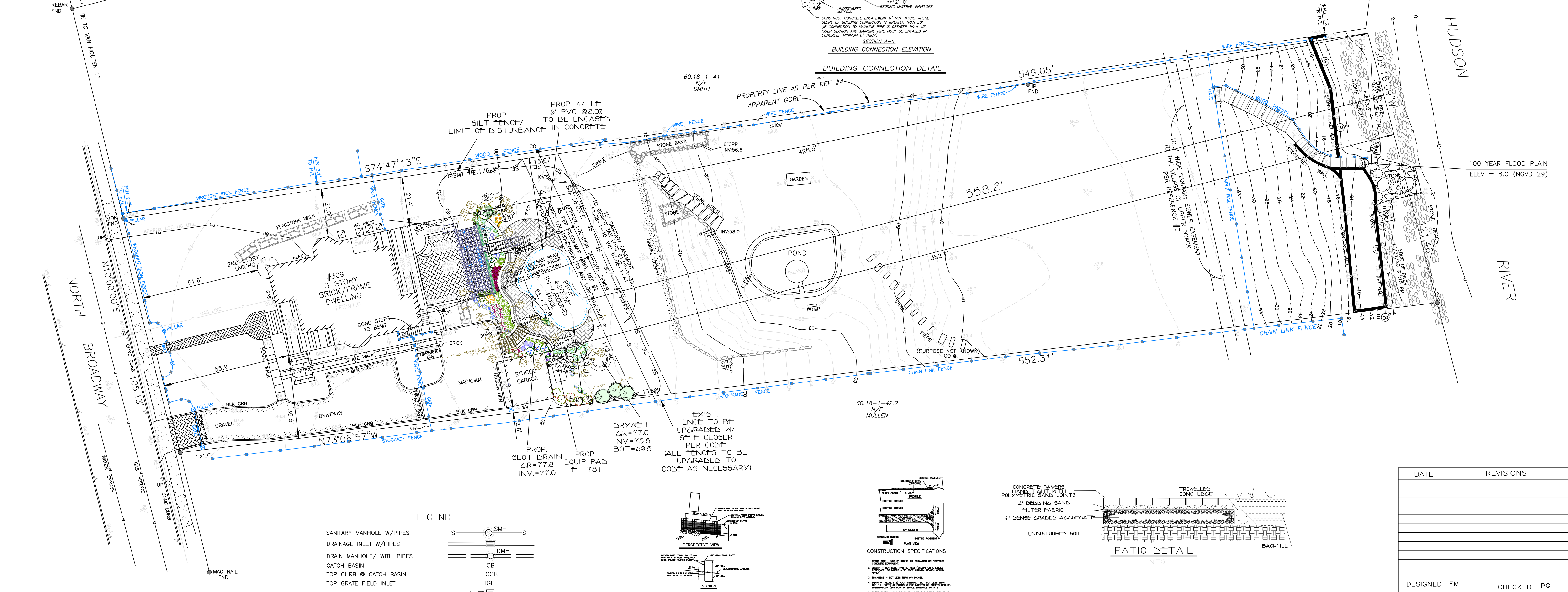
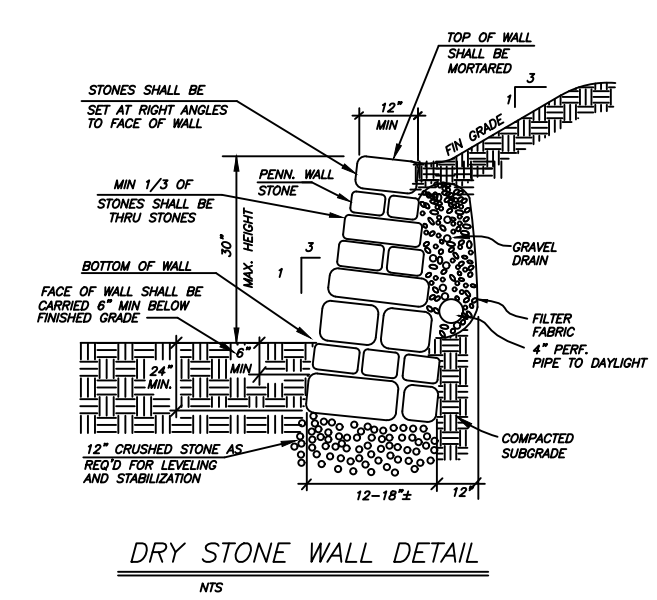
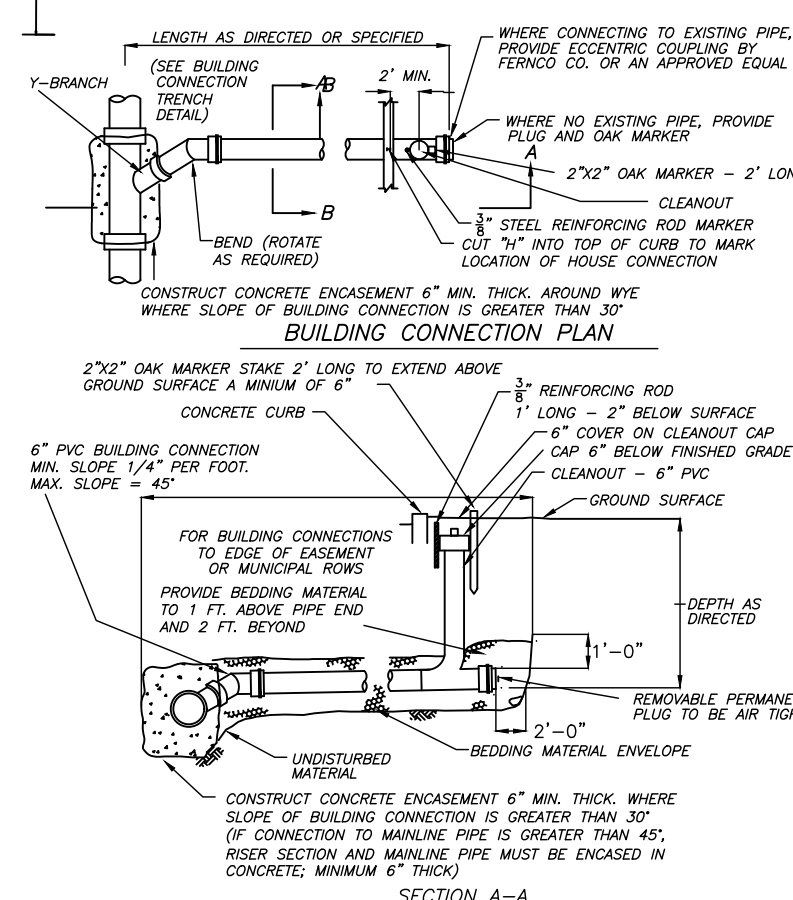
