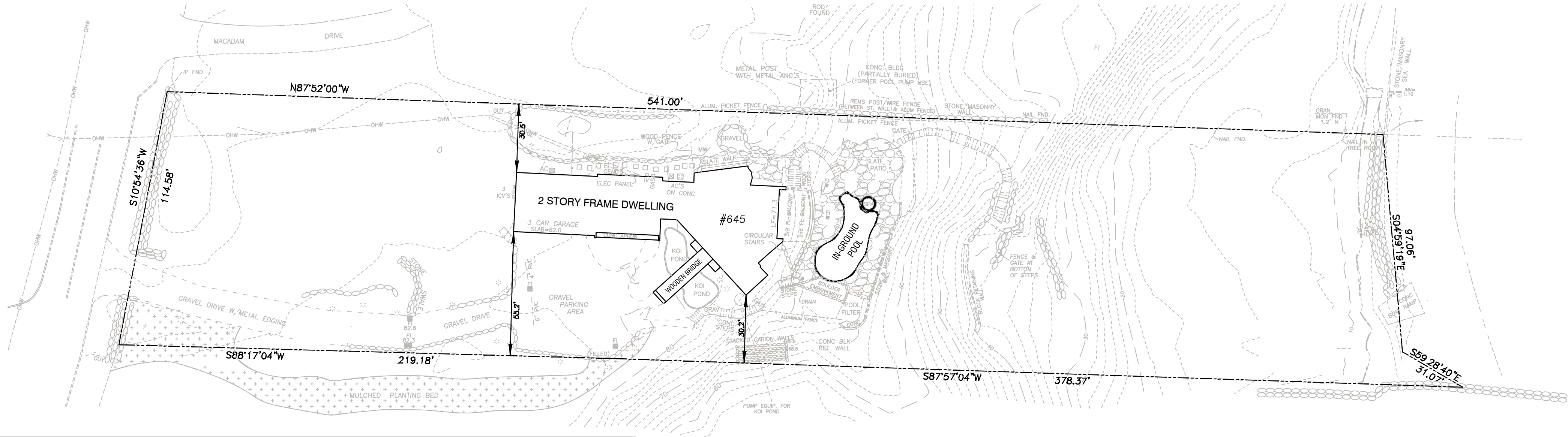


# RENOVATION & ALTERATION GUEST HOUSE

645 N. BROADWAY | UPPER NYACK, NY  
ROCKLAND COUNTY  
SECTION 60.06 BLOCK 1, LOT 6



SITE PLAN INFORMATION OBTAINED FROM SURVEY BY  
JAY A. GREENWELL, PLS, LLC  
85 LAFAYETTE, SUFFERN, NEW YORK, 10901  
845-357-0830, DATED 07-16-13 LIC. NUMBER 49876

KEY PLAN  
SCALE: 1/32"=1'-0"

THIS SCOPE OF WORK IS PART OF A COMPREHENSIVE SET OF DRAWINGS THAT ARE REPRESENTED ON THE MASTER PLAN CREATED BY JAY A. GREENWELL, PLS, LLC. PLEASE REFER TO LIST OF DRAWINGS FOR ADDITIONAL SCOPE OF WORK RELATED TO THIS PROJECT.

CONTRACTOR MUST TAKE ALL STEPS NECESSARY TO HAVE THE FIRE ALARM SYSTEM AND SECURITY ALARM SYSTEM REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT DAMAGE TO BUILDING DURING DEMOLITION. PROVIDE SHORING AND SUPPORT TO BUILDING STRUCTURE PRIOR TO ANY DEMOLITION OF LOAD BEARING WALLS

THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS

ARCHITECT  
T.M. RYBAK AND ASSOCIATES, P.C.  
TOMASZ RYBAK, AIA  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-0473 - FAX.(201) 460-0931

ARCHITECTURAL LIST OF DRAWINGS			
PAGE #	DESCRIPTION	REVISIONS	
T-101.00	TITLE SHEET, BUILDING INFO & KEY PLAN		
G-101.00	GENERAL NOTES		
DM-100.00	DEMOLITION PLAN AND NOTES - BASEMENT		
DM-101.00	DEMOLITION PLAN AND NOTES - FIRST FLOOR		
DM-102.00	DEMOLITION PLAN AND NOTES - SECOND FLOOR		
A-100.00	CONSTRUCTION PLAN AND NOTES - BASEMENT		
A-101.00	CONSTRUCTION PLAN AND NOTES - FIRST FLOOR		
A-102.00	CONSTRUCTION PLAN AND NOTES - SECOND FLOOR		
A-103.00	CONSTRUCTION PLAN AND NOTES - ROOF PLAN		
A-200.00	REFLECTED CEILING PLAN AND NOTES - BASEMENT		
A-201.00	REFLECTED CEILING PLAN AND NOTES - FIRST FLOOR		
A-202.00	REFLECTED CEILING PLAN AND NOTES - SECOND FLOOR		
A-301.00	PROPOSED ELEVATIONS - SHEET 1 OF 2		
A-302.00	PROPOSED ELEVATIONS - SHEET 2 OF 2		
A-400.00	PROPOSED BUILDING SECTIONS		
A-401.00	WINDOW AND DOOR SCHEDULES		
A-402.00	PLUMBING RISER DIAGRAMS AND WALL SECTIONS		
A-501.00	PROPOSED MILLWORK - SHEET 1 OF 3		
A-502.00	PROPOSED MILLWORK - SHEET 2 OF 3		
A-503.00	PROPOSED MILLWORK - SHEET 3 OF 3		
A-600.00	FINISH PLAN AND NOTES - BASEMENT		
A-601.00	FINISH PLAN AND NOTES - FIRST FLOOR		
A-602.00	FINISH PLAN AND NOTES - SECOND FLOOR		

CONTRACTOR  
BOILING SPRINGS GROUP, INC.  
ANDREW MICHALSKI  
15 WEST ERIE AVE. RUTHERFORD, NJ 07070  
TEL.(201) 460-8339 - FAX.(201) 460-0931

SITE SURVEYOR  
JAY A. GREENWELL, PLS, LLC  
JAY A. GREENWELL, P.L.S  
85 LAFAYETTE AVE. SUFFERN, NY 10901  
TEL.(845) 357-0830 - FAX.(845) 357-0756

ENERGY CONSULTANT  
ENERGY EFFICIENCY CONSULTANTS, LLC.  
MIKE HICKS  
10 CARLANN LANE VALLEY COTTAGE, NY 10989  
TEL.(845) 271-9385 - FAX.(845) 267-8280

BUILDING DATA			
STREET ADDRESS:		645 NORTH BROADWAY	
		UPPER NYACK, NY 10960	
SECTION:		60.06	
BLOCK:		1	
LOT:		6	
CROSS STREET:		LARCHDALE AVENUE	
MAP:		6840	
ZONE:		R-1 - RESIDENCE (40,000 SF)	
JOB TYPE:		RENOVATION AND ALTERATION	
USE GROUP:		R-3 - ONE & TWO FAMILY	
CONSTRUCTION TYPE:		SB	
No. OF STORIES:		2 STORIES AND FINISHED BASEMENT	
BUILDING HEIGHT:		+/- 28'-0"	
FIRE SUPPRESSION:		NOT REQUIRED	
FIRE ALARM SYSTEM:		NOT REQUIRED	
BUILDING AREA			
FLOOR	EXISTING	ADDITION	TOTAL
BASEMENT AREA:	1,700 SF	NO CHANGE	
1ST FLOOR AREA:	3,700 SF		
2ND FLOOR AREA:	2,600 SF		
SCOPE OF WORK			
CONTRACT AREA:		8,000 SF	
HEIGHT OF CONTRACT AREA:		+/- 28'-0"	
CONTRACT AREA VOLUME:		224,000 CF	

- APPLICABLE CODES- NEW YORK STATE
- THE PROPOSED WORK DOES NOT CREATE NOR DOES IT EXTEND ANY NON-COMPLIANCE TO THE BUILDING CODES OF NEW YORK STATE.
  - THE APPLICABLE NEW YORK STATE CODES ARE:
    - 2015 BUILDING CODE
    - 2015 RESIDENTIAL CODE
    - 2015 EXISTING BUILDING CODE
    - 2015 FIRE CODE
    - 2015 PLUMBING CODE
    - 2015 MECHANICAL CODE
    - 2015 FUEL GAS CODE
    - 2015 ENERGY CONSERVATION CONSTRUCTION CODE

T.M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:		
REV #	DESCRIPTION:	DATE:
	SUBMITTED FOR FILING	01.06.2020
	RESUBMISSION TO PLANNING BOARD	10.21.2020
	SUBMISSION TO ARB	08.05.2021

RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
TITLE SHEET, BUILDING INFO  
& KEY PLAN

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1  
CT 07984 MO 007521  
DE 0005320 NH 3076  
DC ARCH 0101043 NJ 21A000902900  
IL 001-015551 NY 019357-1  
KS 4533 OH 1616619  
MD 7823 PA RA-010849-B  
MA 8687 WI 11836-5  
MI 1301040380

NJ PROFESSIONAL PLANNER: 08100355400  
NJ CERTIFIED INTERIOR DESIGNER: 21000026700



TOMASZ M. RYBAK, AIA ARCHITECT

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DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

DWG. NO.

T-200.00

15 OF 47





T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
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RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

DEMOLITION PLAN AND NOTES -  
BASEMENT

ARCHITECTURAL LICENSE NUMBERS:

NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21AID0062900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 6867	WI 11535-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 38100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



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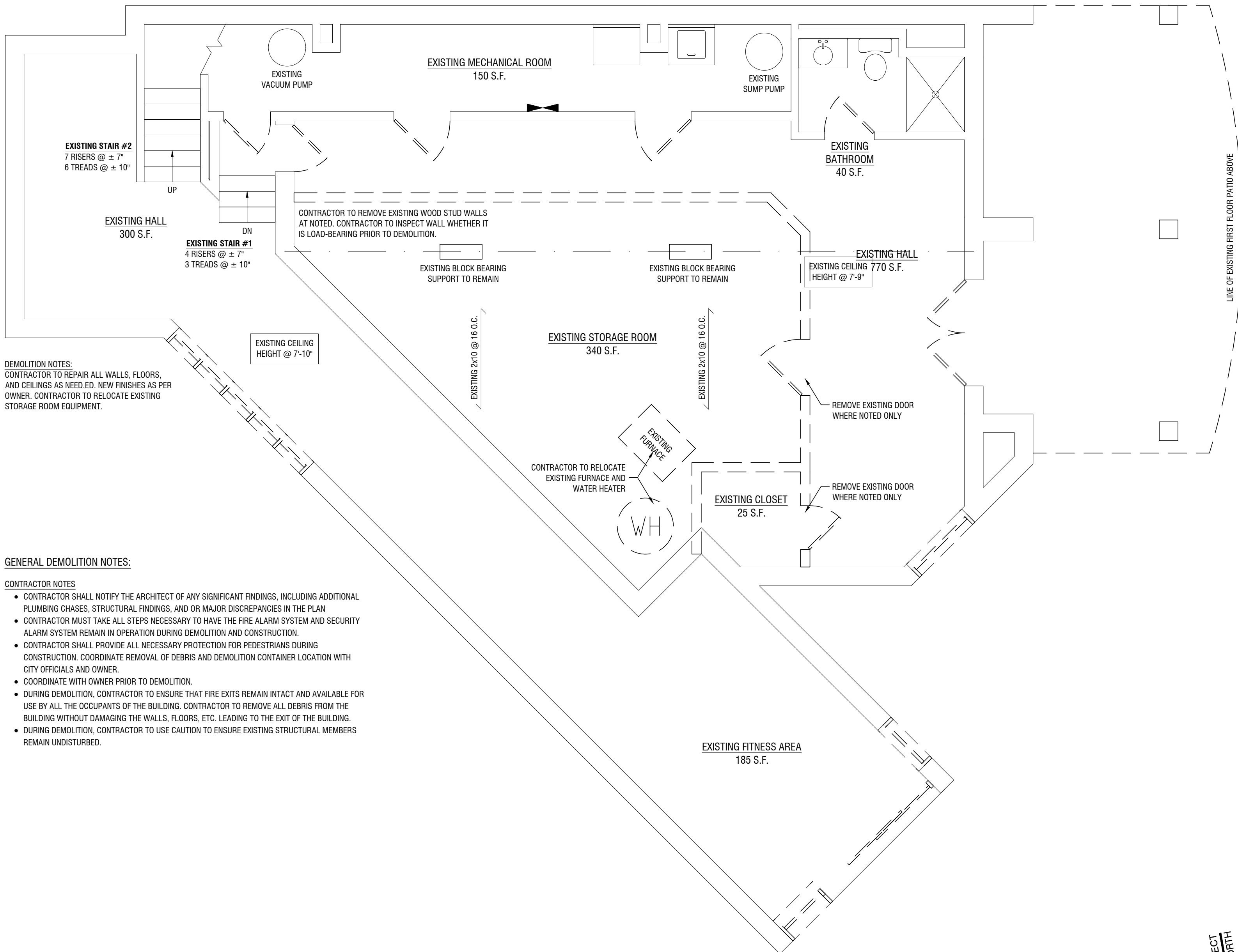
DM-100.00

