



December 12, 2022

William Pfaff
Chair, Upper Nyack Planning Board
328 N. Broadway
Upper Nyack, NY 10960

Dear Mr. Pfaff,

Following the Planning Boards' (PB) commentary from the October 19th, 2022 hearing, T.M.Rybak & Associates and Jay A. Greenwell have collectively responded to the memorandum issued by consulting village engineer, Dennis M. Letson. Below we have listed the major points that were underlined by the Planning Board.

After effectively relocating the structure to minimize the disturbance to the existing steep slopes, a thorough drainage report has been completed. Moreover, additional details of the metal walkway have been provided along with pervious paver construction details. The roof projections have been addressed with the town attorney. A simplified landscaping plan of the property has been provided. Please note, the Owner does not wish to pursue any extensive landscaping at this time. Finally, erosion and sediment control details have been added.

Please note, T.M.Rybak & Associates and Jay A. Greenwell have met with the village fire chiefs on site during (2) separate meetings. The lot, as proposed, was deemed acceptable and accessible under the following conditions: an emergency access easement through 649 N.Broadway, installation of a Emergency Key Box or "Knox Box" at the access gate of 649 N.Broadway, fully sprinklered dwelling and proposed yard hydrant. The town attorney has been notified of the requirements/requests set forth by the fire chiefs.



T.M RYBAK AND ASSOCIATES, P.C.

We kindly ask that you please accept this submission and allow us to continue with obtaining local and state approvals for the abovementioned project. As shown on the proposed re-submission we believe the revised plans address the board's comments and concerns. Please contact me with any additional questions or concerns, and thank you for considering this request.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Tom Rybak', is written over a horizontal line.

Tom Rybak
Principal-in-Charge and Senior Architect



CIVIL DESIGN WORKS
LLC

DRAINAGE ANALYSIS

Prepared For:

647 North Broadway

Village of Upper Nyack
Rockland County, NY

Prepared By:

Civil Design Works, LLC
19 Squadron Boulevard, Suite #4
New City, New York 10956

Compiled Date: December 2022
CDW: 2206



Glenn McCreedy, P.E.
N.Y.S. Lic. No., 084274

Disclaimer: Unauthorized alteration or additions to the enclosed information is a violation of the N.Y.S. Education Law, Article 145, Section 7209.

METHODOLOGY

The subject site is located on the easterly side of North Broadway in the Village of Upper Nyack. The property consists of approximately 1.2 acres with approximately 0.35 acres to be disturbed as part of this application. The site is largely undeveloped except for a macadam driveway that exists providing access from North Broadway. The topography of the site features a distinct westerly to easterly drainage pattern with all the stormwater draining towards the Hudson River.

The applicant is proposing to further re-develop the property with a residential use and associated site amenities. The proposed project will add impervious surfaces on the property with the construction of a dwelling, walkways and carport. The roof of the proposed dwelling is comprised of a rooftop garden rendering the residence as pervious as related to this drainage analysis. The impervious macadam driveway is being removed and replaced with a pervious paver driveway. The carport and impervious bluestone walkway along the western portion of the property total approximately 1,285 SF of impervious surfaces. The macadam driveway that is being removed totaled approximately 1,700 SF. This results in a decrease of impervious surfaces along the western portion of the property, prior to the start of the elevated walkways. The elevated walkways are suspended above the ground, supported by piles, leaving grass beneath them as a pervious surface.

Due to the presence of the Hudson River, we have analyzed the site for Water Quality and pre-treatment only. We have provided pre-treatment and storage of the Water Quality storm required by the installation of the new impervious surfaces of the carport and bluestone walkway.

To offset the runoff associated with the new impervious surfaces, a series of stormwater management facilities will be utilized. A series of catch basins is proposed which will receive the runoff from the carport roof leaders as well as the surface drainage from the bluestone walkway. Although the carport is considered to be clean runoff, we have sized the catch basin sumps (32 CF each, 64 CF total) to provide the required pre-treatment volume for that area as well. A drywell is proposed to receive and infiltrate the runoff from the two sump catch basins.

In total, the Stormwater Management Facilities have been configured and sized to provide water quality and pre-treatment of the new impervious surfaces (carport and bluestone walkway) along the western portion of the property.

Water Quality Pre-treatment

Section 6.3.3 of the NYSDEC *Stormwater Management Design Manual* states the following in regard to the required pretreatment for infiltration practices:

- A minimum pretreatment volume of 25% of the WQv must be provided prior to entry to an infiltration facility and can be provided in the form of a sedimentation basin, sump pit, grass channel, plunge pool or other measure.

The proposed sump catch basin has been designed and sized to store and treat the required 25% WQv prior to entry into the infiltration basin (drywell).

Pre-treatment Calculations:

Total Required WQv for Site (see below) = 153 ft³

Required Pre-Treatment Volume = 25% WQv = 38 ft³

Sump Storage Provided from two (2), 4'L x 4'W x 2' Sump Catch Basins = 64 ft³

Pre-Treatment Storage Volume Provided > 25% WQv → ✓

Water Quality Calculations

Utilize the procedures outlined in Chapter 4 "Unified Stormwater Sizing Criteria" of NYSDEC publication *Stormwater Management Design Manual*.

Total Area = **1,285 ft²**

Compute Water Quality Volume (WQv)

Use 90% Capture Rule

From Figure 4.1 of *Stormwater Management Design Manual*, 90% Rainfall = 1.5"

$$WQv = [(P) (RV) (A)] / 12 = [(1.5") (0.95) (1,285)] / 12 = \underline{153 \text{ ft}^3}$$

Volume of Drywell + 24 Hour Percolation Volume = 271 ft³ > 100% WQv → ✓

Civil Design Works, LLC

19 Squadron Boulevard, Suite #4
New City, New York 10956

DRYWELL DESIGN

Project	647 North Broadway	By	ZK	Date	11/30/2022
Location	Upper Nyack, New York	Checked	GM	Date	11/30/2022
Basin ID:	Proposed				

1. Select Design Storm

Design Frequency **100** year, Rainfall, P (24-hr) **9** inches

2. Select Size of Basin: (See page 2 for key plan)

Type of Basin = Cylinder	Basin wall thickness = 3 inches
Diameter of Basin = 4 ft	3/4" Stone Perimeter = 6 inches
Depth of Basin = 4 ft	3/4" Stone Void Space = 40 %

3. Determine Soil Percolation Rate (Sr)

Depth of test hole = 8 inches	Measures Water Drop = 1 in
Diameter of test hole = 8 inches	Soil Percolation Rate = 30 min (per water drop)
Area of bottom = 0.349 sf (Ac)	Perc Rate = 0.00278 cf/sf/min
Volume of Percolation = 0.029 cf (Vp)	Perc Rate = 4.00 cf/sf/day

4. Calculate Required Storage Volume

Existing Runoff Curve Number

Hydrologic Group	Cover Description	Soil Name	CN	Area (Acres)	CN x Area
C	Open Space - Good Condition		74	0.11	8.14
C	Impervious Area		98	0.04	3.92
Totals =				0.15	12.06
CN_{ex} (weighted)				80.4	

Proposed Runoff Curve Number

Hydrologic Group	Cover Description	Soil Name	CN	Area (Acres)	CN x Area
C	Impervious Area		98	0.03	2.94
C	Open Space - Good Condition		74	0.12	8.88
Totals =				0.15	11.82
CN_{pr} (weighted)				78.8	

100 year Design Storm
9 inch 24-hour rainfall

	Existing	Proposed
Curve Number	80.4	78.8
Max Runoff, S (in)	2.44	2.69
Initial Abstraction, Ia (in)	0.49	0.54
Runoff, Vr (in)	6.62	6.42

DVr = -0.20 in

Vs = (DVr x Area) = -107.1 cf

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DRYWELL DESIGN

Project	647 North Broadway	By	ZK	Date	11/30/2022
Location	Upper Nyack, New York	Checked	GM	Date	11/30/2022
Basin ID:	Proposed				

5. Calculate volume per drywell (Vw)

Type of Basin = Cylinder	Basin wall thickness = 3 inches
Diameter of Basin = 4 ft	3/4" Stone Perimeter = 6 inches
Depth of Basin = 4 ft	3/4" Stone Void Space = 40 %
Avg Inside Diameter = 4 ft	Stone Wall Length = 5.5 ft (avg ring dia + 2 x stone perimeter)
Avg Inside Area = 12.57 sf	Total Stone Wall Area = 88 sf (area in contact with soil)
Avg Outside Diameter = 4.5 ft	Avg Area of Stone = 14.346 sf (minus avg ring area)
Avg Outside Area = 15.9 sf	Volume Stone = 22.953 cf (minus avg ring volume and voids)
Avg Inside Volume = 50.27 cf	Vw = 73.219 cf (available void space per basin)
Avg Outside Volume = 63.62 cf	

6. Calculate 24-hour percolation volume per drywell (Vp)

$V_p = \text{Bottom Area of drywell} \times \text{soil percolation rate (Sr)}$
 $V_p = 198 \text{ cf/day/drywell}$
 Note: Bottom of Drywell not included

7. Calculate the total 24-hour volume per drywell (Vt)

$V_t = \text{Volume of drywell (Vw)} + \text{percolation volume (Vp)}$
 $V_t = 271.2 \text{ cf}$

8. Determine number of drywells required

$DW_r = \text{required volume of storage (Vs)} / \text{Total volume per drywell (Vt)}$
 $DW_r = -0.395 \text{ units}$

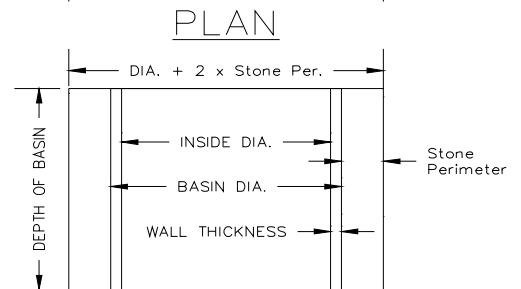
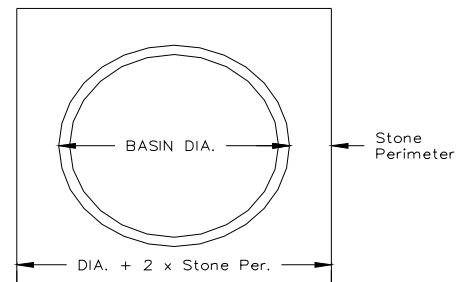
-0.395 units required

USE: -1

Summary:

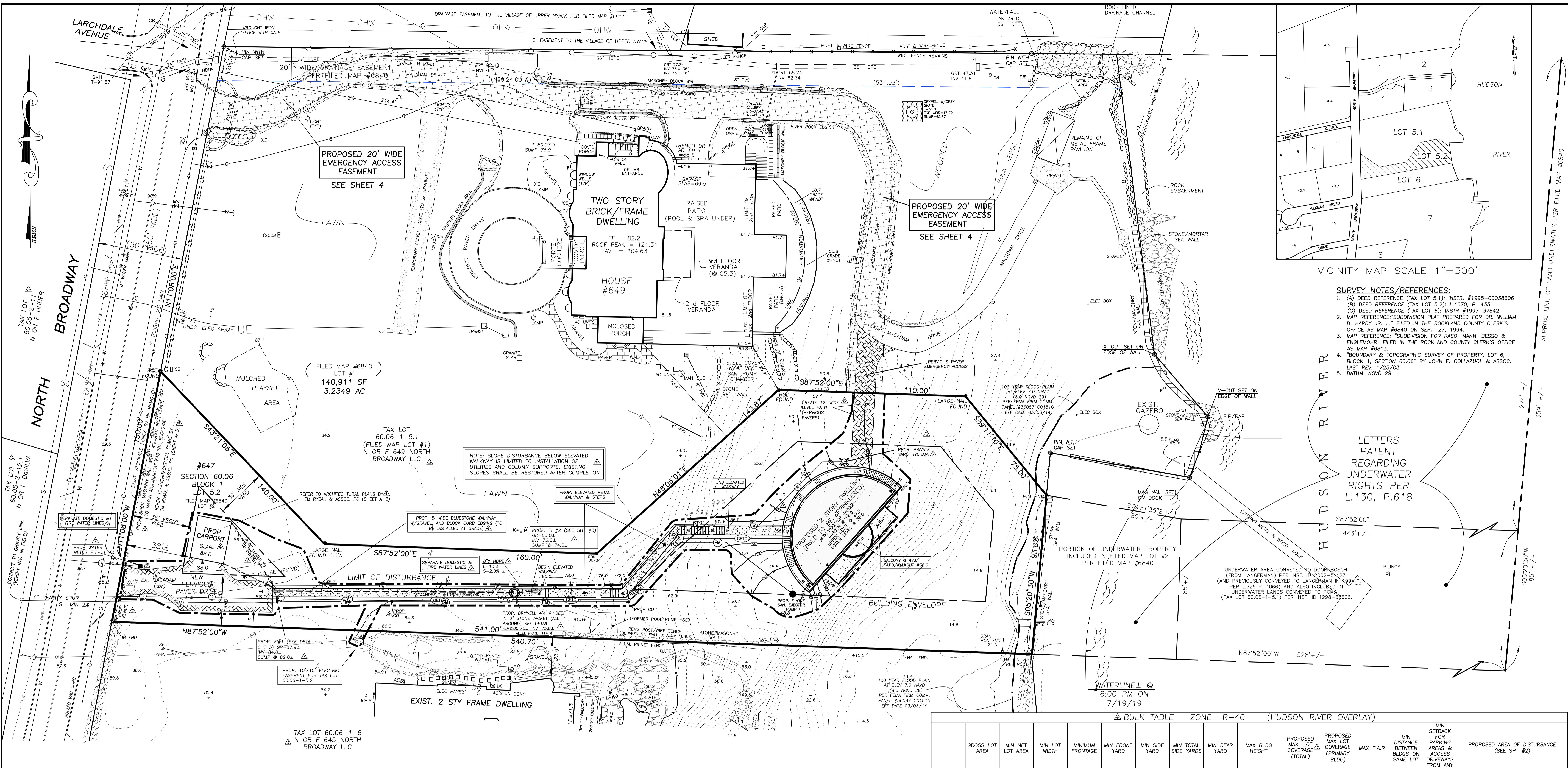
Utilize: -1 units @
 Cylinder Drywell Shape
 4 ft diameter basin @ top
 4 ft depth
 6 in stone perimeter

Additional Notes:



NOTE: 4' DIA. BASIN IS INSIDE DIA.
 ALL OTHERS ARE OUTSIDE DIA.

ELEVATION



VICINITY MAP SCALE 1"=300'

- SURVEY NOTES/REFERENCES:**
- (A) DEED REFERENCE (TAX LOT 5.1); INSTR. #1998-00038606
 - (B) DEED REFERENCE (TAX LOT 5.2); L-4070, P. 435
 - (C) DEED REFERENCE (TAX LOT 6); INSTR. #1997-37842
 - MAP REFERENCE: "SUBDIVISION PLAT PREPARED FOR DR. WILLIAM D. HARDY JR.," FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6840 ON SEPT. 27, 1994.
 - MAP REFERENCE: "SUBDIVISION FOR RASO, MANN, BESSO & ENGLEMOHR" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #6813.
 - "BOUNDARY & TOPOGRAPHIC SURVEY OF PROPERTY, LOT 6, BLOCK 1, SECTION 60.06" BY JOHN E. COLLAZUOL & ASSOC. LAST REV. 4/25/03
 - DATUM: NAVD 29

LETTERS PATENT REGARDING UNDERWATER RIGHTS PER L.130, P.618

BULK TABLE ZONE R-40 (HUDSON RIVER OVERLAY)

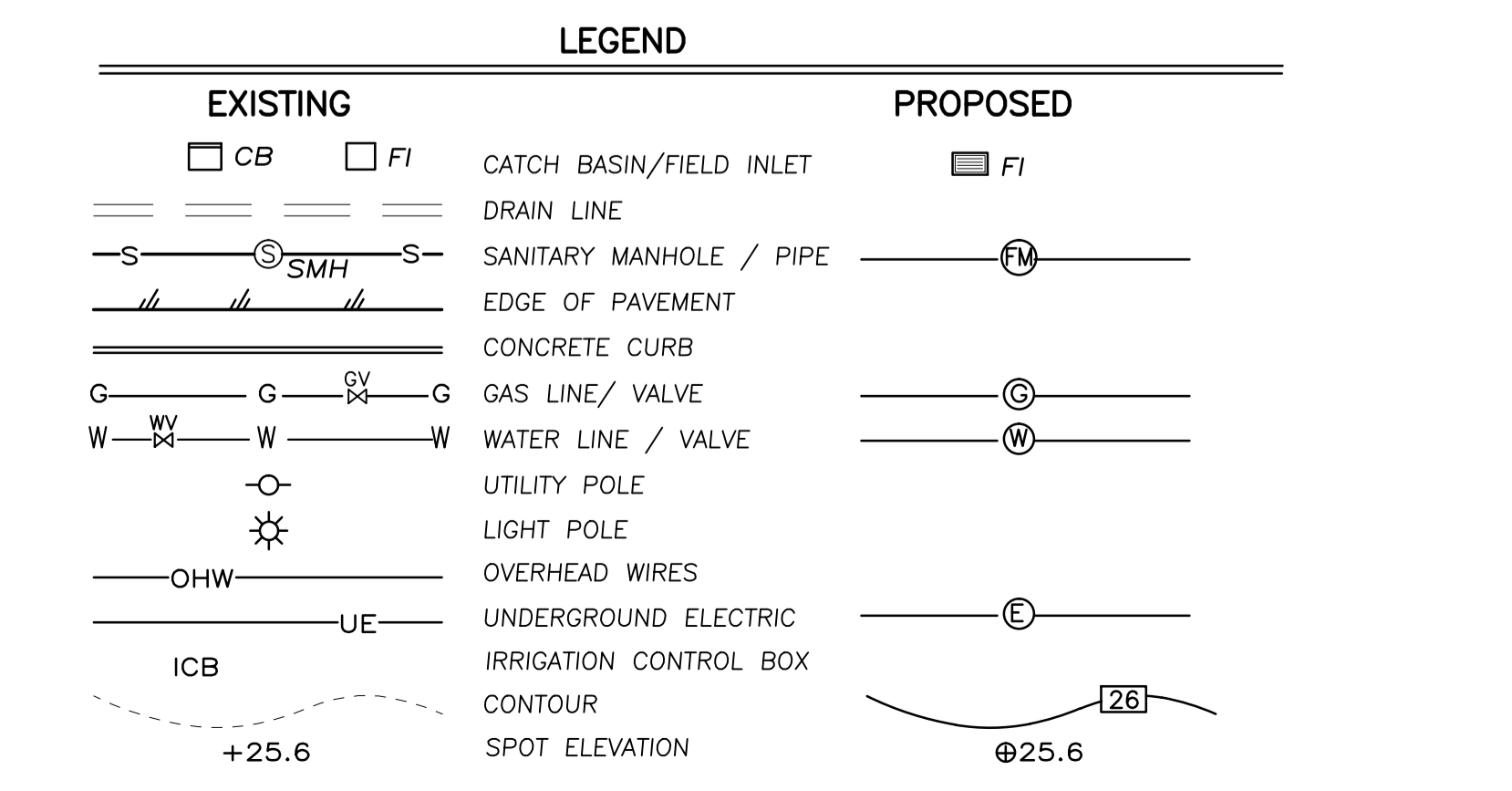
GROSS LOT AREA	MIN NET LOT AREA	MIN LOT WIDTH	MINIMUM FRONTAGE	MIN FRONT YARD	MIN SIDE YARD	MIN TOTAL SIDE YARDS	MIN REAR YARD	MAX BLDG HEIGHT	PROPOSED MAX LOT COVERAGE (TOTAL)	PROPOSED COVERAGE (PRIMARY BLDG)	MAX F.A.R.	MIN DISTANCE BETWEEN BLDGS ON SAME LOT	MIN SETBACK FOR PARKING AREAS & ACCESS DRIVEWAYS FROM ANY LOT LINE	PROPOSED AREA OF DISTURBANCE (SEE SHT #2)
REQUIRED	N/A	40,000 SF	150 FT*	150 FT	35 FT	30 FT	60 FT	30 FT	NONE (VACANT LOT)	NONE (VACANT LOT)	0.15	10 FT	5 FT	SLOPE 40% OR GREATER (NO DISTURBANCE ALLOWED) SLOPE 25-30% (NO MORE THAN 30% ALLOWED) SLOPE 15-24% (NO MORE THAN 30% ALLOWED)
EXISTING	52,260 SF	48,841 SF	±50.0'	150.0'	0 FT	0 FT	0 FT	0 FT	NONE (VACANT LOT)	NONE (VACANT LOT)	NONE (VACANT LOT)	NONE (VACANT LOT)	NONE (VACANT LOT)	N/A
PROPOSED	52,260 SF	48,841 SF	±50.0'	150.0'	38' (CARPORT) 300'+ (DWLG)	32'± (CARPORT) 35.7' (DWLG)	67.0'± (CARPORT) 105' (DWLG)	475'+ (CARPORT) 25'± (DWLG)	12.53% (6120 SF±)	5.94% (2900 SF±)	0.104	300'+	8 FT	SLOPE 40% OR GREATER (13.2% PROPOSED) SLOPE 25-30% (NO MORE THAN 30% ALLOWED) SLOPE 15-24% (42.6% PROPOSED)