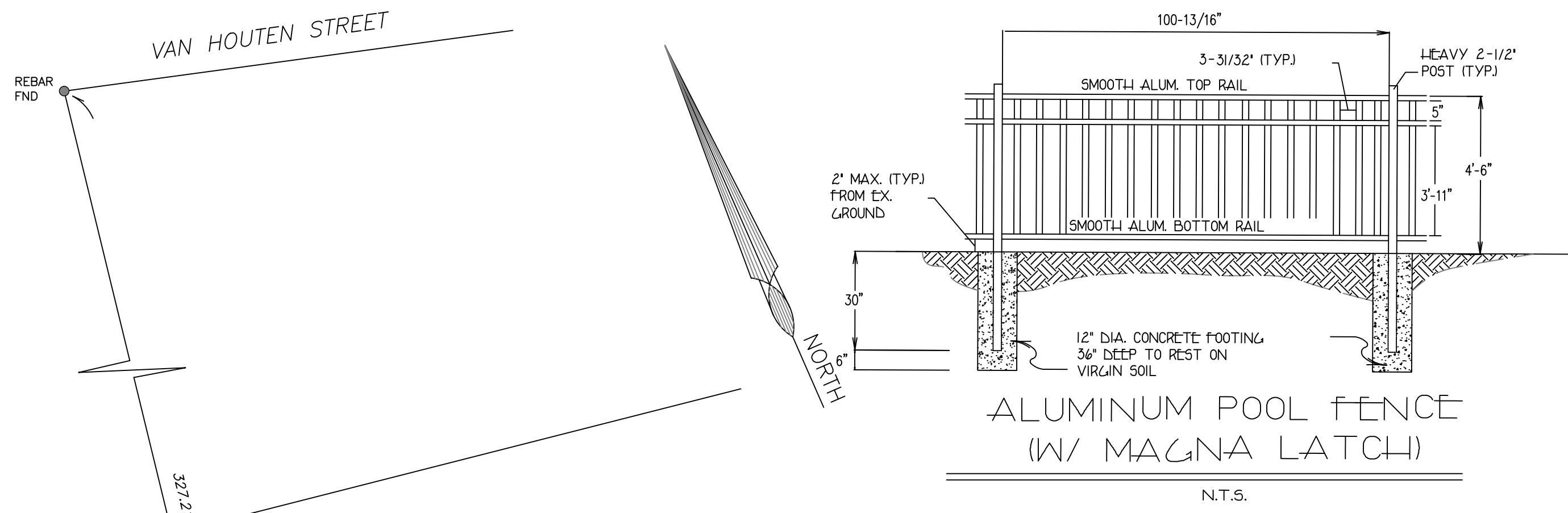
VILLAGE OF UPPER NYACK  
 TOWN OF CLARKSTOWN  
 ROCKLAND COUNTY, NEW YORK