17 OF 47

DIVISION 02 - EXISTING CONDITIONS

024119 SELECTIVE DEMOLITION

- THIS SECTION REQUIRES THE SELECTIVE REMOVAL & THE SUBSEQUENT LEGAL OFFSITE DISPOSAL OF PORTIONS OF THE EXISTING BUILDING INDICATED ON DRAWINGS & AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- RELOCATE PIPES, DUCTS CONDUITS & OTHER MECHANICAL & ELECTRICAL ITEMS AS REQUIRED & AS INDICATED ON ARCHITECTURAL & ENGINEERING DRAWINGS TO COMPLETE THE WORK OF THIS CONTRACT.
- SUBMIT SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR SELECTIVE DEMOLITION WORK TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO START OF WORK. INCLUDE COORDINATION FOR SHUT OFF, CAPPING & CONTINUATION OF UTILITY SERVICES AS REQUIRED TOGETHER WITH DETAILS FOR DUST & NOISE CONTROL PROTECTION.
- PROVIDE DETAILED SEQUENCE OF DEMOLITION & REMOVAL WORK TO ENSURE UNINTERRUPTED PROGRESS OF OWNER'S ON-SITE OPERATIONS.
- CONDUCT SELECTIVE DEMOLITION WORK IN A MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS. PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER OF DEMOLITION ACTIVITIES.
- CONDITION OF STRUCTURE: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- CONDITIONS EXISTING AT TIME OF INSPECTIONS FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER INSOFAR AS PRACTICABLE. HOWEVER, MINOR VARIATIONS WITHIN STRUCTURE MAY OCCUR BY OWNER'S REMOVAL & SALVAGE OPERATIONS PRIOR TO START OF SELECTIVE DEMOLITION.
- PROTECTIONS: PROVIDE TEMPORARY BARRICADES & OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL & GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.
- FLAME CUTTING: THE USE OF CUTTING TORCHES OR OPEN FLAME TO REMOVE MATERIALS FROM THE BUILDING IS NOT PERMITTED.
- MAINTAIN FIRE PROTECTION SERVICES DURING SELECTIVE DEMOLITION OPERATIONS.
- CEASE OPERATIONS & NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
- COVER & PROTECT FURNITURE, EQUIPMENT & FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
- WHERE SELECTIVE DEMOLITION OCCURS IMMEDIATELY ADJACENT TO OCCUPIED PORTIONS OF THE BUILDING, CONSTRUCT DUST PROOF PARTITIONS OF MINIMUM 4 INCH STUDS, 5/8 INCH DRYWALL (JOINTS TAPED) ON THE OCCUPIED SIDE, 1/2 INCH FIRE RETARDANT PLYWOOD ON DEMOLITION SIDE. FILL PARTITION CAVITY WITH SOUND ATTENUATION BLANKET INSULATION.
- PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO OCCUPIED AREAS OF BUILDING.
- PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS NECESSARY DURING CHANGEOVER.
- IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE & MEASURE BOTH NATURE & EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM OWNER'S REPRESENTATIVE, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT UNDUE DELAY.
- UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT & DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS & LEAVE INTERIOR AREAS BROOM CLEAN.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN ELEMENTS OF CONSTRUCTION & SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.



DEMOLITION NOTES:  
CONTRACTOR TO REPAIR ALL WALLS, FLOORS, AND CEILINGS AS NEEDED. NEW FINISHES AS PER OWNER. CONTRACTOR TO RELOCATE EXISTING STORAGE ROOM EQUIPMENT.

GENERAL DEMOLITION NOTES:

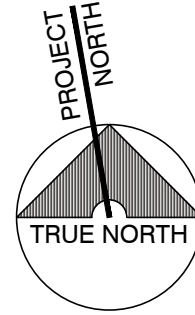
CONTRACTOR NOTES

- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY SIGNIFICANT FINDINGS, INCLUDING ADDITIONAL PLUMBING CHASES, STRUCTURAL FINDINGS, AND OR MAJOR DISCREPANCIES IN THE PLAN.
- CONTRACTOR MUST TAKE ALL STEPS NECESSARY TO HAVE THE FIRE ALARM SYSTEM AND SECURITY ALARM SYSTEM REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR PEDESTRIANS DURING CONSTRUCTION. COORDINATE REMOVAL OF DEBRIS AND DEMOLITION CONTAINER LOCATION WITH CITY OFFICIALS AND OWNER.
- COORDINATE WITH OWNER PRIOR TO DEMOLITION.
- DURING DEMOLITION, CONTRACTOR TO ENSURE THAT FIRE EXITS REMAIN INTACT AND AVAILABLE FOR USE BY ALL THE OCCUPANTS OF THE BUILDING. CONTRACTOR TO REMOVE ALL DEBRIS FROM THE BUILDING WITHOUT DAMAGING THE WALLS, FLOORS, ETC. LEADING TO THE EXIT OF THE BUILDING.
- DURING DEMOLITION, CONTRACTOR TO USE CAUTION TO ENSURE EXISTING STRUCTURAL MEMBERS REMAIN UNDISTURBED.

DEMOLITION LEGEND

- EXISTING PARTITION TO REMAIN. PATCH & RETINISH ALL SURFACES DISTURBED OR DAMAGED AS A RESULT OF THIS CONTRACT.
- WALL, FINISH MATERIAL OR ITEM TO BE REMOVED.

0 DEMOLITION PLAN - BASEMENT  
SCALE: 1/4"=1'-0"



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T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
1	SUBMITTED FOR FILING	01.06.2020
2	RESUBMISSION TO PLANNING BOARD	10.21.2020
3	SUBMISSION TO ARB	08.05.2021

RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

DEMOLITION PLAN AND NOTES -  
FIRST FLOOR

ARCHITECTURAL LICENSE NUMBERS:

NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC APC101043	NJ 21A00062900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 8887	WI 11535-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 38100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



TOMASZ M. RYBAK, ARCHITECT

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DATE:

09.12.19

SCALE:

AS NOTED

DWN. BY:

GH

JOB NO.

17-007

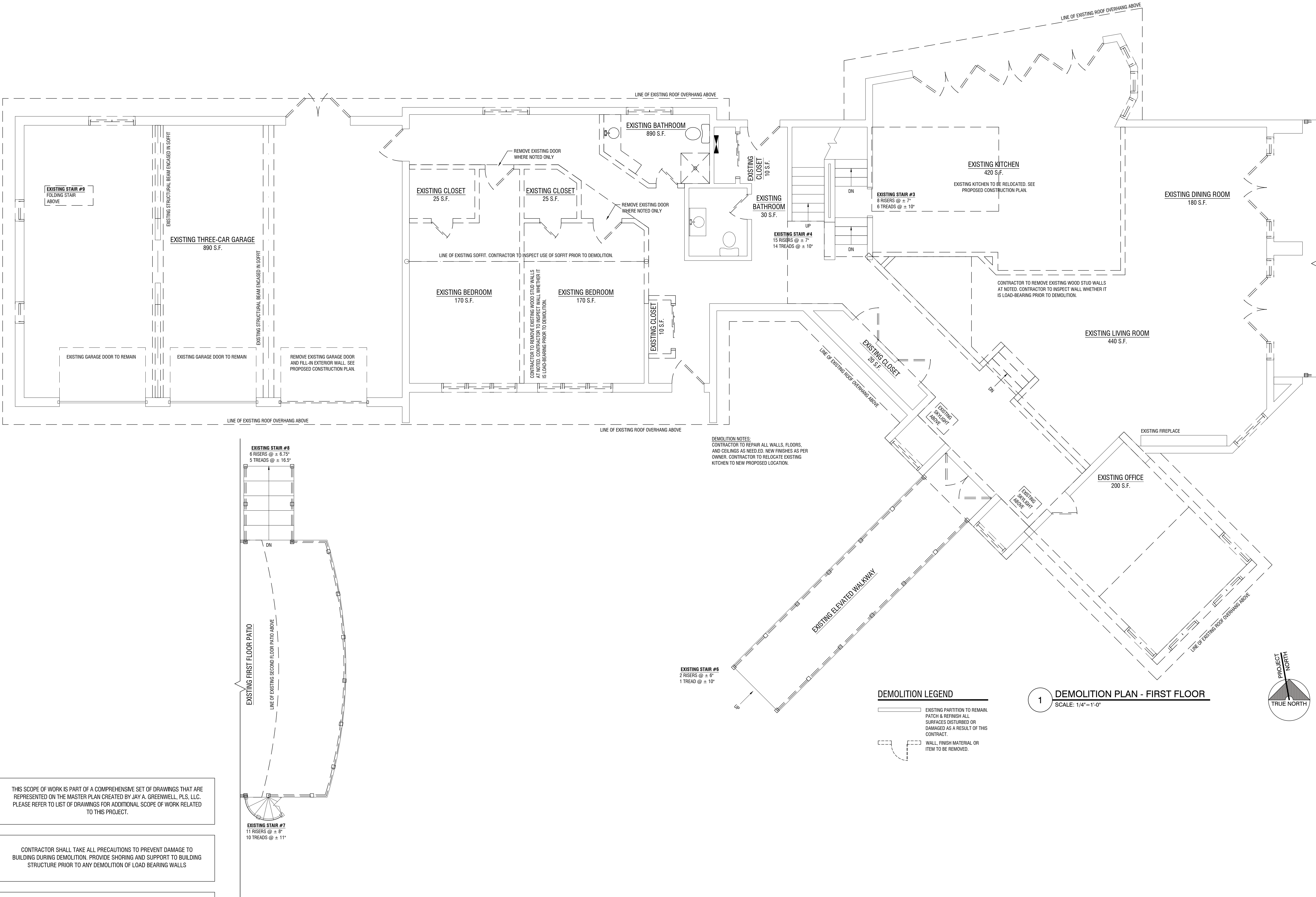
CHK. BY:

TMR

DWG. NO.