Site Plan and Landscape Plan Uniform Notes

- PROPERTY REFERENCE: TAX MAP SECTION 60.06, BLOCK 1, LOT 5.2 AS SHOWN ON THE TAX MAP OF THE VILLAGE OF UPPER NYACK.
- OWNER: 647 NORTH BROADWAY LLC
APPLICANT: C/O SCHNEIDER LAW GROUP
SHE: 150 BROADWAY, SUITE 900
NEW YORK, NEW YORK 10038
- SURVEY METES AND BOUNDS TAKEN FROM SURVEY BY JAY A. GREENWELL, PLS DATED 07/16/2013
- DATUM ELEVATION: NAVD 29
- DISTRICTS: ZONING: R-40
SCHOOL: NYACK UFCD 392404
FIRE: NYACK
WATER: W0011
LIGHTING: LT001
SEWER: TOWN OF ORANGETOWN
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- ALL NEW UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND.
- IRON PINS, 3/4" IN DIAMETER AND MINIMUM 30" LONG, SHALL BE INSTALLED AT ALL LOT CORNERS AFTER FINAL GRADING.
- PLAN IS SUBJECT TO ALL STATE, COUNTY AND LOCAL CONSTRUCTION AND UTILITY STANDARDS AS APPLICABLE.
- THE APPLICANT SHALL COMPLY WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL".
- SUBJECT TO STORMWATER MAINTENANCE AGREEMENT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON () AS INSTRUMENT NUMBER ()
- RETAINING WALLS SHALL BE DESIGNED BY AN ENGINEER LICENSED IN THE STATE OF NY AND DESIGN SHALL BE SUBMITTED FOR REVIEW WITH THE APPLICATION FOR BUILDING PERMITS. CERTIFICATION OF CONSTRUCTION IN ACCORDANCE WITH THE DESIGN, BY A NY LICENSED PROFESSIONAL ENGINEER, SHALL BE SUBMITTED PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY.
- Site Plan Approval for this application was granted by resolution of the Village of Upper Nyack Planning Board dated () (PB#). Once this Site Plan is signed by the Planning Board Chair, it shall expire if:
a. a building permit has not been issued for construction in accordance with an approved Site Plan within 3 years of the date that the Site Plan was signed by the Planning Board Chair or if all improvements permitted or required by the Site Plan approval are not completed and a certificate of occupancy and/or certificate of compliance has not been issued within 2 years of the date that the building permit is issued, unless extended pursuant to Village of Upper Nyack Zoning Law (Local Law #5 of 2022), §10.4.1.2.
- This Site Plan is subject to compliance with all laws, regulations, ordinances and specifications of the Village of Upper Nyack.
- This property has been the subject of review by the Village of Upper Nyack Zoning Board of Appeals [reference continuing approvals] and/or Planning Board [reference continuing approvals]. This approval permits the construction of [describe permitted improvements and changes to prior plans] but does not otherwise affect or alter such prior approvals or any conditions thereto.
- No outdoor lighting shall produce illumination beyond the boundaries of the lot on which it is located, and light sources shall be shielded from adjacent properties.

Landscape Plan Uniform Notes

- All trees planted as shown on a landscape plan approved by the Planning Board which fail to survive 2 growing seasons shall be replaced by the Lot owner. Said replacement shall be within the longer of 60 days following written notice from the Zoning Inspector or Village Engineer advising that such replacement is required or the period of time as may be specified in such notice.
- The planting of any species listed on the NY DEC's Prohibited and Regulated Invasive Plant list shall be prohibited.
- All plants shall be nursery grown plants and workmanship shall conform to the American Association of Nurserymen Standards and shall be subject to the approval of the Landscape Architect before and after planting.
- All planting shall be placed under the direction of the Landscape Architect. Give 48 hours' notice before planting.
- Place 4" of topsoil on all lawn areas and all areas not paved or built upon.
- Plant pits shall be 36" wide for trees (minimum of two times root ball diameter) and 24" wide for shrubs and as deep as the root ball. Set plants at same level as originally grown on base of undisturbed soil. The trunk flare and root collar shall be visible at the top of the plant bed at the time of final inspection. Remove all existing soil from plant pit and backfill with a mixture of one part peat humus; one part dehydrated cow manure; and four parts topsoil. Fertilize all plants with 2 to 3 oz. per foot of shrub height and 2 to 3 lbs. per inch of tree trunk of 5-10-5 fertilizer. For evergreen planting, add 1 lb. per 100 square feet of plant bed each of ammonium sulfate and superphosphate. Loosen soil around edges of plant pit.
- Fertilize areas before seeding or sodding with 15 lbs. per 1000 square feet of 10-20-10 fertilizer or approved equivalent. Repeat after 8 weeks.
- Mulch all plants and planted areas with a 4" depth of shredded pine, oak bark or other shredded bark, treated for fire repellency. Do not place mulch against tree or shrub trunk. The trunk flare and root collar shall be visible at the top of the plant bed with no mulch against trunk. Do not create mound of mulch around tree. Finish grade to be same as originally shown.
- Lawn areas shall be seeded at 5 lbs. per 1000 square feet with the following seed mixture: 20% Jamestown II Chewings Fescue, 60% Baron Kentucky Bluegrass, and 20% Palmer II Perennial Ryegrass, or approved equivalent. Mulch newly seeded lawn at 90 lbs. per 1000 square feet with top of straw mulch.
- The contractor is responsible to plant the total quantities of all plants shown on the planting plan. The quantities of planting shown graphically on the plan shall govern.
- Existing trees shown on this plan are to remain undisturbed. All existing trees shown to remain are to be protected with a 6-foot-high wooden fence with posts placed at the drip line of the branches or at 80 percent of the critical root radius.
- Seed mix for seeding in and along the interior slopes of the water quality basin shall be ERMX-127 retention basin floor seeding for wildlife and plant diversity mix or equivalent, planted at 20 lbs. per acre.



CIVIL DESIGN WORKS LLC
CIVIL ENGINEERING CONSULTANTS AND DESIGNERS
WWW.CIVILDESIGNWORKS.COM

NEW YORK OFFICE: 19 SQUADRON BLVD., SUITE 800, NEW YORK, NEW YORK 10996, TEL: 914-266-6441
NEW JERSEY OFFICE: 17 ABBOTT ROAD, OAKLAND, NEW JERSEY 07070, TEL: 201-644-7330

DATE: 12/02/22
REVISIONS:
12/02/22 HYD/WATER SERVICES
11/18/22 MISC REVS
09/22/22 REV. DWLG. LOC/SLOPES
07/08/22 ELEV. WALK/BLDGS
05/24/22 BULK/AREAS
04/27/22 NOTES/FENCE/MISC
04/07/22 REVISED LAYOUT

DESIGNED TR. JAY A. GREENWELL
DRAWN LDW
CHECKED JAG
APPROVED JAG
JAY A. GREENWELL, PLS
NY LIC. # 49876

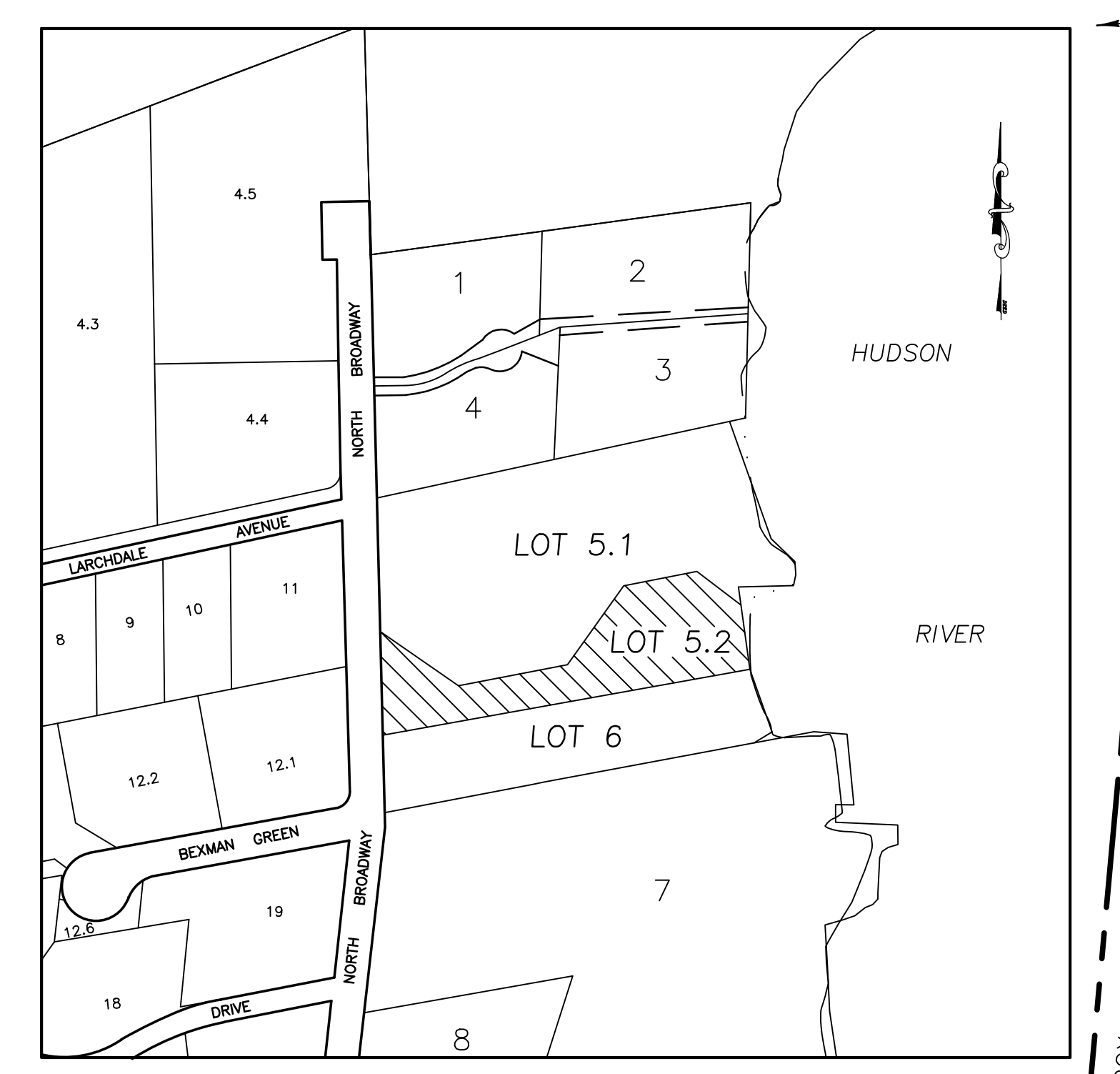
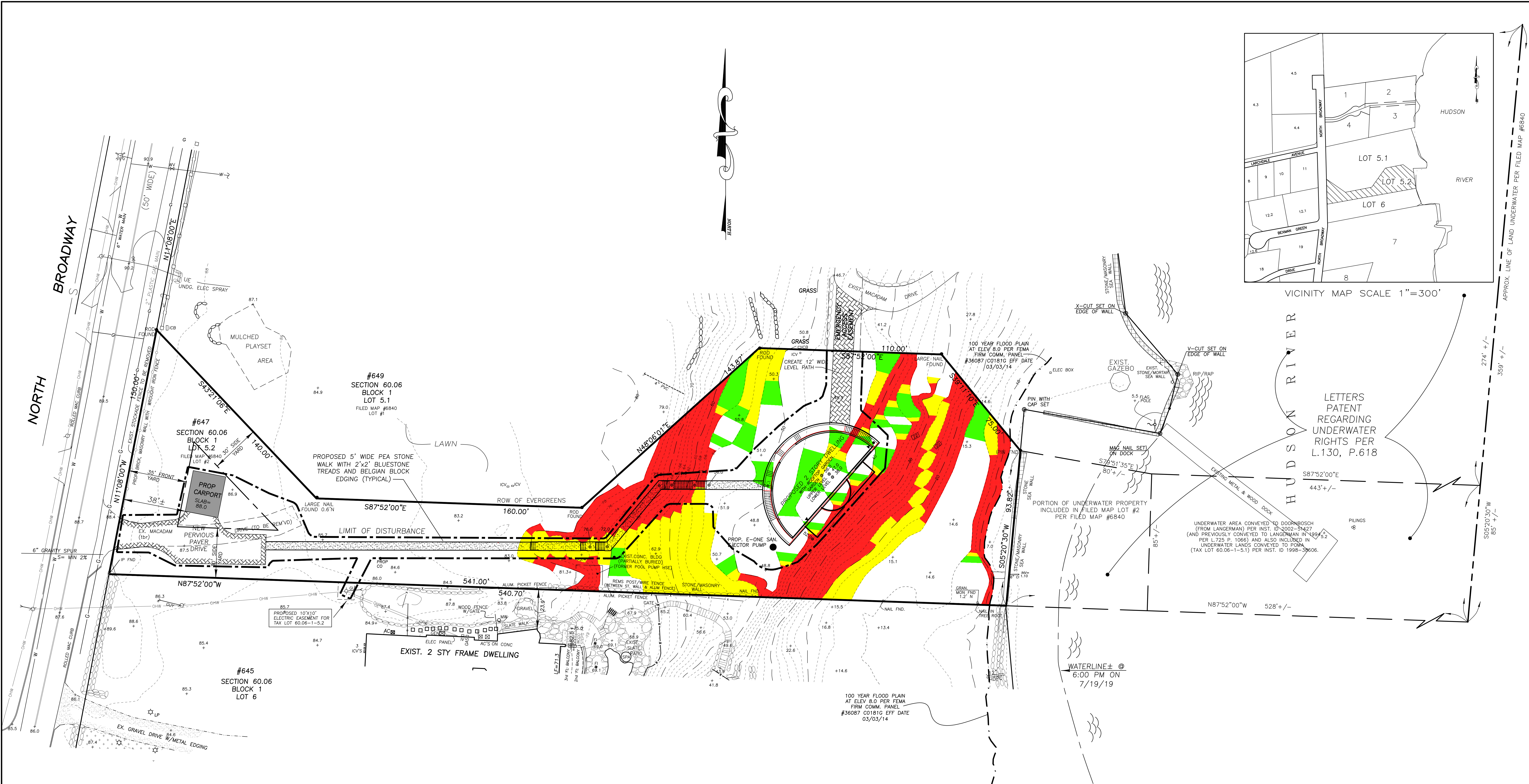
PLAN SET