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PAUL GDANSKI, P.E.

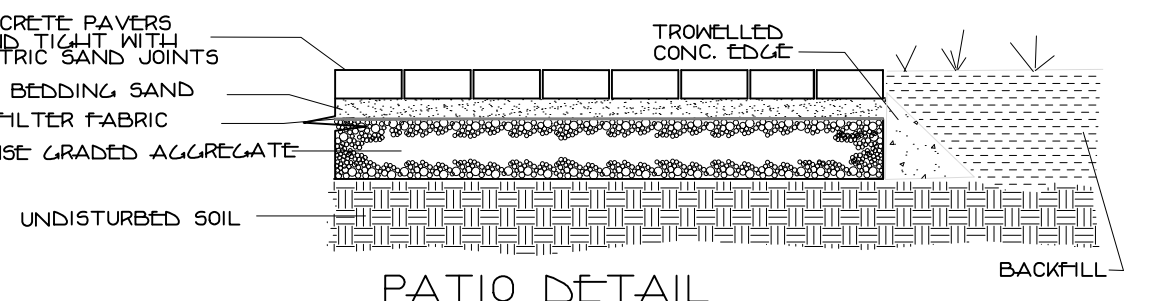
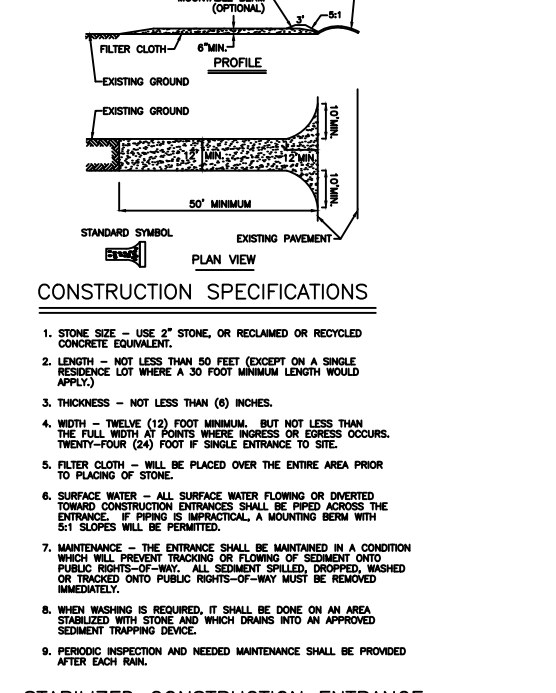
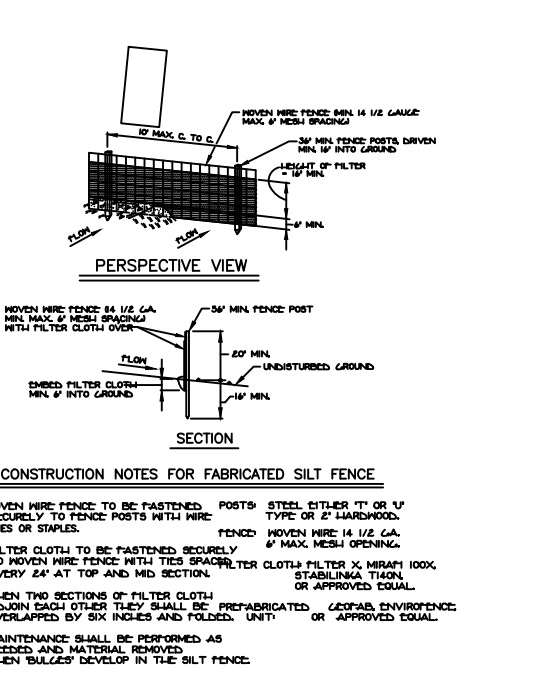
PAUL GDANSKI P.E., PLLC  
 633 WOODMONT LANE  
 SLOATSBURG, N.Y. 10974  
 TEL: (917) 418-0999  
 EMAIL: PGSKI@EARTHLINK.NET