DM-101.00

18 OF 47



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1A

DEMOLITION PLAN - FIRST FLOOR PATIO  
SCALE: 1/4"=1'-0"





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15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:		
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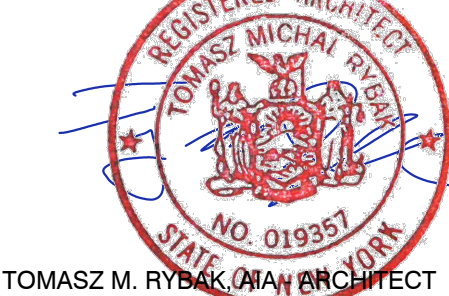
RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:  
DEMOLITION PLAN AND NOTES -  
SECOND FLOOR

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07384	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21AID0062900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 6867	WI 11535-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 38100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



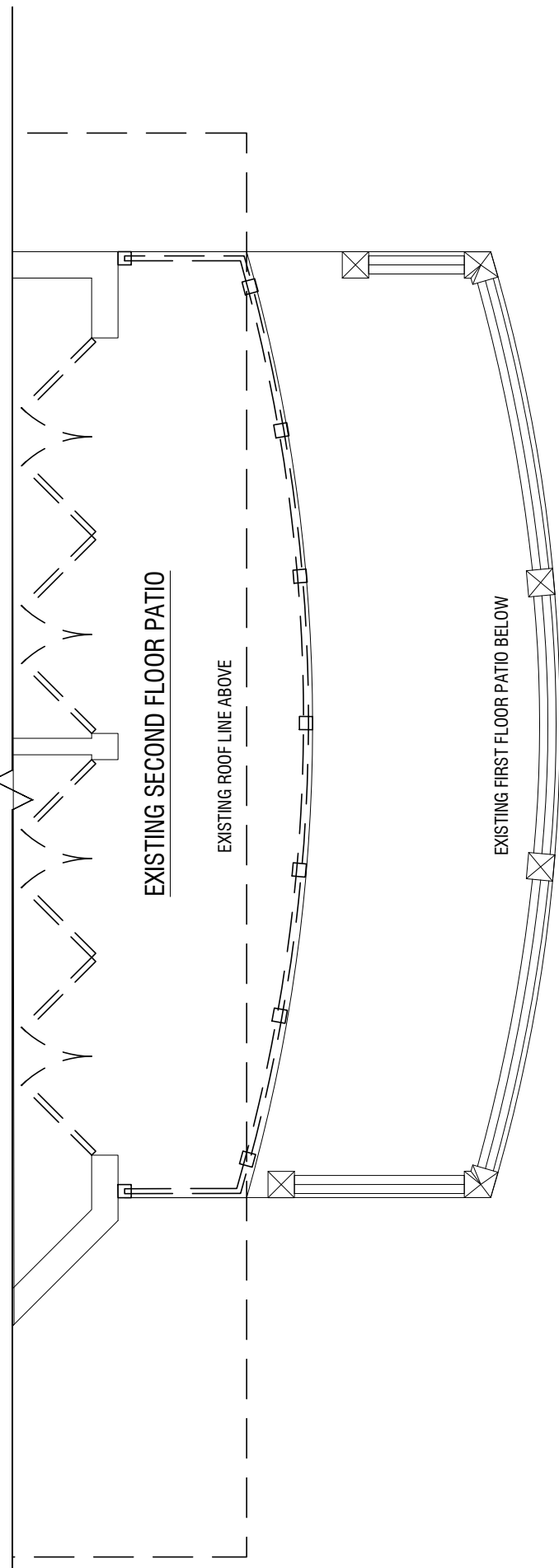
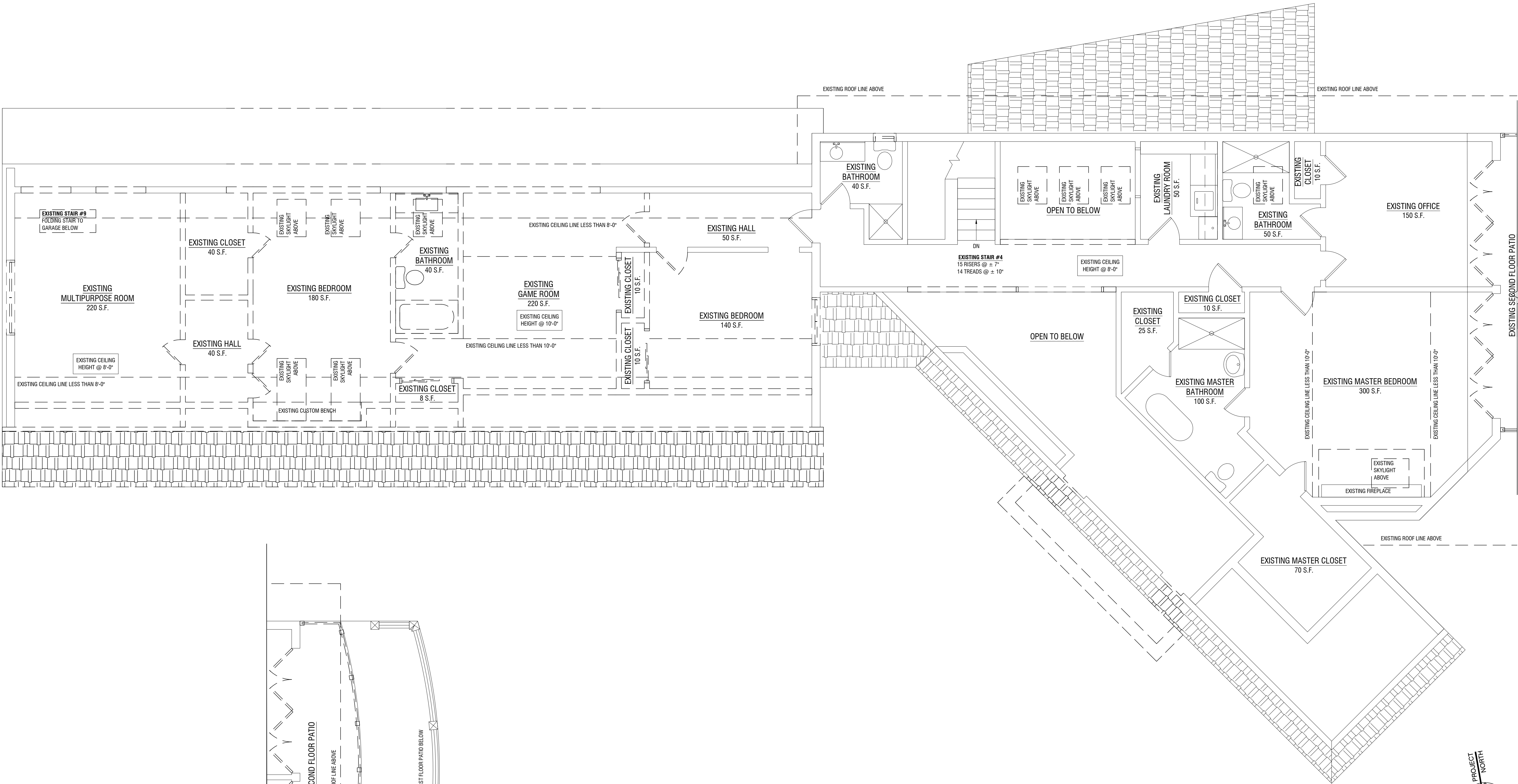
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INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO  
THE FULL EXTENT OF THE LAW.

DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

DWG. NO.  
DM-102.00  
19 OF 47

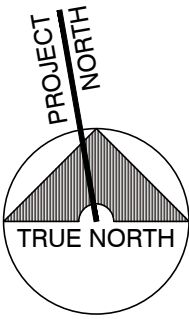


DEMOLITION LEGEND

- EXISTING PARTITION TO REMAIN.  
PATCH & RETINISH ALL  
SURFACES DISTURBED OR  
DAMAGED AS A RESULT OF THIS  
CONTRACT.
- WALL, FINISH MATERIAL OR  
ITEM TO BE REMOVED.

2 DEMOLITION PLAN - SECOND FLOOR

SCALE: 1/4"=1'-0"



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2A DEMOLITION PLAN - SECOND FLOOR PATIO  
SCALE: 1/4"=1'-0"









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RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

#### REVISIONS:

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3	SUBMISSION TO ARB	08.05.2021

## RENOVATION & ALTERATION

### GUEST HOUSE

#### RIVERCLIFF

645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

CONSTRUCTION PLAN AND NOTES -  
FIRST FLOOR

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 02784	MO 007521
DE 0005320	NH 3078
DC APC101043	NJ 21A00062900
IL 001-015551	NY 019357-1
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NJ PROFESSIONAL PLANNER: 38100355400  
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DATE:

09.12.19

SCALE:

AS NOTED

DWN. BY:

GH

JOB NO.

17-007

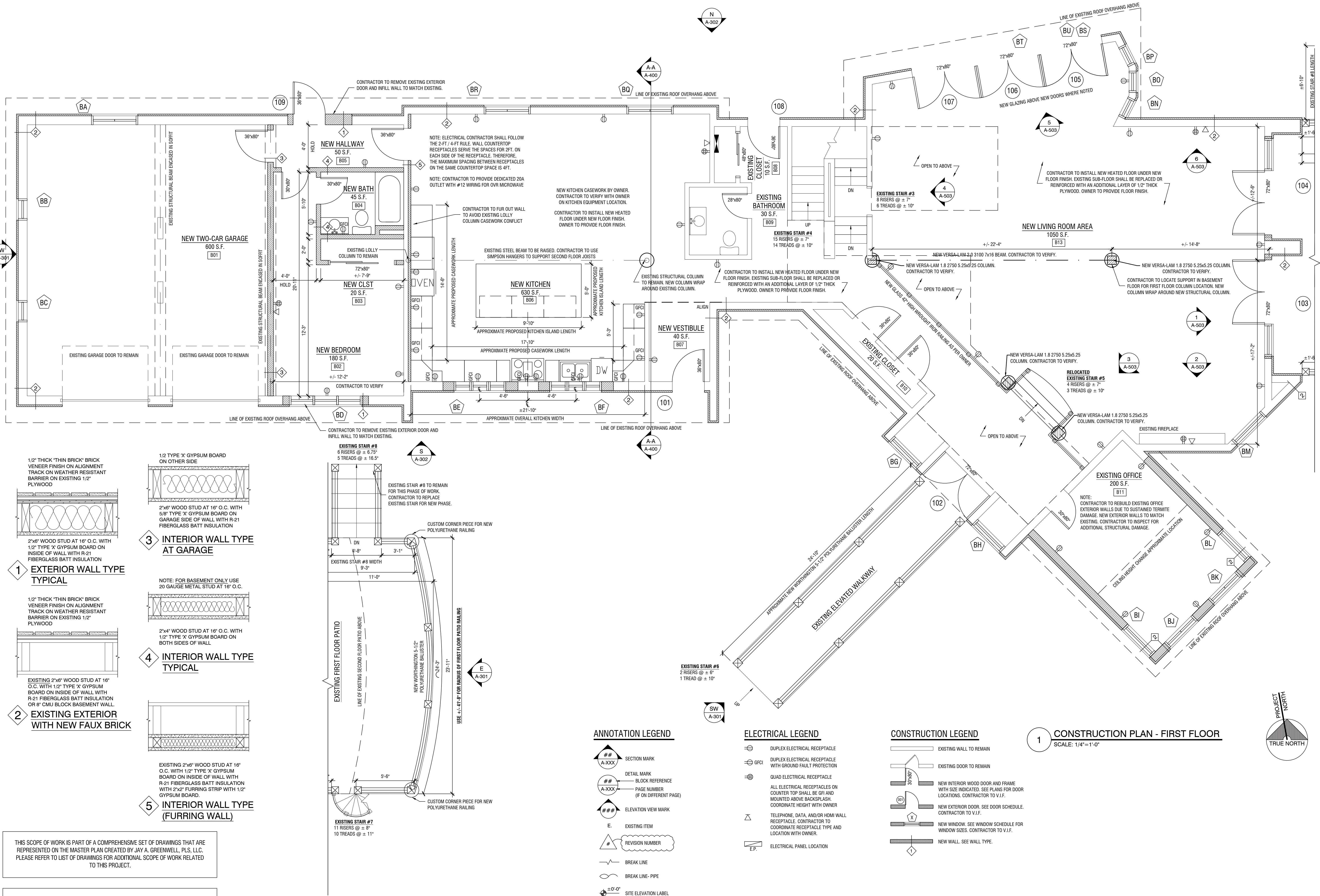
CHK. BY:

TMR

DWG. NO.