SHEET	ORIG. DATE	LAST REVISED
1 - SITE PLAN	8/26/21	12/02/22
2 - SLOPE CATEGORY MAP	4/07/22	12/02/22
3 - DETAIL SHEET	4/07/22	12/02/22
4 - EASEMENT MAP	11/08/22	12/02/22

SITE DEVELOPMENT PLAN
647 NO. BROADWAY
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC
LAND SURVEYING - LAND PLANNING
34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901
PHONE: 845-357-0830

TAX LOT # 60.06-1-5.2
AREA ABOVE FILE 21324-647SITE
SCALE 1"=20'
DATE 8/26/21
JOB NO. 21324



LETTERS PATENT REGARDING UNDERWATER RIGHTS PER L.130, P.618

APPROX. LINE OF LAND UNDERWATER PER FILED MAP #6840

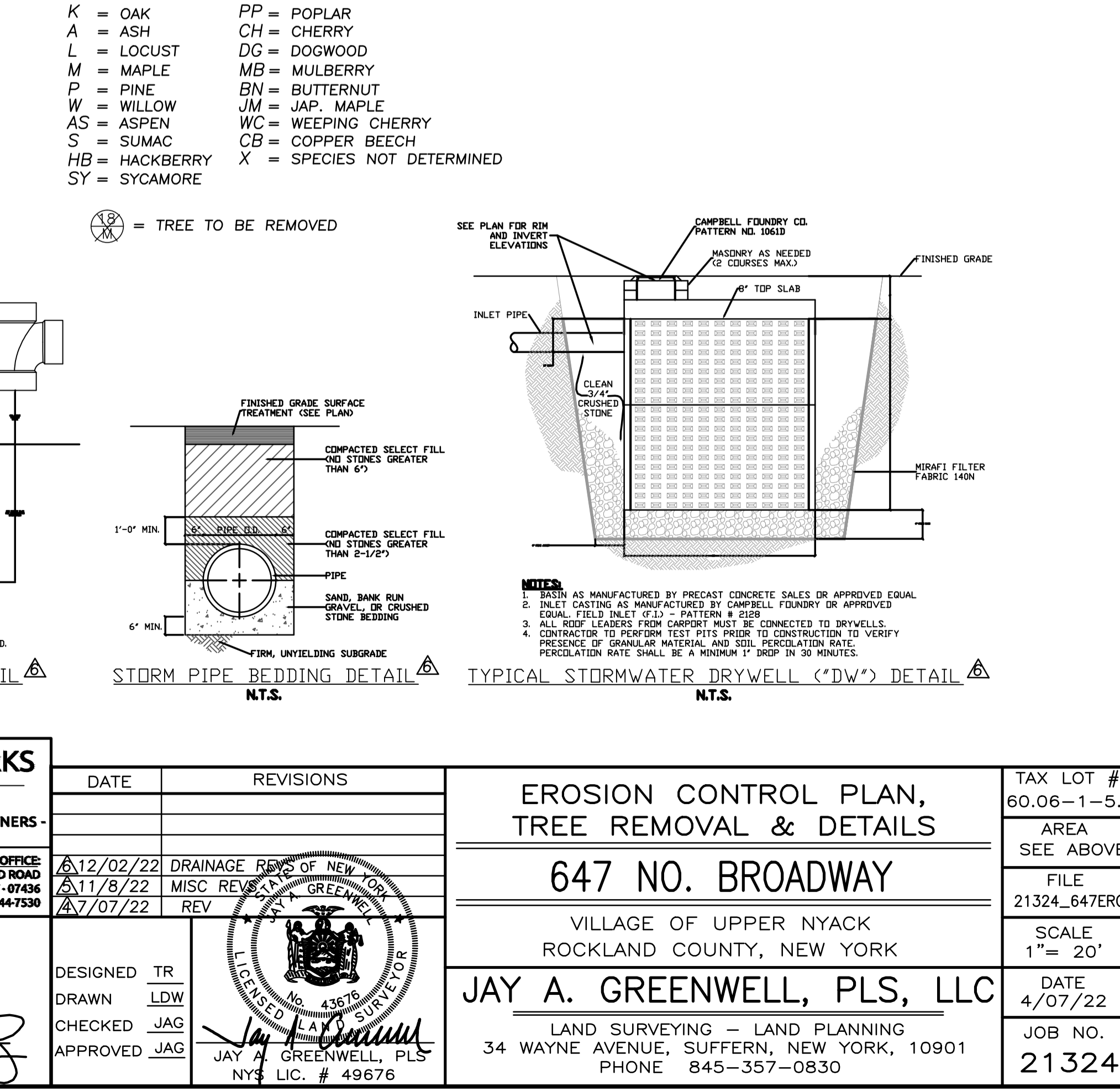
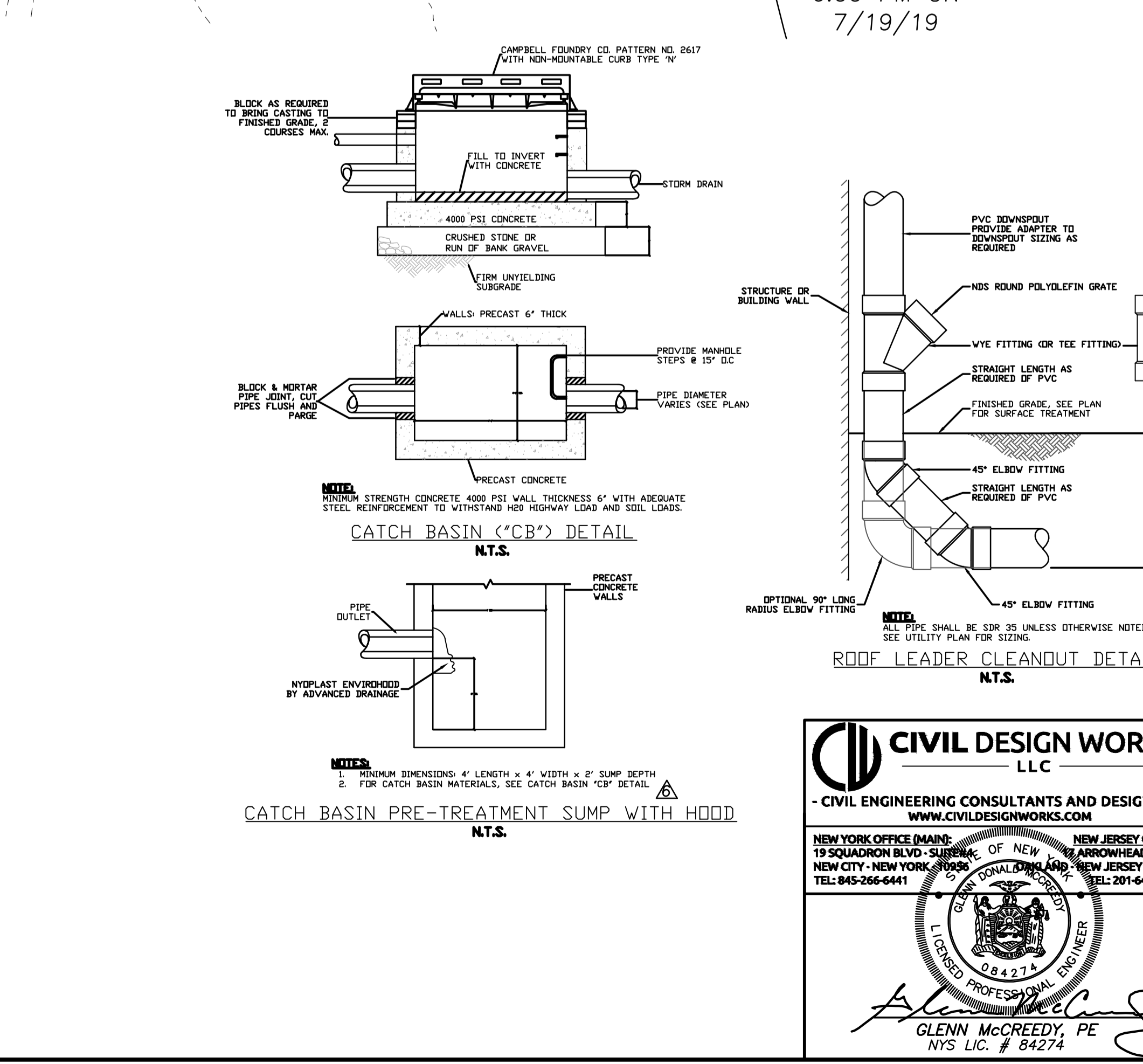
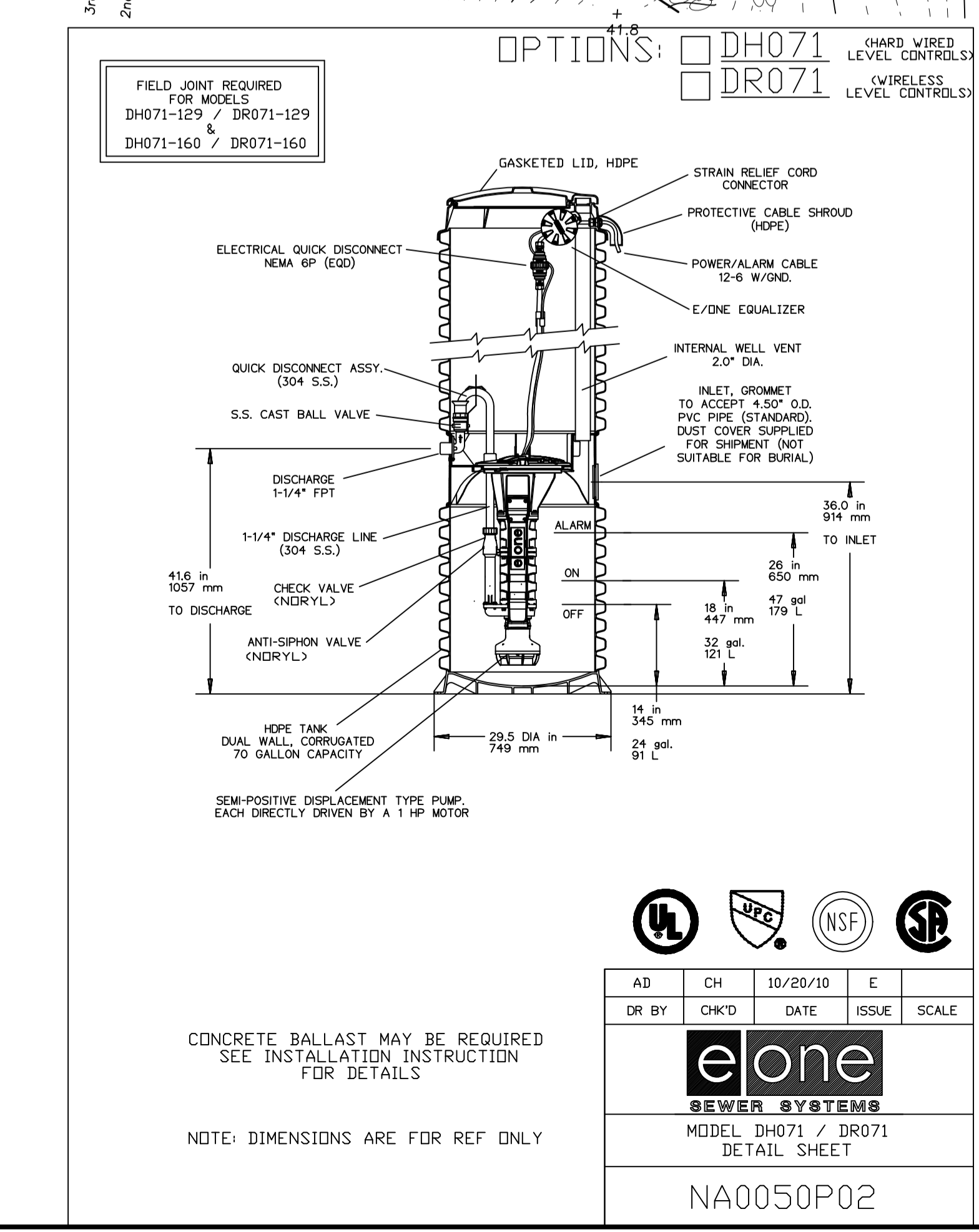
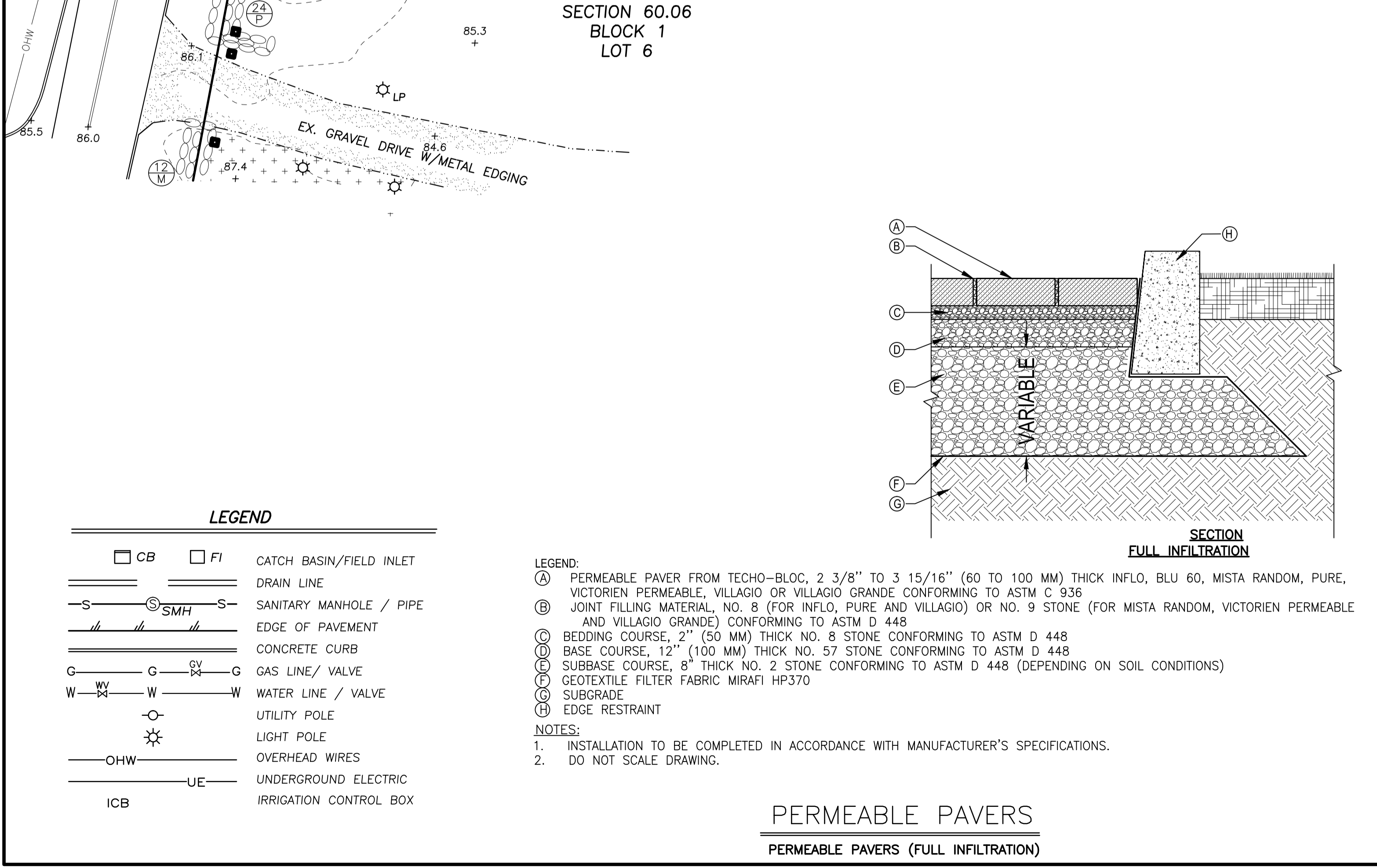