309NBROAD  
 NOV. 24, 2020  
 SCALE 1"=10'  
 3 OF 3



### LEGEND

SANITARY MANHOLE W/PIPES	S ○ S
DRAINAGE INLET W/PIPES	□
DRAIN MANHOLE/ WITH PIPES	○ DMH
CATCH BASIN	CB
TOP CURB CATCH BASIN	TCCB
TOP GRATE FIELD INLET	TGFI
DRAIN INLET	INLET □
UTILITY POLE	UP ○
UTILITY POLE WITH LIGHT	○ W/L
WATER VALVE	WV ○
GAS VALVE	GV △
OVERHEAD WIRES	OHW
BLACKTOP PAVEMENT	////
CONTOUR LINE	— 520 —
SPOT GRADE	x 520.5
WATER MAIN	— W —
GAS MAIN	— G —
ELECTRIC LINE	— E —
CHAIN LINK FENCE	CLF
STOCKADE FENCE	STK FENCE
BUILDING ENTRANCE	◀
CORRUGATED PLASTIC PIPE	CPP
IRRIGATION CONTROL BOX	ICV



### EROSION CONTROL NOTES AND SEQUENCE

1. REVIEW AND APPROVE AS SHOWN
2. INSTALL EROSION CONTROL MEASURES IMMEDIATELY UPON START OF CONSTRUCTION
3. MAINTAIN PROTECTION FOR EXISTING ALLEYS AROUND EXISTING DAMAGE STRUCTURES
4. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
5. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
6. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
7. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
8. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
9. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES
10. VERIFY AND REPAIR DAMAGE TO EXISTING UTILITIES AND STRUCTURES