A-101.00

21 OF 47



1A CONSTRUCTION PLAN - FIRST FLOOR PATIO  
SCALE: 1/4"=1'-0"

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<u>REV #</u>	<u>DESCRIPTION:</u>	<u>DATE:</u>
	SUBMITTED FOR FILING	01.06.2020
	RESUBMISSION TO PLANNING BOARD	10.21.2020
	SUBMISSION TO ARB	08.05.2021

## CONSTRUCTION PLAN AND NOTES - SECOND FLOOR

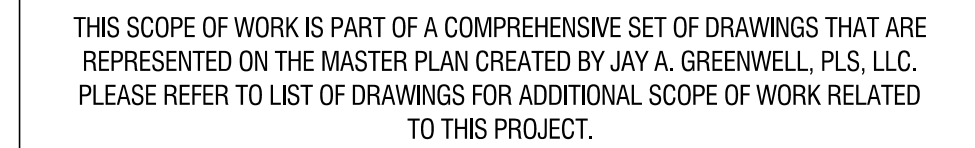
CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21AI00962900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA-010849-B
MA 8687	WI 11836-5
MI 1301040380	



T.M. RYBAK AND ASSOCIATES, P.C.

DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

DWG. NO.  
**A-102.00**  
22 OF 47



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	SUBMISSION TO ARB	08.05.2021

## CONSTRUCTION PLAN AND NOTES - ROOF PLAN

ARCHITECTURAL LICENSE NUMBERS:  
 NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NY 21A100962900
IL 001-015551	NY 019357-1
KS 4533	OH 166169
MD 7823	PA RA-010849-B
MA 8687	WI 11836-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 331.00355400  
 NJ CERTIFIED INTERIOR DESIGNER: 241.00026700



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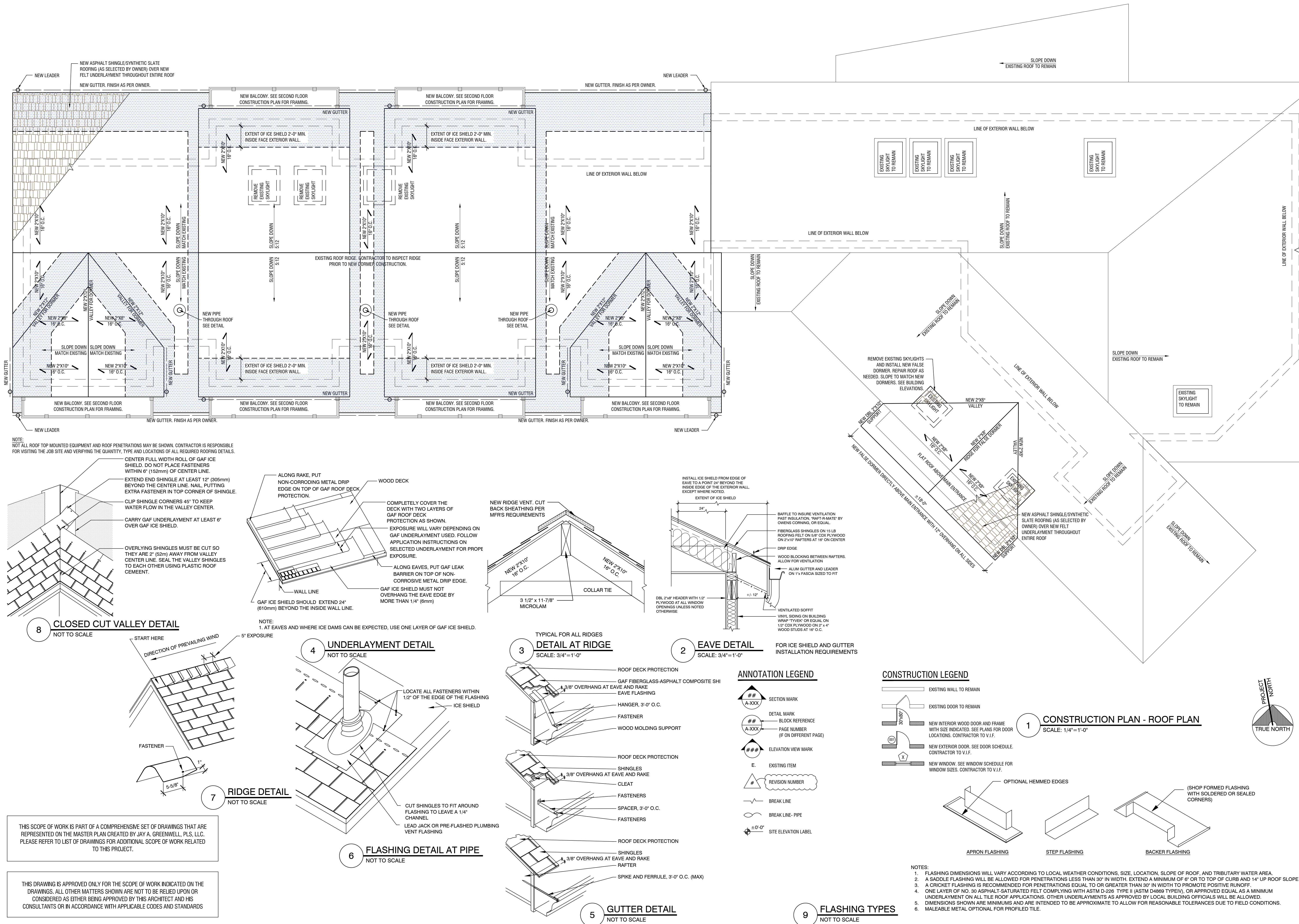
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DATE: 09.12.19  
SCALE: AS NOTED  
DWN. BY: GH  
JOB NO. 17-007  
CHK. BY: TMR

DWG. NO.

A-103.00

23 OF 47







T. M. RYBAK AND ASSOCIATES P. C.  
15 WEST ERIE AVENUE  
RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

REVISIONS:

REV #	DESCRIPTION:	DATE:
1	SUBMITTED FOR FILING	01.06.2020
2	RESUBMISSION TO PLANNING BOARD	10.21.2020
3	SUBMISSION TO ARB	08.05.2021

RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

PROPOSED ELEVATIONS -  
SHEET 1 OF 2

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC APC101043	NJ 21A00062900
IL 001-015557-1	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 6867	WI 11536-5
MI 13010403880	

NJ PROFESSIONAL PLANNER: 38100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



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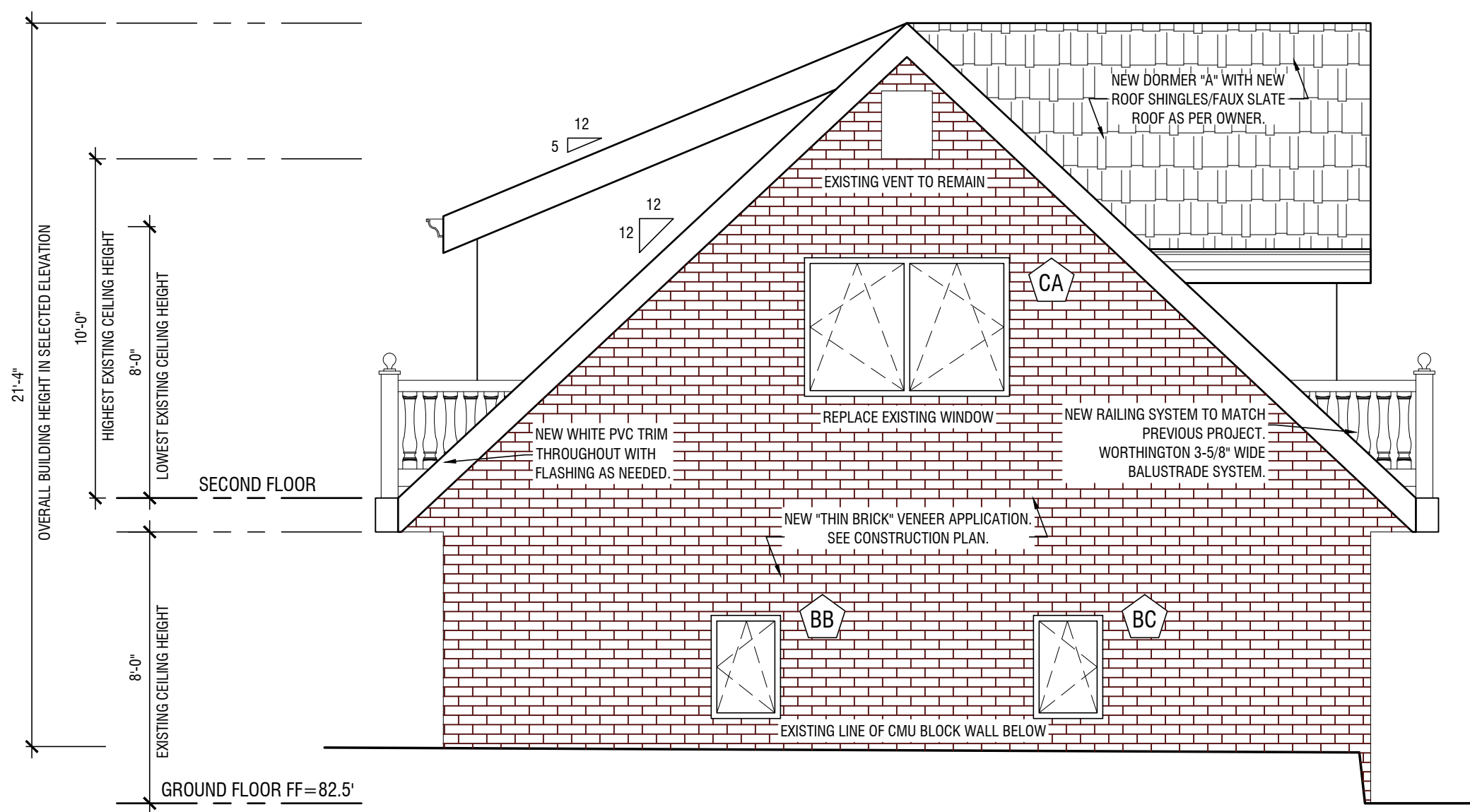
DATE:  
09.12.19  
SCALE:  
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DWN. BY:  
GH