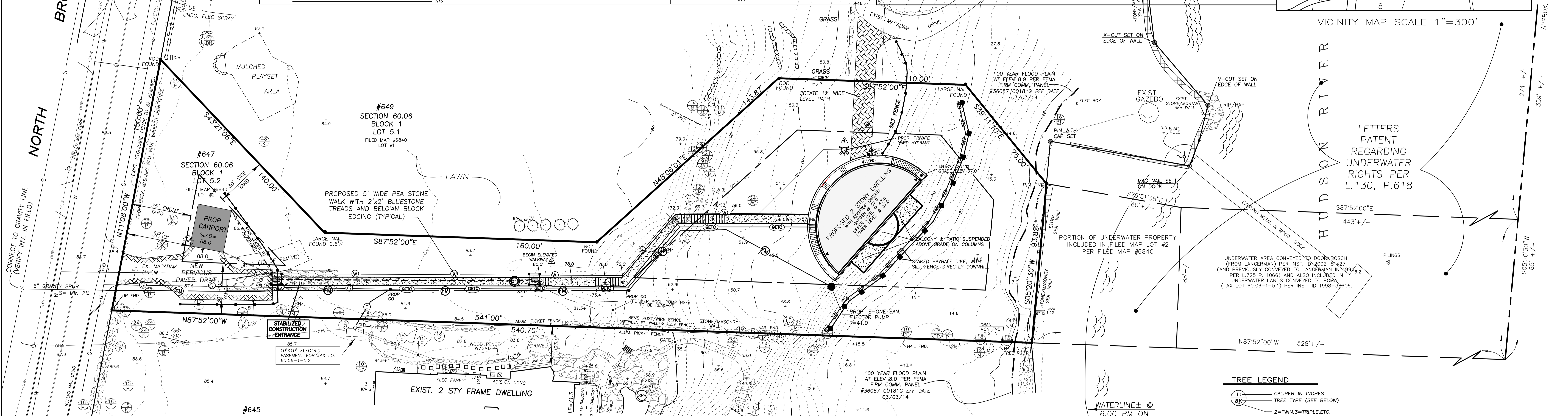
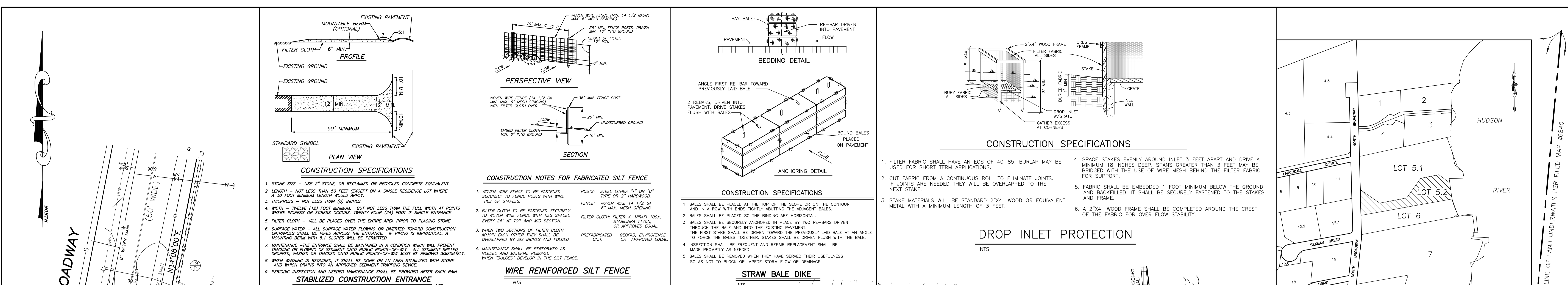
SLOPE CATEGORIES	TOTAL AREA	SLOPE DEDUCTION	LIMITATION OF DISTURBANCE PER SECT. 6.7.1	AMOUNT OF DISTURBANCE PROPOSED	
SLOPE 40% OR GREATER	9746 SF	NO CREDIT TOWARD NET AREA (9,746 SF REDUCTION)	(NO DISTURBANCE PERMITTED WITHOUT VARIANCE)	1284/9746 13.2% (VARIANCE REQUIRED)	} GRANTED BY ZBA 10/11/22
SLOPE 25%-39%	6460 SF	50% CREDIT TOWARD NET AREA (3,230 SF REDUCTION)	NO MORE THAN 20% OF THIS AREA MAY BE DISTURBED WITHOUT VARIANCE	1190/6460 18.4%	
SLOPE 15%-24%	2619 SF	100% CREDIT TOWARD NET AREA (NO REDUCTION)	NO MORE THAN 35% OF THIS AREA MAY BE DISTURBED WITHOUT VARIANCE	1116/2619 42.6% (VARIANCE REQUIRED)	} GRANTED BY ZBA 10/11/22