DATE	REVISIONS
DESIGNED	EM
DRAWN	EM
CHECKED	PG
APPROVED	PG

## SITE PLAN FOR POOL

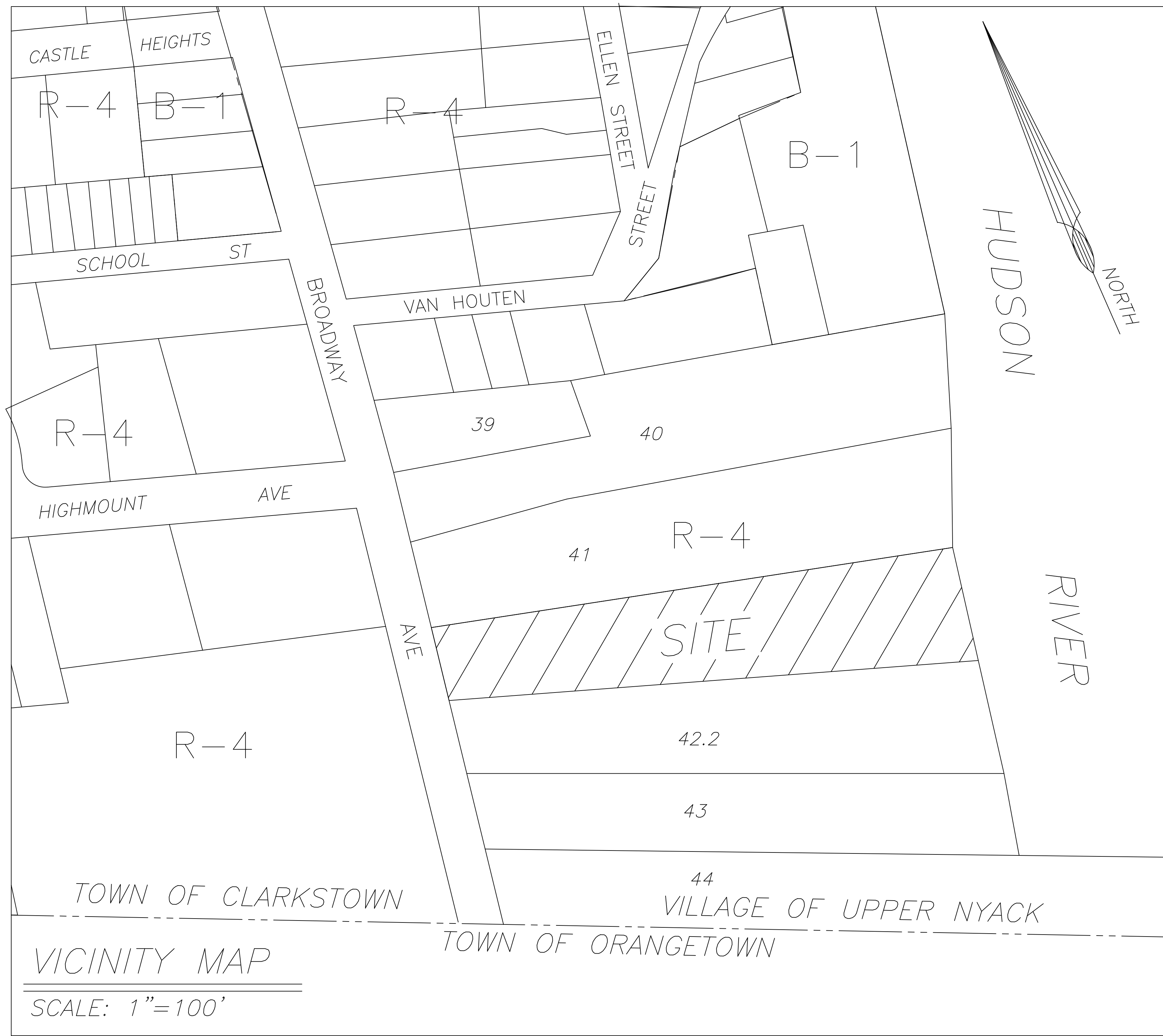
FOR TAX LOT 60.18-1-42.1  
**PALANO**  
VILLAGE OF UPPER NYACK  
TOWN OF CLARKSTOWN  
ROCKLAND COUNTY, NEW YORK

**PAUL GDANSKI P.E., P.L.L.C.**  
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DATE	NOV. 24, 2020
SCALE	1"=20'
DATE	NOV. 24, 2020
PAGE	2 OF 3

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REFERENCES:  
 ALL BOUNDARY & TOPOGRAPHY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY JAY A. GREENWELL, PLS LAST REVISED NOVEMBER 9, 2020.



**BULK REQUIREMENTS ZONE R-4**

USE GROUP	MINIMUM LOT AREA	STREET FRONT FEET	FRONT SETBACK FEET	SIDE SETBACK FEET	TOTAL SIDE SETBACK FEET	SIDE YARD POOL (FT)	REAR SETBACK FEET	REAR YD POOL (FT)	PRIM BLDG COVERAGE (%)	MAXIMUM HEIGHT FEET	MAX. COV. BLDGS/STRUC (%)	MIN. LIV. AREA SQ.
REQD	10000 SQ. FT.	90	35	25	50	25	25	25	20.0	35.0	40.0	1,550
EXIST	55,696 SQ. FT.	105.1	51.6	210*	57.5	NA	582.7	NA	4.8	155	15.5	2,194
PRD	55,696 SQ. FT.	105.1	51.6	210*	57.5	34.1	582.7	558.2	4.8	155	18.5	2,194