JOB NO.  
17-007  
CHK. BY:  
TMR

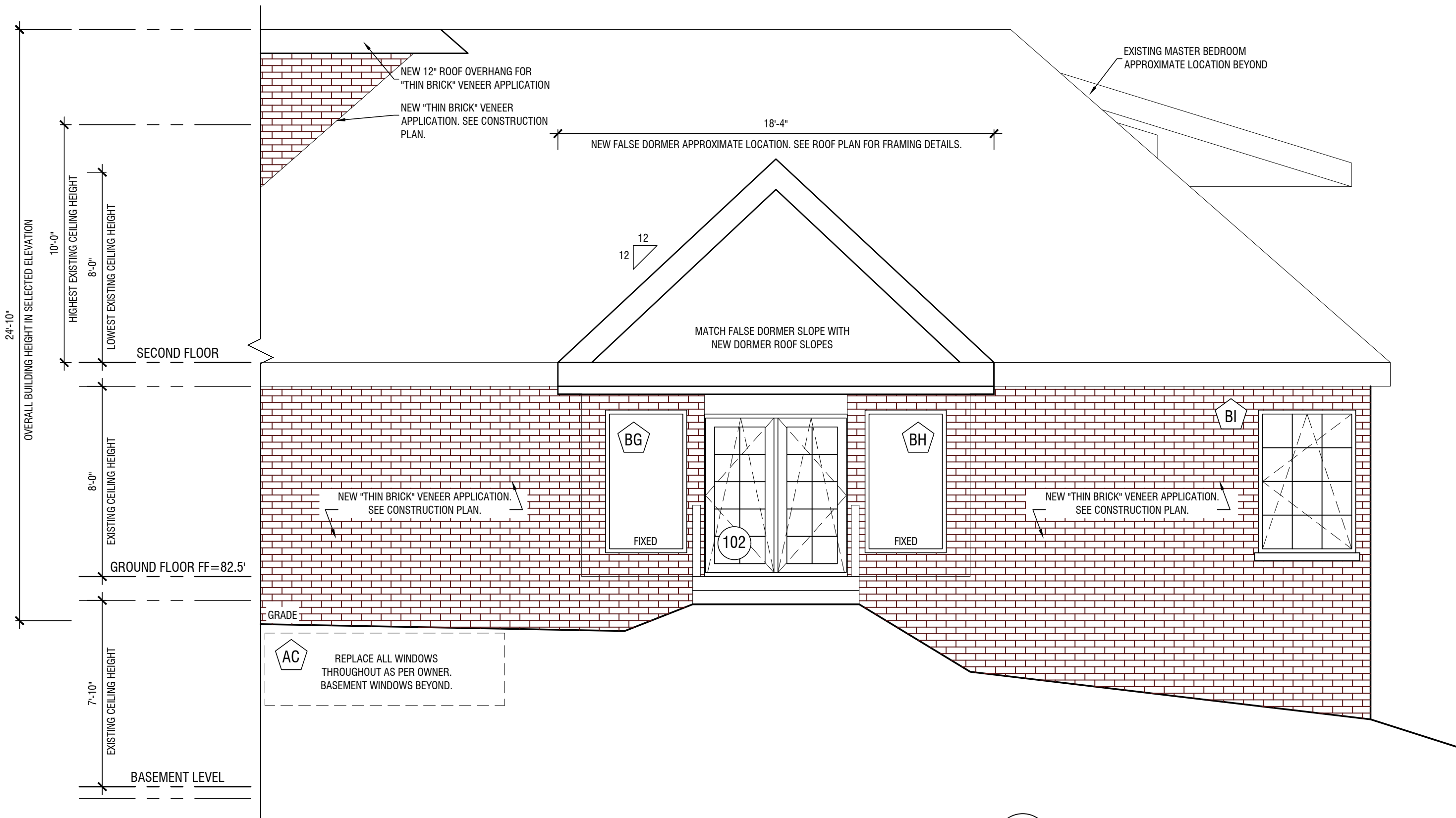
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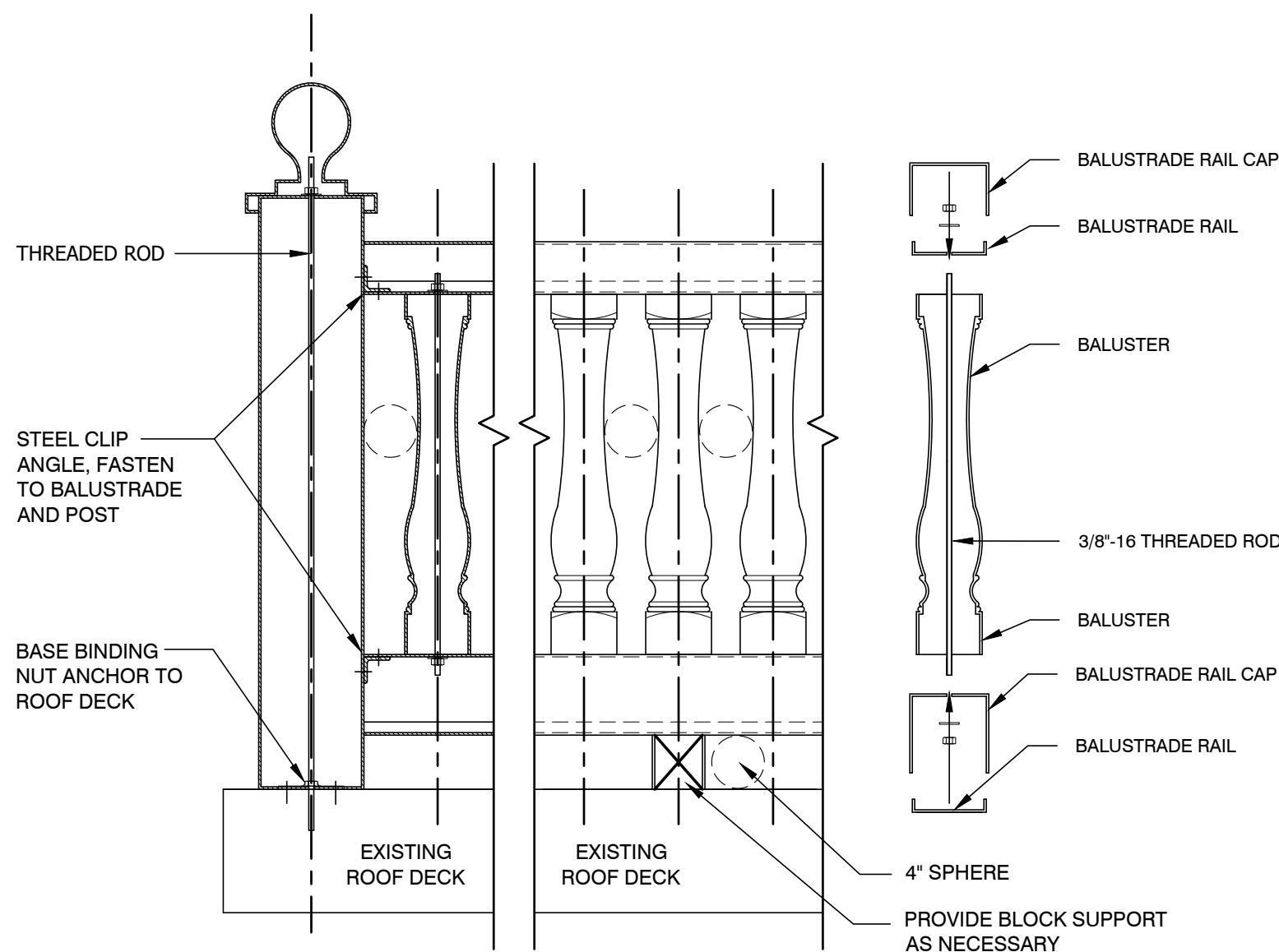
27 OF 47



W PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



SW PROPOSED MAIN ENTRANCE ELEVATION  
SCALE: 1/4"=1'-0"



BALUSTRADE DETAIL  
SCALE: 1"=1'-0"



E PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"

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RUTHERFORD, NEW JERSEY 07070  
T: 201-460-0473 F: 201-460-0931  
ARCHITECTS - INTERIOR DESIGNERS - ENGINEERS

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ROCKLAND COUNTY  
BLOCK 1 LOT 6

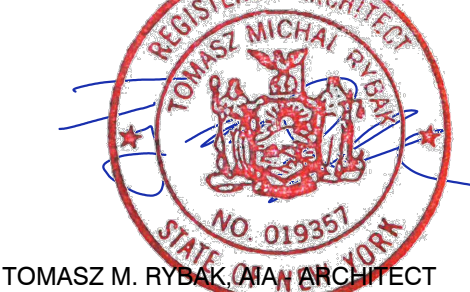
DWG. TITLE:

PROPOSED ELEVATIONS -  
SHEET 2 OF 2

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

CT 07984	MO 007521
DE 0005320	NH 3078
DC ARC101043	NJ 21A00062900
IL 001-015551	NY 019357-1
KS 4533	OH 1616619
MD 7823	PA RA.010849-B
MA 8867	WI 11530-5
MI 1301040380	

NJ PROFESSIONAL PLANNER: 38100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



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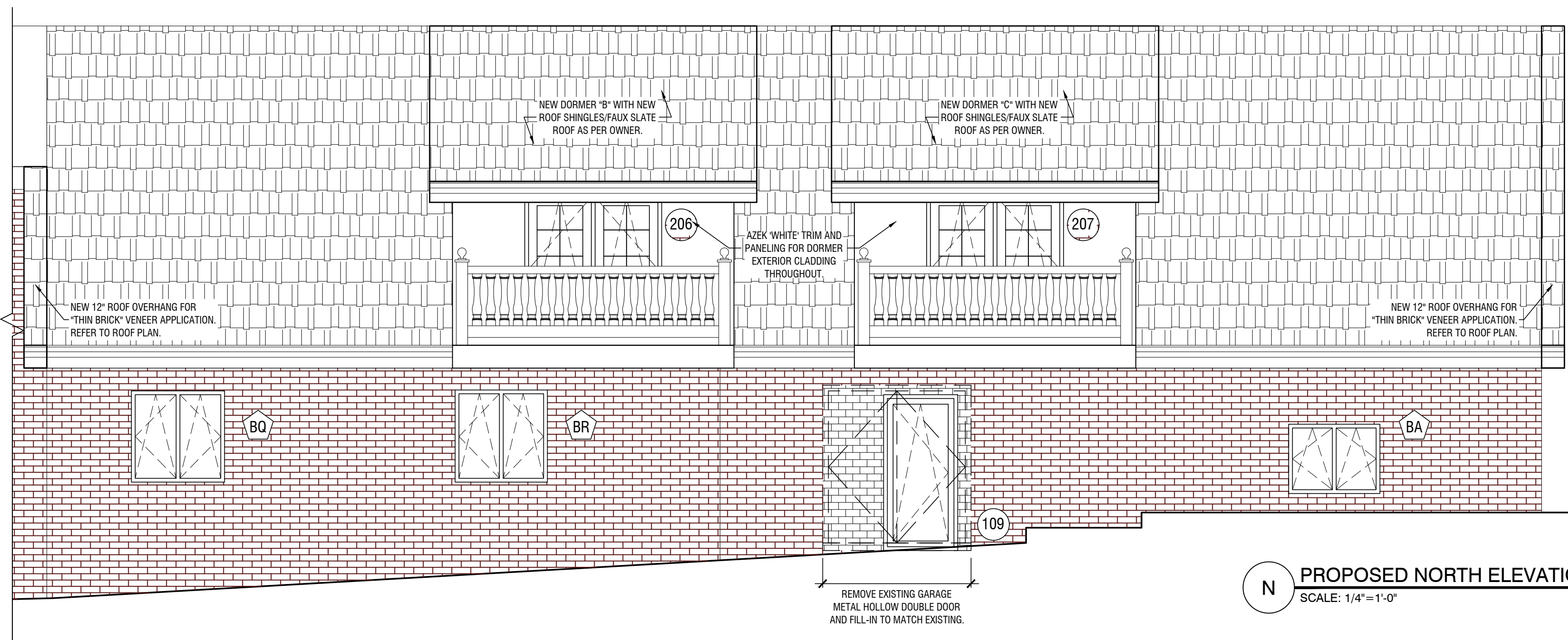
DATE:  
09.12.19  
SCALE:  
AS NOTED  
DWN. BY:  
GH