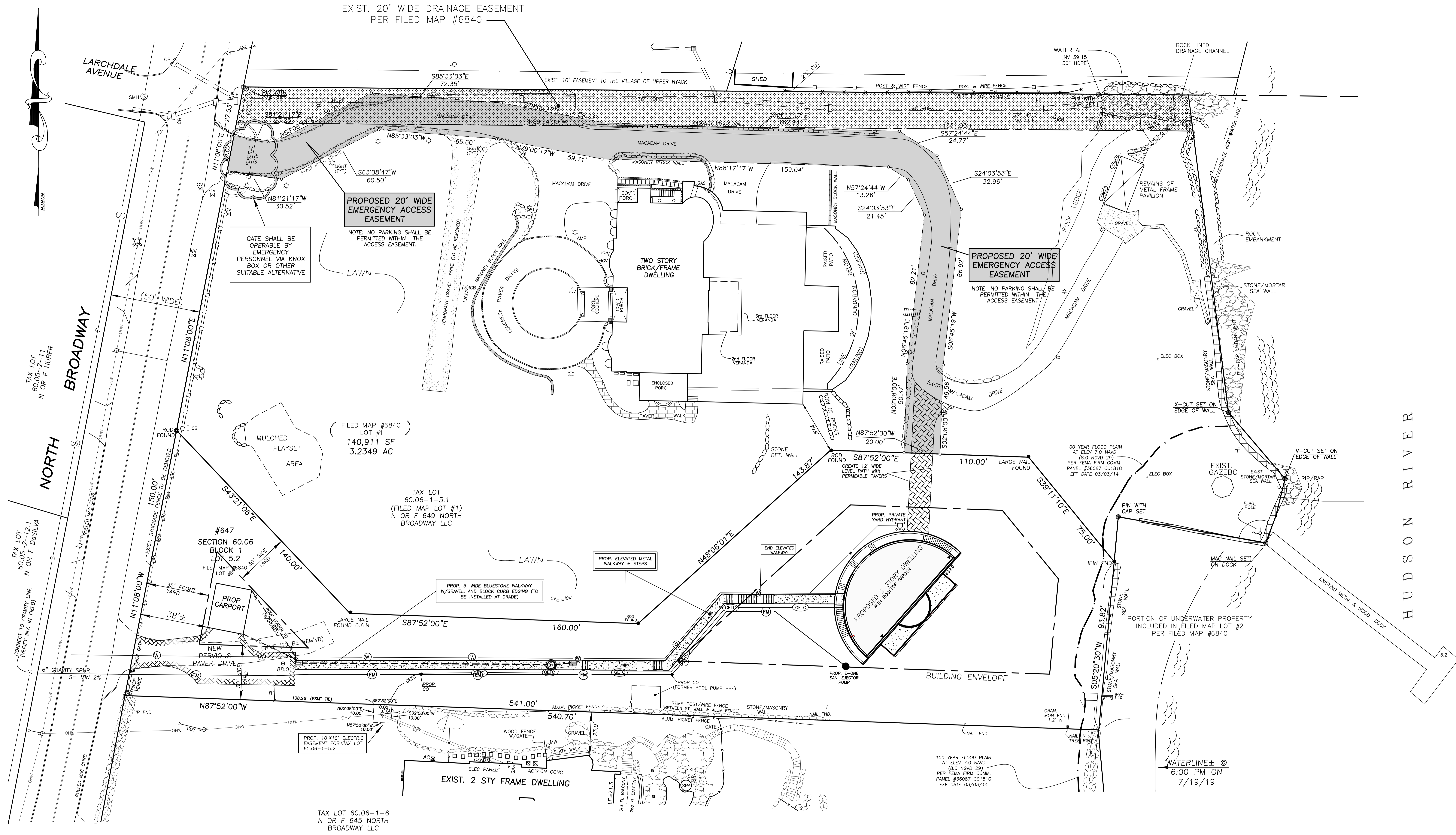
SLOPE REDUCTION CALCULATION

GROSS AREA = 62,376 SF
 -100% (>40%) = 9,746 SF
 -50% (26-39%) = 3,230 SF
 -50% AREA BELOW 100 YR FLOOD (ELEV 8) = 559 SF
 NET ZONING AREA = 48,841 SF

- LEGEND**
- CB □ FI CATCH BASIN/FIELD INLET
 - DRAIN LINE
 - SMH — SANITARY MANHOLE / PIPE
 - EDGE OF PAVEMENT
 - CONCRETE CURB
 - G — GAS LINE / VALVE
 - W — WATER LINE / VALVE
 - ○ — UTILITY POLE
 - * — LIGHT POLE
 - OHW — OVERHEAD WIRES
 - UE — UNDERGROUND ELECTRIC
 - ICB — IRRIGATION CONTROL BOX

DATE	REVISIONS	SLOPE CATEGORY MAP AND LIMIT OF DISTURBANCE 647 NO. BROADWAY VILLAGE OF UPPER NYACK ROCKLAND COUNTY, NEW YORK JAY A. GREENWELL, PLS, LLC LAND SURVEYING - LAND PLANNING 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901 PHONE 845-357-0830 FAX 845-357-0756	TAX LOT #
12/02/22	MISC REVS		60.06-1-5.2
9/22/22	REV DWG/SLOPES		AREA
7/7/22	REVISIONS		SEE ABOVE
DESIGNED JAG		FILE	21324-647SLOPE
DRAWN LDW		SCALE	1" = 20'
CHECKED JAG		DATE	04/07/22
APPROVED JAG		JAY A. GREENWELL, PLS NY'S LIC. # 49876	JOB NO.





TAX LOT 60.05-2-11
N OR F HUBER
BROADWAY
NORTH

TAX LOT 60.06-1-5.1
N OR F 649 NORTH BROADWAY LLC
SECTION 60.06
BLOCK 1
LOT #1
140,911 SF
3.2349 AC
FILED MAP #6840

TAX LOT 60.06-1-5.2
N OR F 649 NORTH BROADWAY LLC

DATE	REVISIONS	EASEMENT MAP	TAX LOT #
		647 NO. BROADWAY	60.06-1-5.2
		VILLAGE OF UPPER NYACK	
		ROCKLAND COUNTY, NEW YORK	
DESIGNED TR		JAY A. GREENWELL, PLS, LLC LAND SURVEYING - LAND PLANNING 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901 PHONE 845-357-0830	FILE
DRAWN LDW			21324_647esmt
CHECKED JAG			SCALE
APPROVED JAG			1" = 20'
			DATE
			11/08/22
			JOB NO.
			21324
			SHEET 4

- 06-22-22 PLANNING BOARD MEETING
- 07-20-22 PLANNING BOARD RESUBMISSION
- 09-06-22 ZONING BOARD SUBMISSION
- 10-11-22 ZONING BOARD RESUBMISSION
- 10-19-22 PLANNING BOARD RESUBMISSION
- 12-21-22 PLANNING BOARD RESUBMISSION

647 NORTH BROADWAY LLC
 NEW GUEST HOUSE
 RIVERCLIFF
 647 N. BROADWAY
 UPPER NYACK, NY 10960
 ROCKLAND COUNTY
 SECTION 60.06 BLOCK 1, LOT 5.2

DWG. TITLE:
PROPOSED FIRST AND SECOND FLOOR PLANS

ARCHITECTURAL LICENSE NUMBERS:
 NY 019357-1

CT 07984	MI 1301040380
DE 0005320	MN 26586
DC ARC101043	MO 007521
IL 001-015551	NH 3079
KS 4533	NJ 21A00962900
MD 7823	PA RA-010849-B
MA 8687	