\* PRE-EXISTING  
 MAX. COVERAGE BY BUILDINGS & STRUCTURES:  
 EX. DWELLING & PORCH = 2,477 SF  
 EX. GARAGE = 571 SF  
 EX. FRONT WALKS/GARAGE PAD = 657 SF  
 EX. DRIVEWAY = 2,892 SF  
 EX. BACK PATIO, STEP STONES & WALKS = 1,056 SF  
 EX. FENCE = 800 SF  
 EX. SLOPE STEPS = 150 SF  
 EX. FRONT PORCH = 14 SF  
 PROP. POOL/COPIING = 744 SF  
 PROP. RATIO = 770 SF  
 PROP. HALL & STEPS = 185 SF  
 PROP. COURT PAD = 40 SF  
 TOTAL = 8,419 SF + 1,709 SF = 10,128 SF/55,696 SF = 18.2%

NET LOT AREA CALCULATIONS:  
 41,894 SF GROSS LOT AREA  
 -0.541,280 SF AREA OF SLOPES ±0%  
 NET LOT AREA = 55,696 SF

- NOTES:
- RECORD OWNER & APPLICANT: GIUSEPPE & DENISE PAGANO  
 309 NO. BROADWAY  
 UPPER NYACK, NY 10960
  - ZONE R-4
  - AREA=61,986 (1.46 ACRES)
  - EXISTING TAX LOT: 601B-1-42.1
  - ALL UTILITIES ARE EXISTING. ANY NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - THE CORNERS OF THE LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH TO BE INSTALLED AFTER FINAL GRADING.
  - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
  - WATER SUPPLY BY SUZC NY.
  - SANITARY SEWER AND WATER SERVICES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SEPARATION OF TEN FEET.
  - SUBJECT TO VILLAGE AND STATE CONSTRUCTION AND UTILITY STANDARDS, AS APPLICABLE.
  - THE DEVELOPER SHALL CONFORM TO THE "NEW YORK STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL."
  - PROTECTION OF TREES: NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED, EXCEPT WHERE ENGAGED FOR TREE REMOVAL. NO EQUIPMENT SHALL BE OPERATED WITHIN 50% OF CRITICAL ROOT RADIUS OF ANY TREE PROPOSED TO BE PROTECTED IN THIS ORDINANCE NOR SHALL EQUIPMENT BE OPERATED AT ANY TIME IN SUCH MANNER TO BREAK, TEAR, BRUISE, DECORTICATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
  - PLANNING BOARD AND ARCHITECTURAL BOARD APPROVAL FOR SITE AND HOUSE PLANS IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AT THE TIME OF SITE PLAN SUBMISSION, A DETAILED TREE LOCATION PLAN SHALL BE PROVIDED IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
  - SITE PLAN SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL, WITHIN WHICH TIME APPLICANT SHALL SECURE A BUILDING PERMIT.
  - EXISTING TREES SHOWN ON THE GRADING PLAN TO REMAIN ARE TO REMAIN UNDISTURBED AND BE PROTECTED WITH A 6 FOOT HIGH WOODEN FENCE WITH POSTS PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FT. MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A 4" CALIPER HARDWOOD SHADE TREE AS DIRECTED BY THE LANDSCAPE ARCHITECT. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND AN AREA OF SUCH TREES HAS BEEN REMOVED, A 2 1/2"-3" CALIPER HARDWOOD SHADE TREE SHALL BE PLACED FOR EVERY 300 SF OF AREA DISTURBED.
  - ALL TREES SCHEDULED FOR REMOVAL MUST HAVE A VALID VILLAGE OF UPPER NYACK TREE PERMIT PRIOR TO CUTTING OR REMOVAL.

DATE	REVISIONS

DESIGNED EM  
 DRAWN EM  
 CHECKED PG  
 APPROVED PG

**COVER SHEET & NOTES**  
 FOR TAX LOT 601B-1-42.1

**PAGANO**  
 VILLAGE OF UPPER NYACK  
 TOWN OF CLARKSTOWN  
 ROCKLAND COUNTY, NEW YORK

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 TEL: (917) 418-0999  
 EMAIL: PGSKI@EARTHLINK.NET

309NBROAD  
 NOV. 24, 2020  
 AS SHOWN

APPROVED FOR FILING:

OWNER \_\_\_\_\_

CHAIRMAN, PLANNING BOARD \_\_\_\_\_

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*Paul Gdanski*  
**PAUL GDANSKI**  
 PROFESSIONAL ENGINEER