JOB NO.  
17-007  
CHK. BY:  
TMR

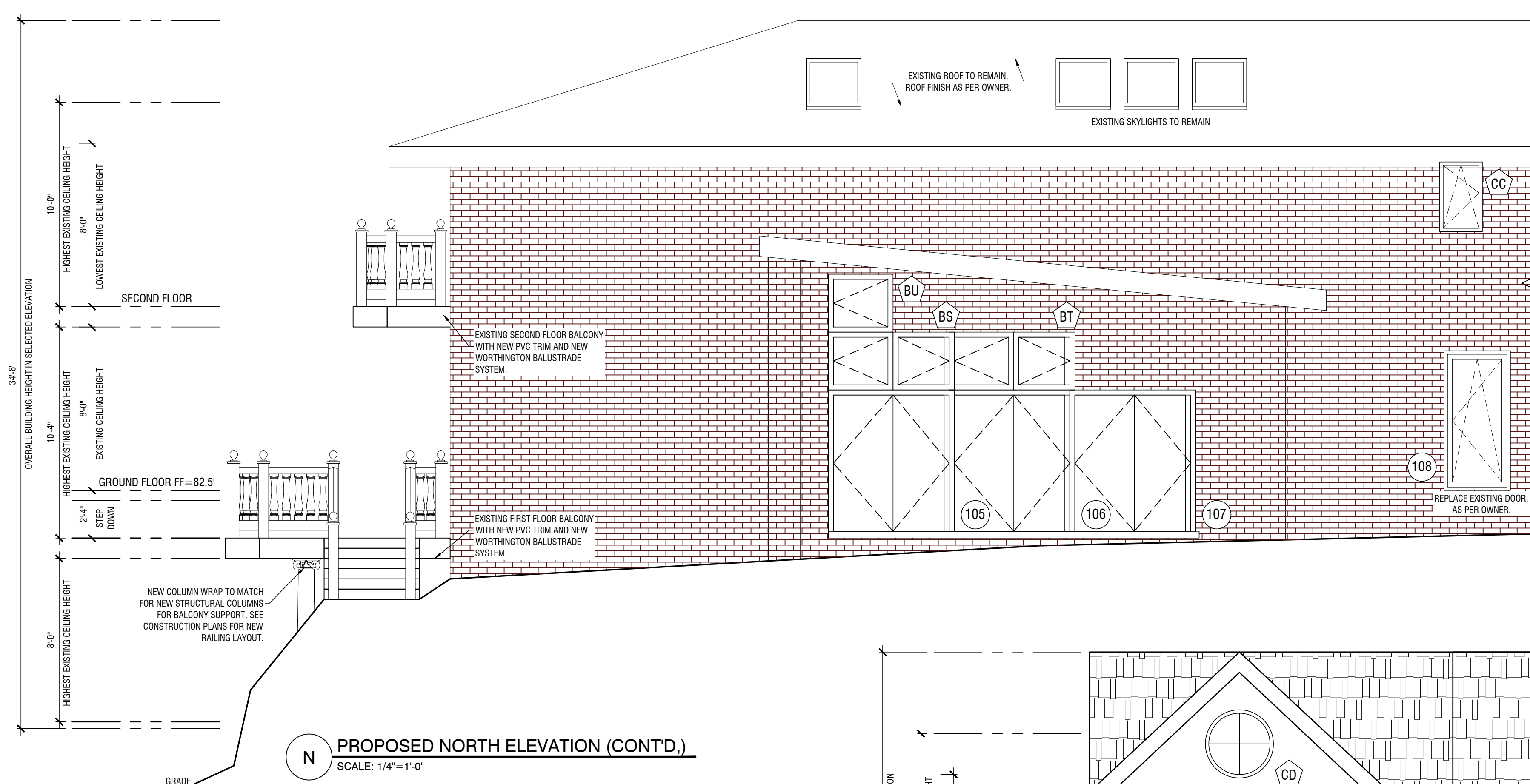
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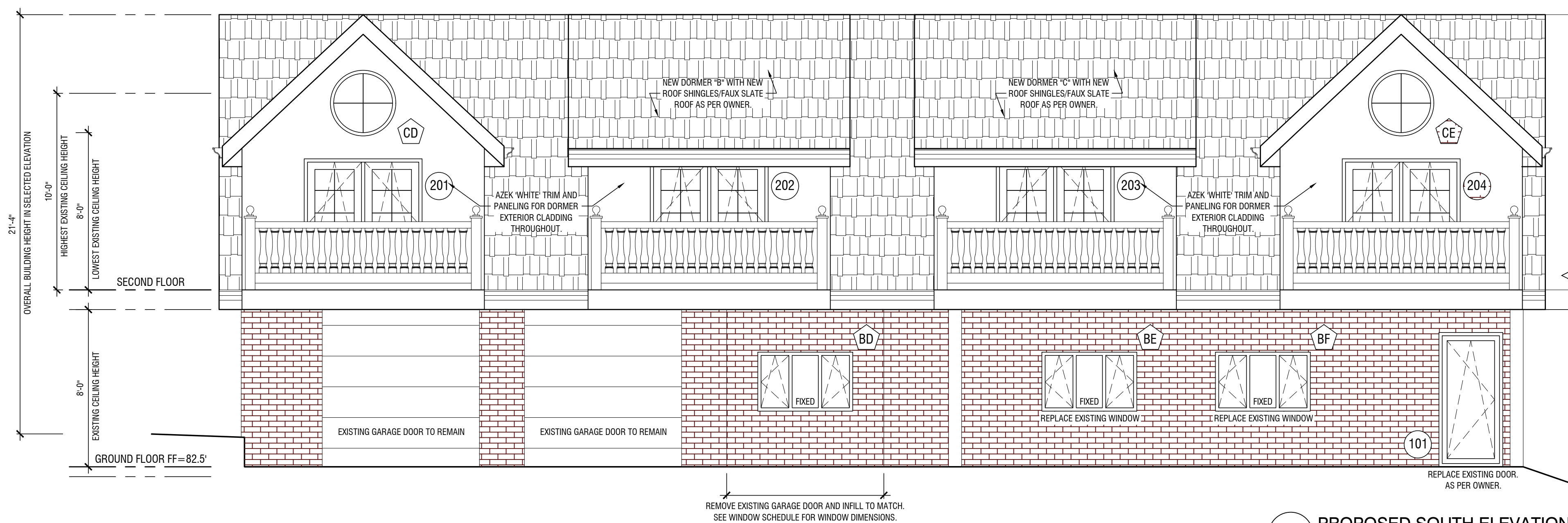
28 OF 47



N PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"



N PROPOSED NORTH ELEVATION (CONT'D.)  
SCALE: 1/4"=1'-0"



S PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

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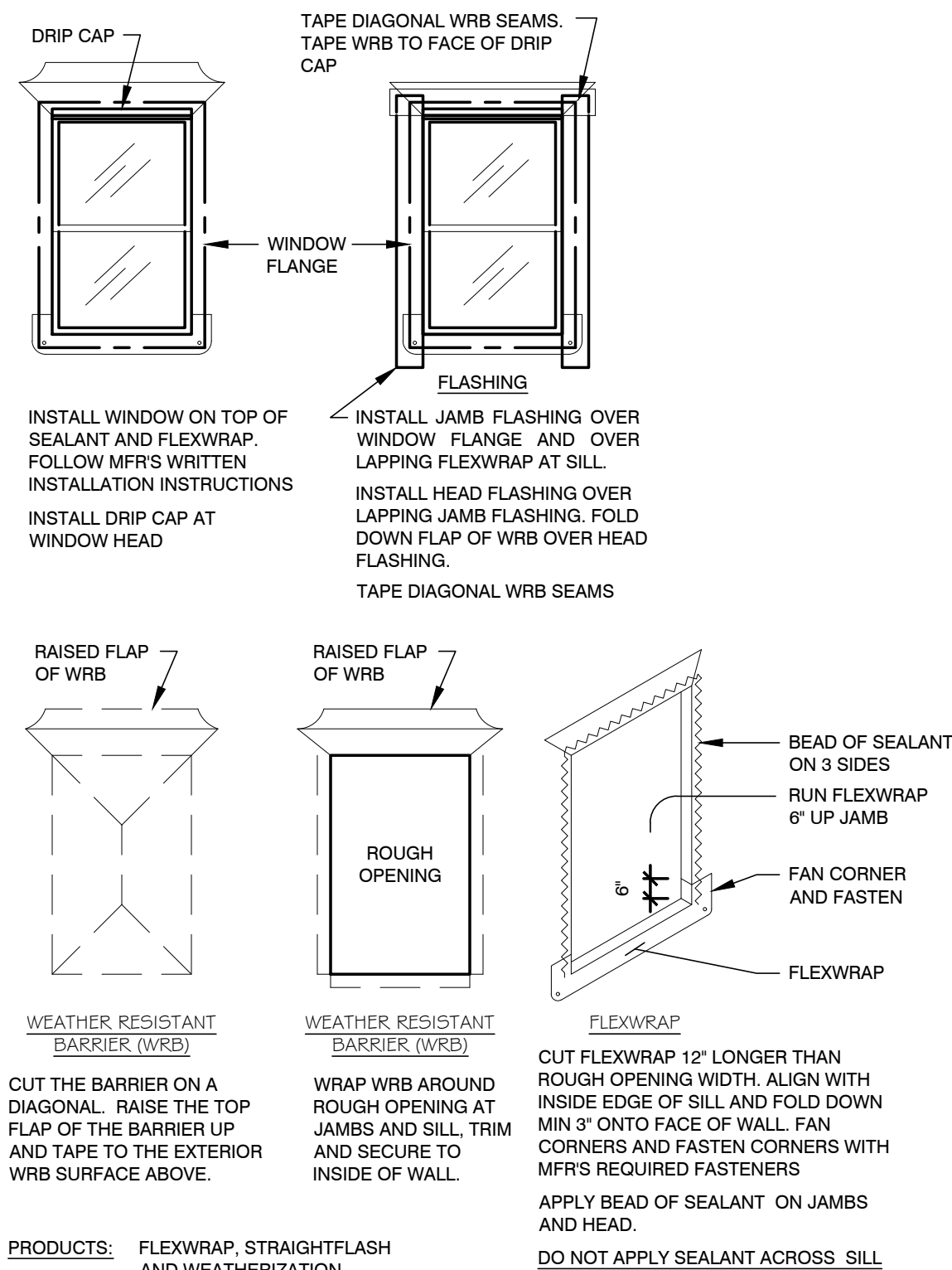
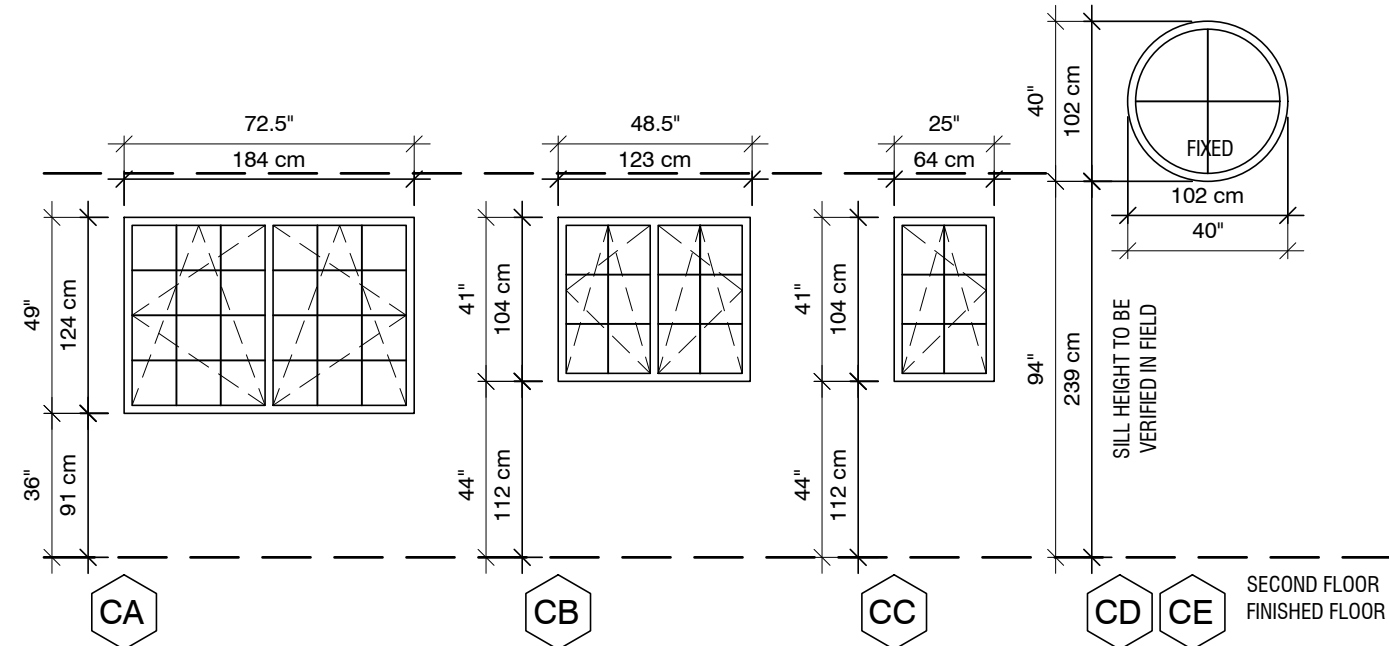
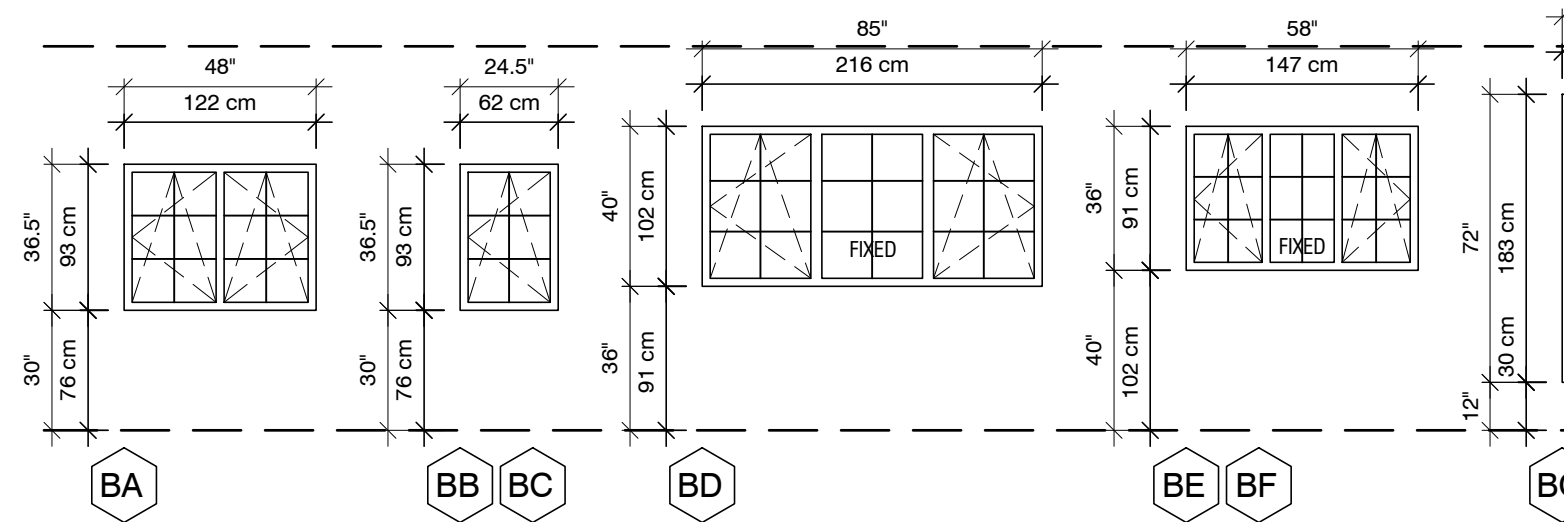
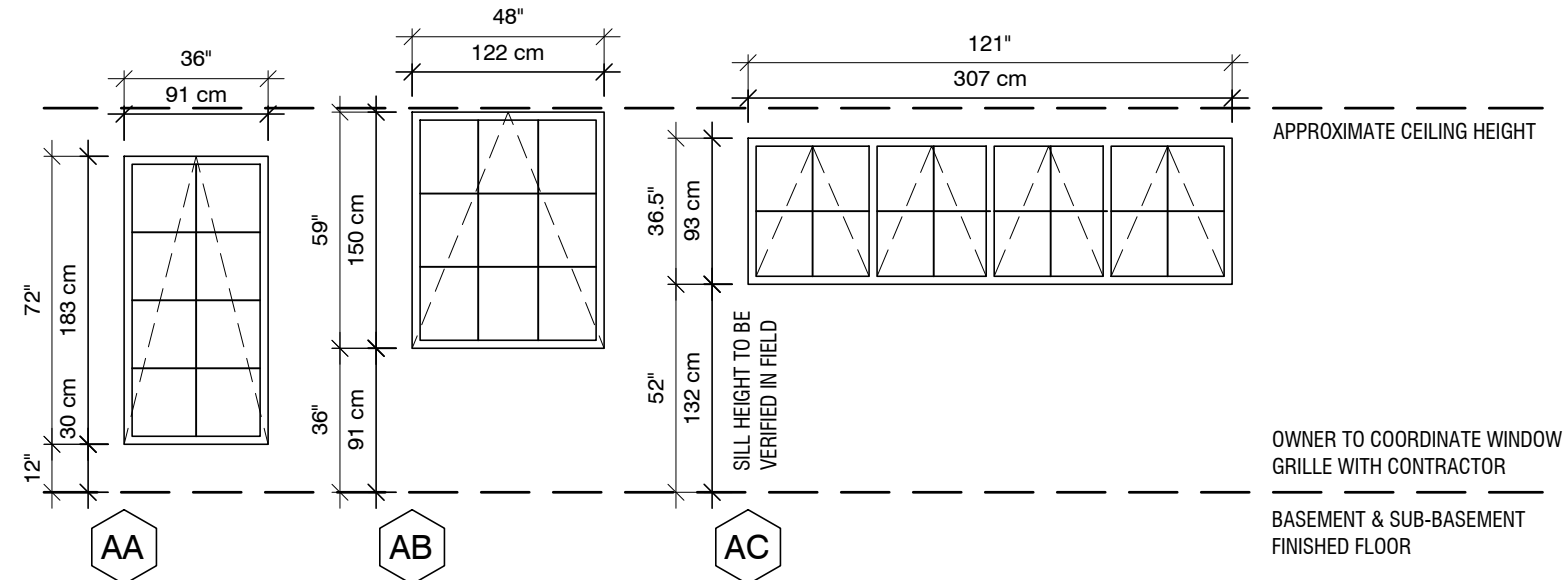
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WINDOW ELEVATIONS

ALL WINDOW DIMENSIONS ARE SHOWN AT ORDER SIZE.  
SEE BUILDING ELEVATIONS/PLANS AND COMMENTS FOR SWING. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

WSZYSTKIE WYMIARY OKIEN PRZEDSTAWIONO NA ZAMÓWIONE WYMIARY.  
SPRAWDZ ELEWACJE/PLANY BUDYNKU I KOMENTARZE DOTYCZĄCE FUNKCJI OKIEN. WYKONAWCA DO SPRAWDZENIA WSZYSTKICH WYMIARÓW W DZIEDZINIE.