NJ PROFESSIONAL PLANNER:
 33100255400

NJ CERTIFIED INTERIOR DESIGNER:
 21000026700



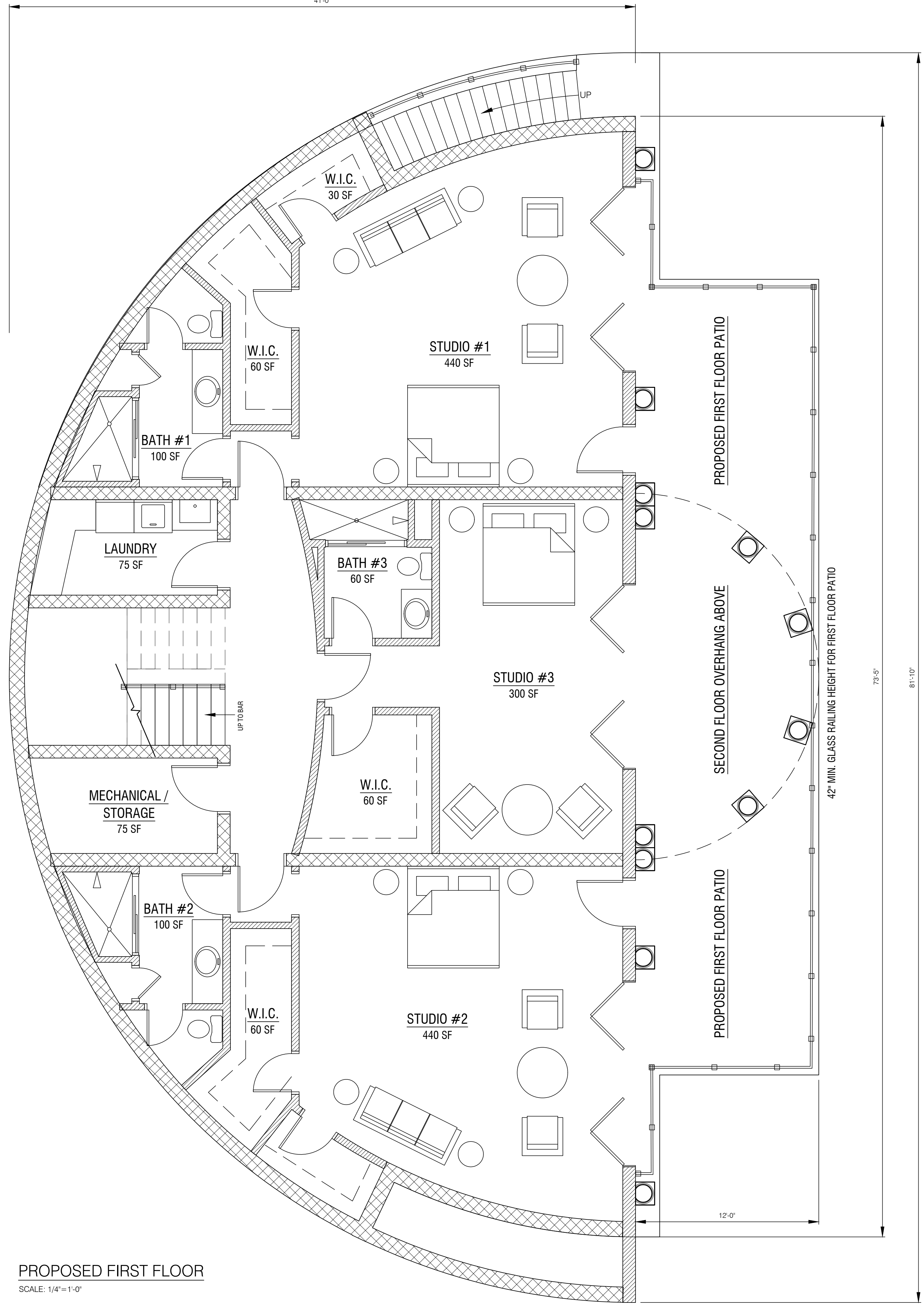
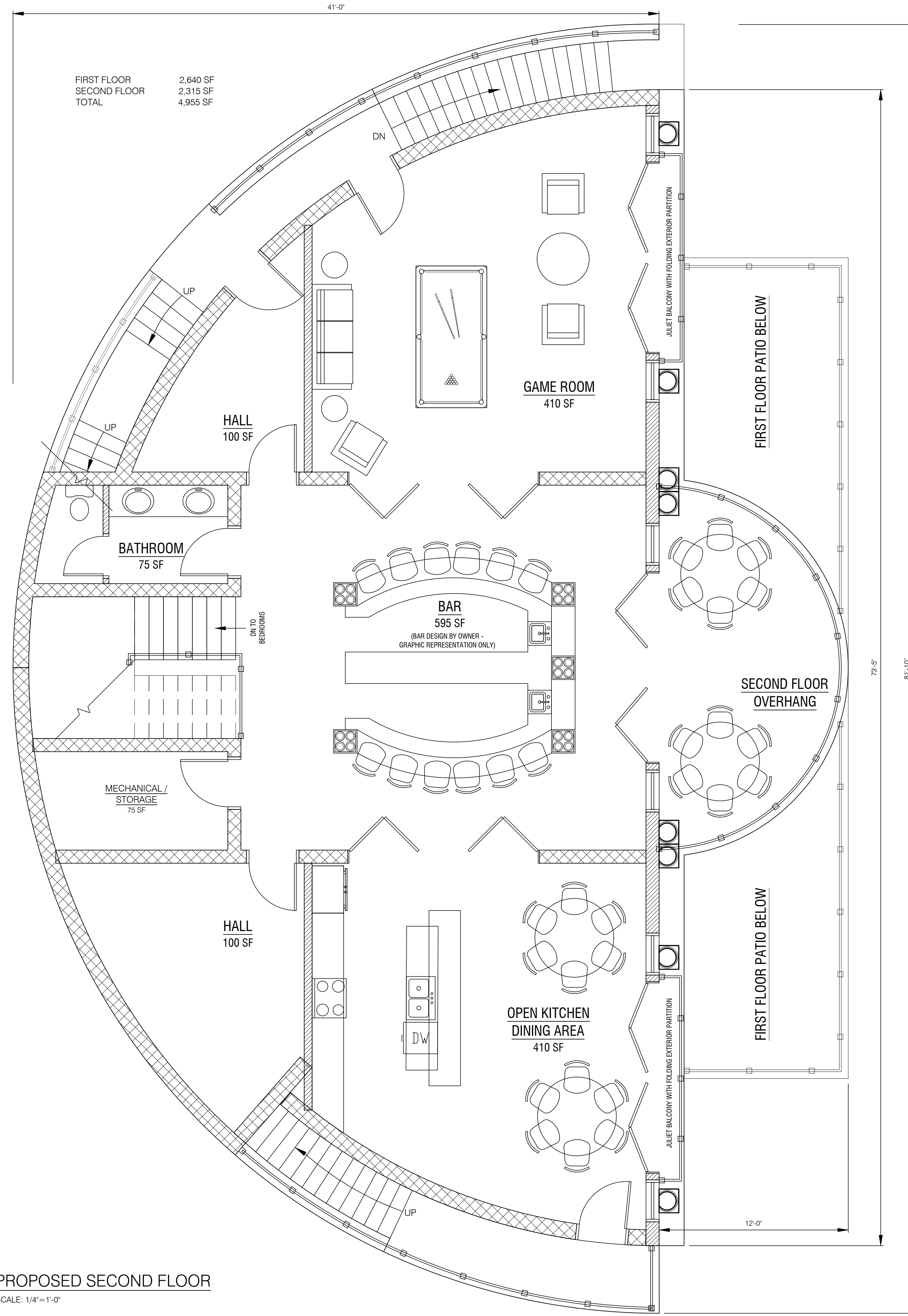
TOMASZ M. RYBAK ARCHITECT

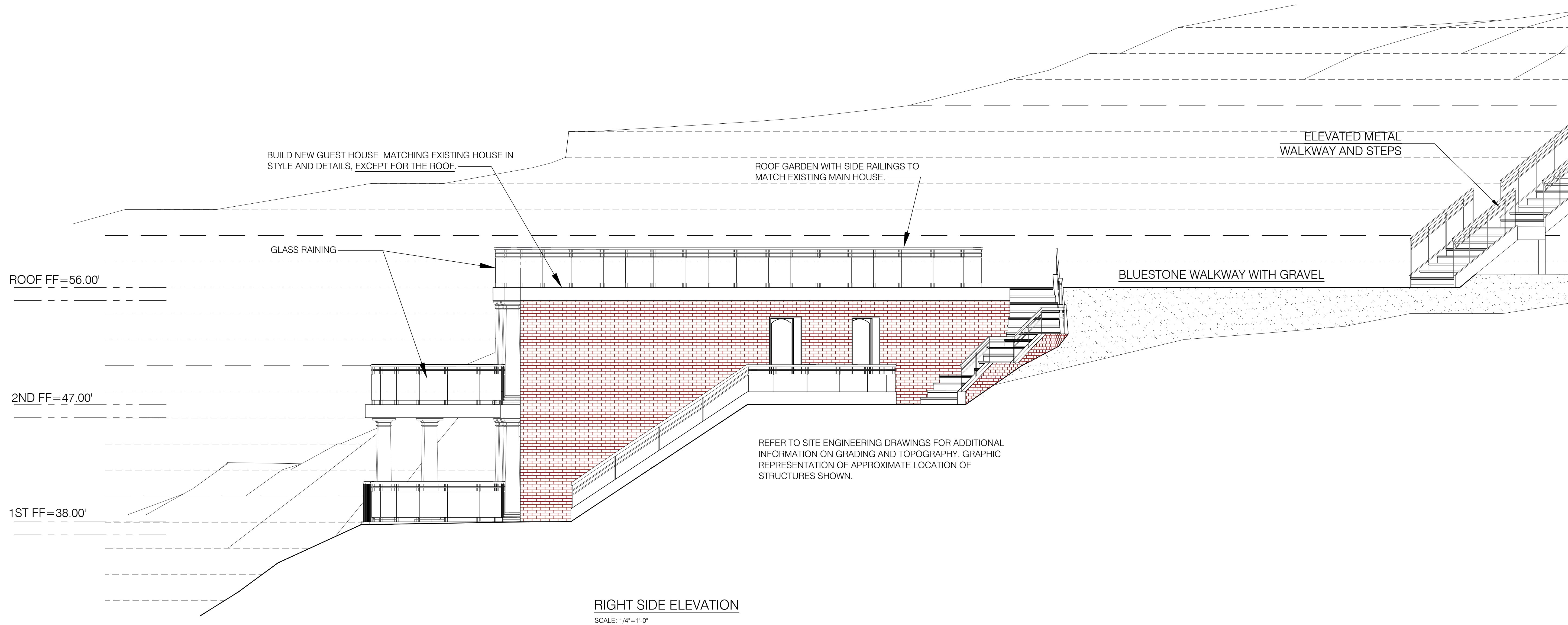
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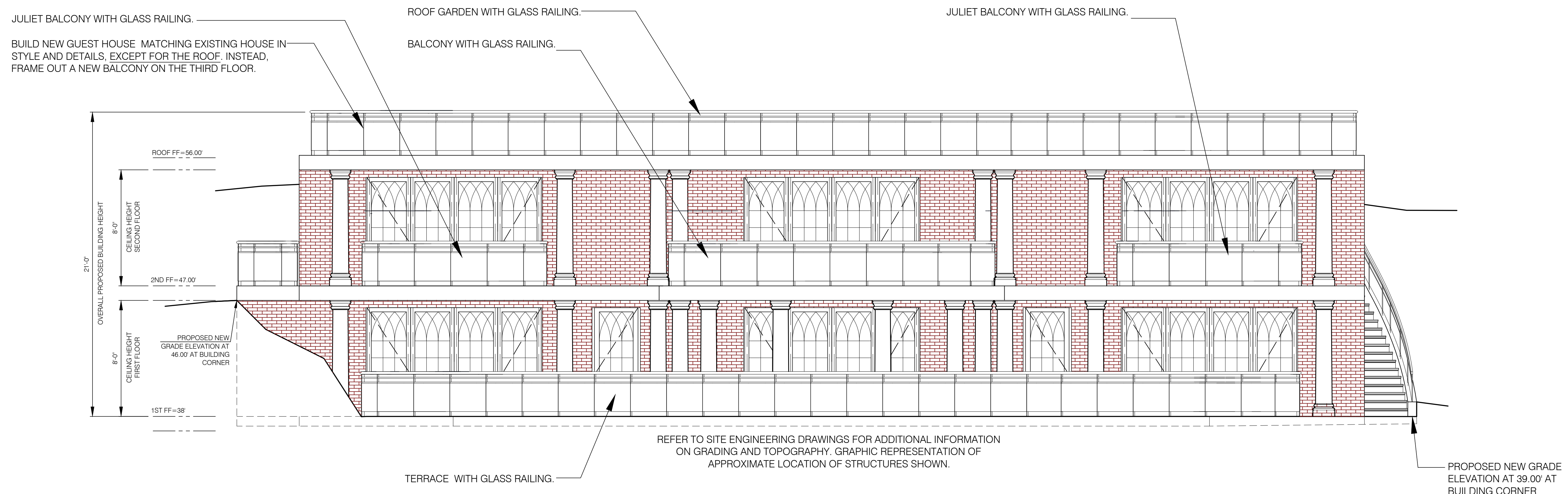
DATE:
 04-26-22
 SCALE:
 AS NOTED
 DRAWN BY:
 RM
 CHECKED BY:
 GH

JOB NO.
17-007
 DWG. NO.
A-1





RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



BUILDING FRONT ELEVATION
 SCALE: 1/4"=1'-0"

647 NORTH BROADWAY LLC
 NEW GUEST HOUSE
 RIVERCLIFF
 647 N. BROADWAY
 UPPER NYACK, NY 10960
 ROCKLAND COUNTY
 SECTION 60.06 BLOCK 1, LOT 5.2