WINDOW FLASHING DETAILS

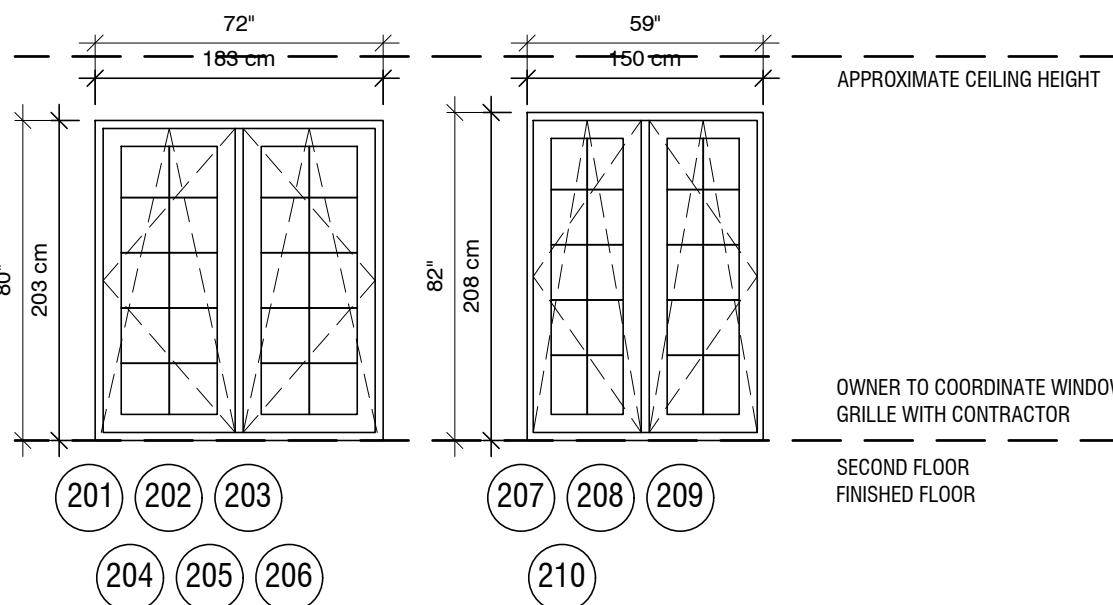
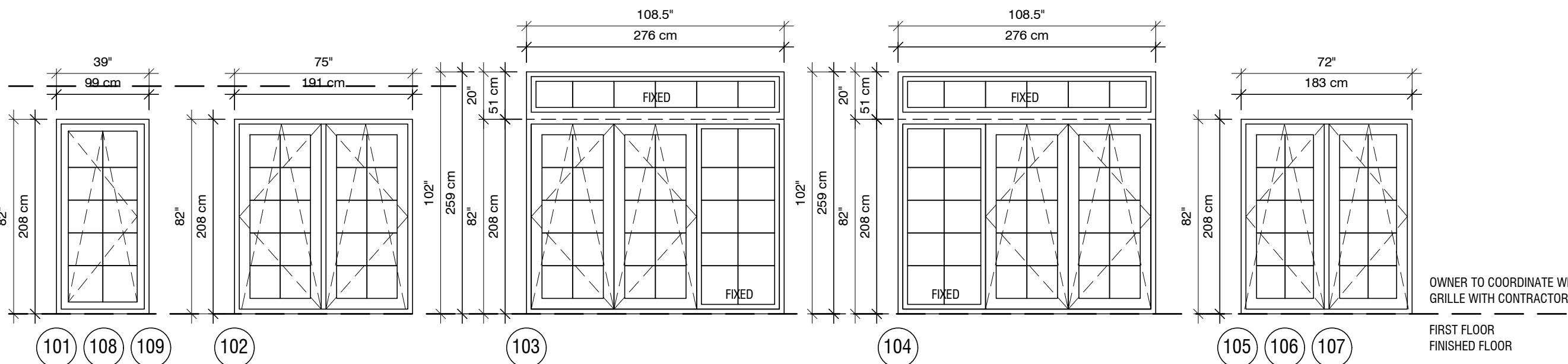
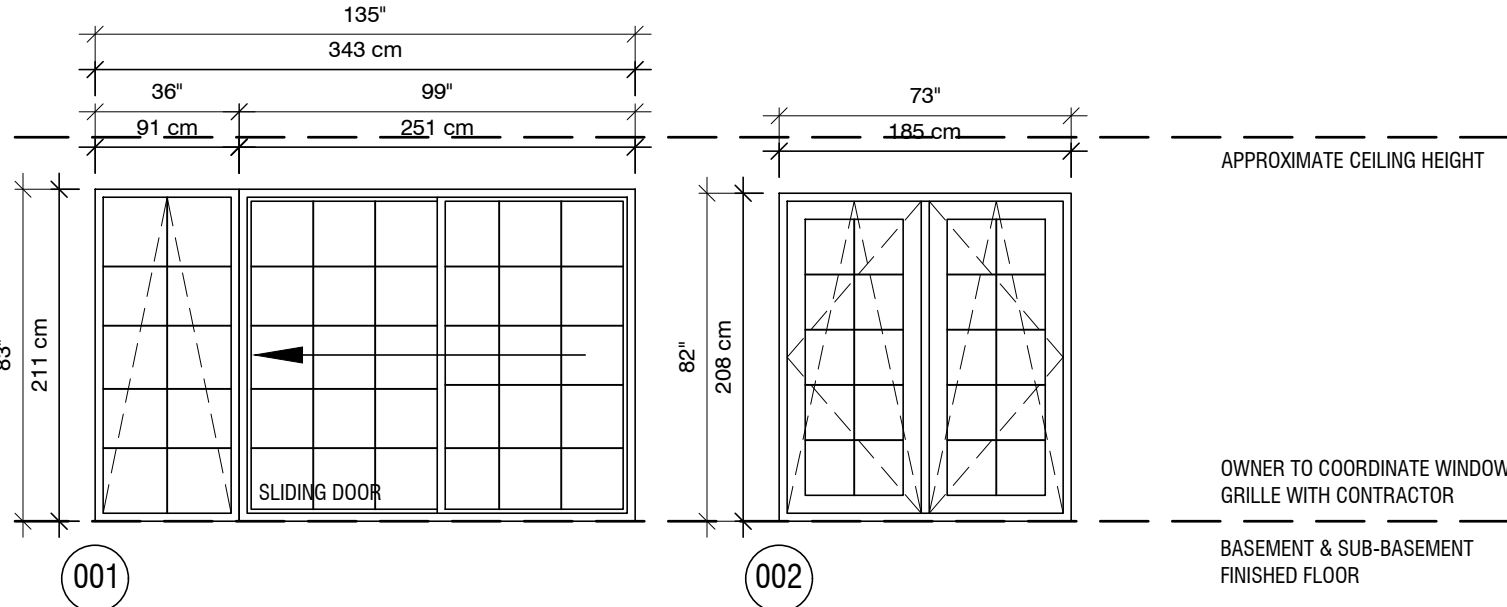
SCALE: 1/4" = 1'-0"

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DOOR ELEVATIONS

ALL DOOR DIMENSIONS ARE SHOWN AT ORDER SIZE.  
SEE BUILDING ELEVATIONS/PLANS AND COMMENTS FOR SWING. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

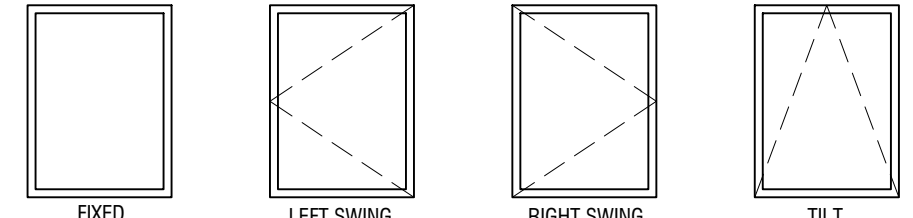
WSZYSTKIE WYMIARY DRZWI PRZEDSTAWIONO NA ZAMÓWIONE WYMIARY.  
SPRAWDZ ELEWACJE/PLANY BUDYNKU I KOMENTARZE DOTYCZĄCE FUNKCJI OKIEN. WYKONAWCA DO SPRAWDZENIA WSZYSTKICH WYMIARÓW W DZIEDZINIE.



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LEGEND LEGENDA

AS VIEWED FROM THE EXTERIOR  
PATRZĄC OD ZEWNĄTRZ



SEE BUILDING ELEVATIONS AND COMMENTS FOR SWING SIDE  
ZOBACZ ELEWACJE BUDYNKÓW I KOMENTARZE DOTYCZĄCE OBROTNYCH OKIEN.

HARMONOGRAM OKNA												
LOKALIZACJA	PROJELOWANY ROMAN OTWORU W NAME OKNA (IMPERIAL)		PROJELOWANY ROMAN OTWORU W NAME OKNA (METRIC)		GRUBOŚĆ ŚCIAN Z DREWNA	ROMAHI	MOCHLINE	KOLOR	FILM ZABEZPIECZAJĄCY	SZKŁO HARTOWANE		
	SZEROKOŚĆ (IN)	WYSOKOŚĆ (IN)	SZEROKOŚĆ (CM)	WYSOKOŚĆ (CM)								
						L=LEWY R=PRAWY F=STALY	X - TAK		X - TAK	X - TAK		
WINDOW SCHEDULE												
LOCATION	ROUGH OPENING (IN)		ROUGH OPENING (CM)		WALL FRAMING THICKNESS	SWING	TIPT	COLOR	SECURITY FILM	TEMPERED GLASS	COMMENTS	KOMENTARZE
	W	H	W	H		L=LEWY R=PRAWY F=STALY						
SUB-BASEMENT AND BASEMENT												
AA*	36	72	91.4	182.9								
AB*	48	59	121.9	149.9	2x4	F	X	WHITE	X	X		
AC*	121	36.5	307.3	92.7								
FIRST FLOOR												
BA*	48		121.9		2x4	L / R				X		
BB*	24.5	36.5	62.2	92.7	2x2	R						
BC*						L	X					
BD*	85	40	215.9	101.6	2x6				X			
BE						L / F / R						
BF	58	36	147.3	91.4								
BG*						F						
BH*	41		104.1		2x4					X		
BI*						L						
BJ*		72.5		184.2		R	X					
BK*	49		124.5			L				X		
BL*						R						
BM*	48.5	90	123.2	228.6		F						
BN*		59.5		151.1		L	X	WHITE				
(TOP)		25.5		64.8								
(TOP)		59.5		151.1		F	X			X	X	
BO*		25.5		64.8	2x6							
(TOP)		59.5		151.1		R	X			X	X	
(TOP)		25.5		64.8		F						
BD*												
BR*	48	48	121.9	121.9	2x4	L / R	X			X	X	
BS												
BT	72	25.5		64.8	2x6	F						
BU	36		91.4									
											ABOVE DOOR (2 PCS)	NAD DRZWIAMI (2 OKNA)
											ABOVE DOOR (2 PCS)	NAD DRZWIAMI (2 OKNA)
											ABOVE DOOR (1 PCS)	NAD DRZWIAMI (1 OKNO)
SECOND FLOOR												
CA*	72.5	49	184.2	124.5		L / R	X			X	X	
CB*	48.5		123.2			R		WHITE				
CC*	25	41	63.5	104.1	2x6							
CD						F						
CE	40		101.6									
ALL WINDOWS ARE DOUBLE HUNG WITH LOW E GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS. CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS. * MEET OR EXCEED CLEAR OPENING AREA OF 5.7 S.F. OR 0.53 M²												

HARMONOGRAM DRZWI												
LOKALIZACJA	PROJELOWANY ROMAN OTWORU W NAME OKNA (IMPERIAL)		PROJELOWANY ROMAN OTWORU W NAME OKNA (METRIC)		GRUBOŚĆ ŚCIAN Z DREWNA	ROMAHI	MOCHLINE	KOLOR	FILM ZABEZPIECZAJĄCY	SZKŁO HARTOWANE		
	SZEROKOŚĆ (IN)	WYSOKOŚĆ (IN)	SZEROKOŚĆ (CM)	WYSOKOŚĆ (CM)								
						L=LEWY R=PRAWY F=STALY	X - TAK		X - TAK	X - TAK		
DOOR SCHEDULE												
LOCATION	ROUGH OPENING (IN)		ROUGH OPENING (CM)		WALL FRAMING THICKNESS	SWING	TIPT	COLOR	SECURITY FILM	TEMPERED GLASS	COMMENTS	KOMENTARZE
	W	H	W	H		L=LEWY R=PRAWY F=STALY						
SUB-BASEMENT AND BASEMENT												
001	135	83	342.9	210.8		S / F	X	WHITE	X	X	SLIDING DOOR	DRZWI SUWANE
002	73	82	185.4	208.3	2x4	L / R						
FIRST FLOOR												
101	39		99.1			R						
102	75	82	190.5	208.3	2x4							
103	108.5	115	275.6	292.1		L / R	X	WHITE	X	X		
104												
105												
106	72		182.9		2x6							
107		82		208.3								
108						L						
109	39		99.1			R						
SECOND FLOOR												
201												
202												
203												
204	72	84	182.9	213.4	2x6							
205												
206						L / R	X	WHITE	X	X		
207												
208												
209												
210	59	83	149.9	210.8	2x4							
OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS. CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS.												



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RENOVATION & ALTERATION  
GUEST HOUSE  
RIVERCLIFF  
645 N. BROADWAY  
UPPER NYACK, NY 10960  
ROCKLAND COUNTY  
BLOCK 1 LOT 6

DWG. TITLE:

WINDOW AND DOOR SCHEDULES

ARCHITECTURAL LICENSE NUMBERS:  
NY 019357-1

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IL 001-015557-1  
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MD 7823  
MA 6867  
MI 1301040380

NJ PROFESSIONAL PLANNER: 33100355400  
NJ CERTIFIED INTERIOR DESIGNER: 241000026700



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