DWG. TITLE:
 GUEST HOUSE ELEVATIONS

ARCHITECTURAL LICENSE NUMBERS:
 NY 019357-1
 CT 07984 MI 1301040380
 DE 0005320 MN 26586
 DC ARC101043 MO 007521
 IL 001-015551 NH 3079
 KS 4533 NJ 21A00962900
 MD 7823 PA RA-010849-B
 MA 8687

NJ PROFESSIONAL PLANNER:
 33L00255400

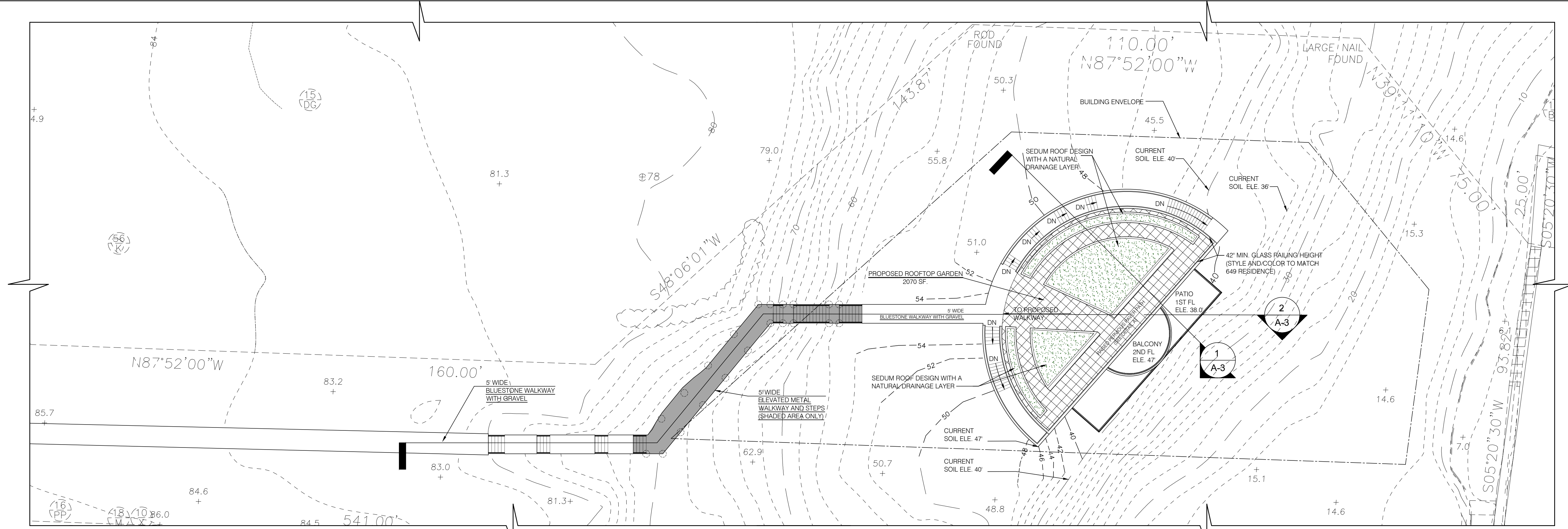
NJ CERTIFIED INTERIOR DESIGNER:
 21D00026700



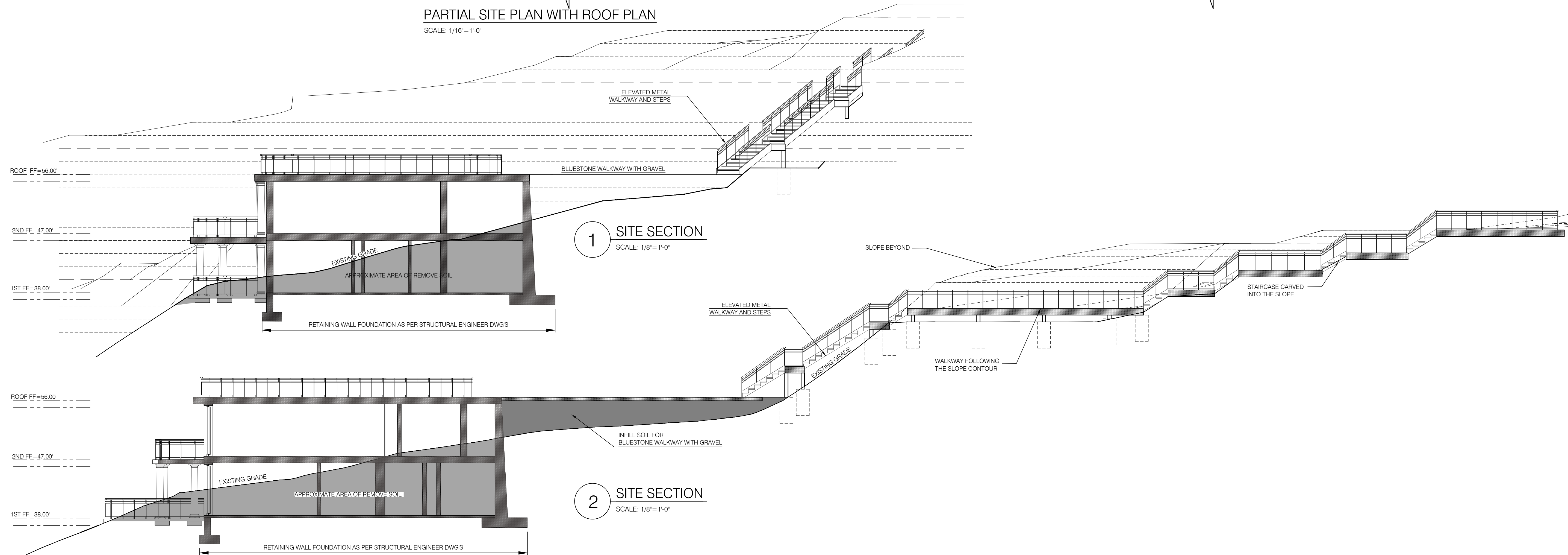
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DATE: 04-26-22 JOB NO. 17-007
 SCALE: AS NOTED DWG. NO. A-2
 DRAWN BY: RM
 CHECKED BY: GH

- 06-22-22 PLANNING BOARD MEETING
- 07-20-22 PLANNING BOARD RESUBMISSION
- 09-06-22 ZONING BOARD SUBMISSION
- 10-11-22 ZONING BOARD RESUBMISSION
- 10-19-22 PLANNING BOARD RESUBMISSION
- 12-21-22 PLANNING BOARD RESUBMISSION



PARTIAL SITE PLAN WITH ROOF PLAN
 SCALE: 1/16"=1'-0"



1 SITE SECTION
 SCALE: 1/8"=1'-0"

2 SITE SECTION
 SCALE: 1/8"=1'-0"

647 NORTH BROADWAY LLC
NEW GUEST HOUSE
RIVERCLIFF
647 N. BROADWAY
UPPER NYACK, NY 10960
ROCKLAND COUNTY
SECTION 60.06 BLOCK 1, LOT 5.2

DWG. TITLE:
PARTIAL SITE PLAN AND SITE SECTIONS

ARCHITECTURAL LICENSE NUMBERS:
NY 019357-1
 CT 07984 MI 1301040380
 DE 0005320 MN 26586
 DC AR101043 MO 007521
 IL 001-015551 NH 3079
 KS 4533 NJ 21A00962900
 MD 7823 PA RA-010849-B
 WA 8687

NJ PROFESSIONAL PLANNER:
 33L00355400
 NJ CERTIFIED INTERIOR DESIGNER:
 21D00026700

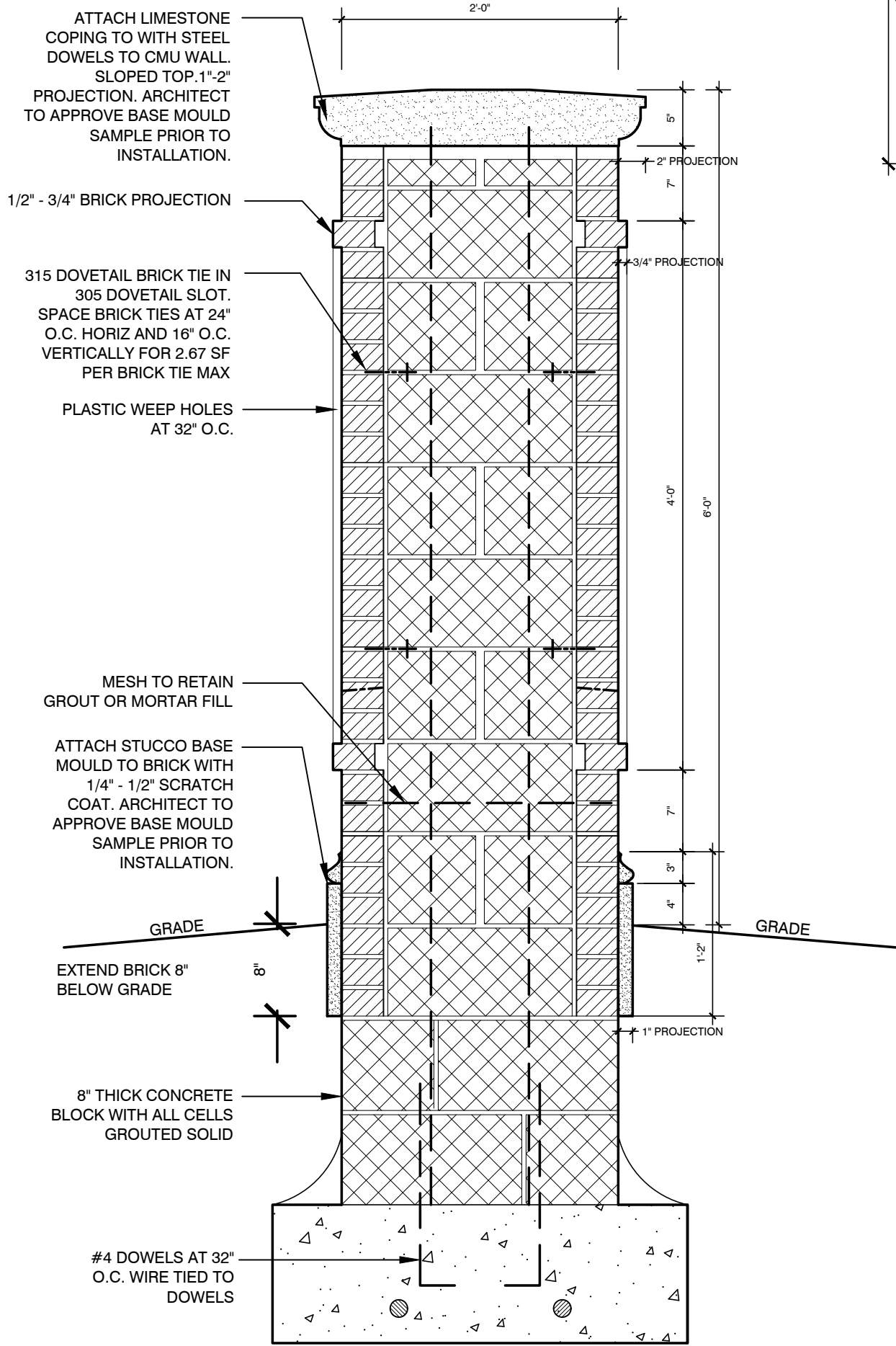


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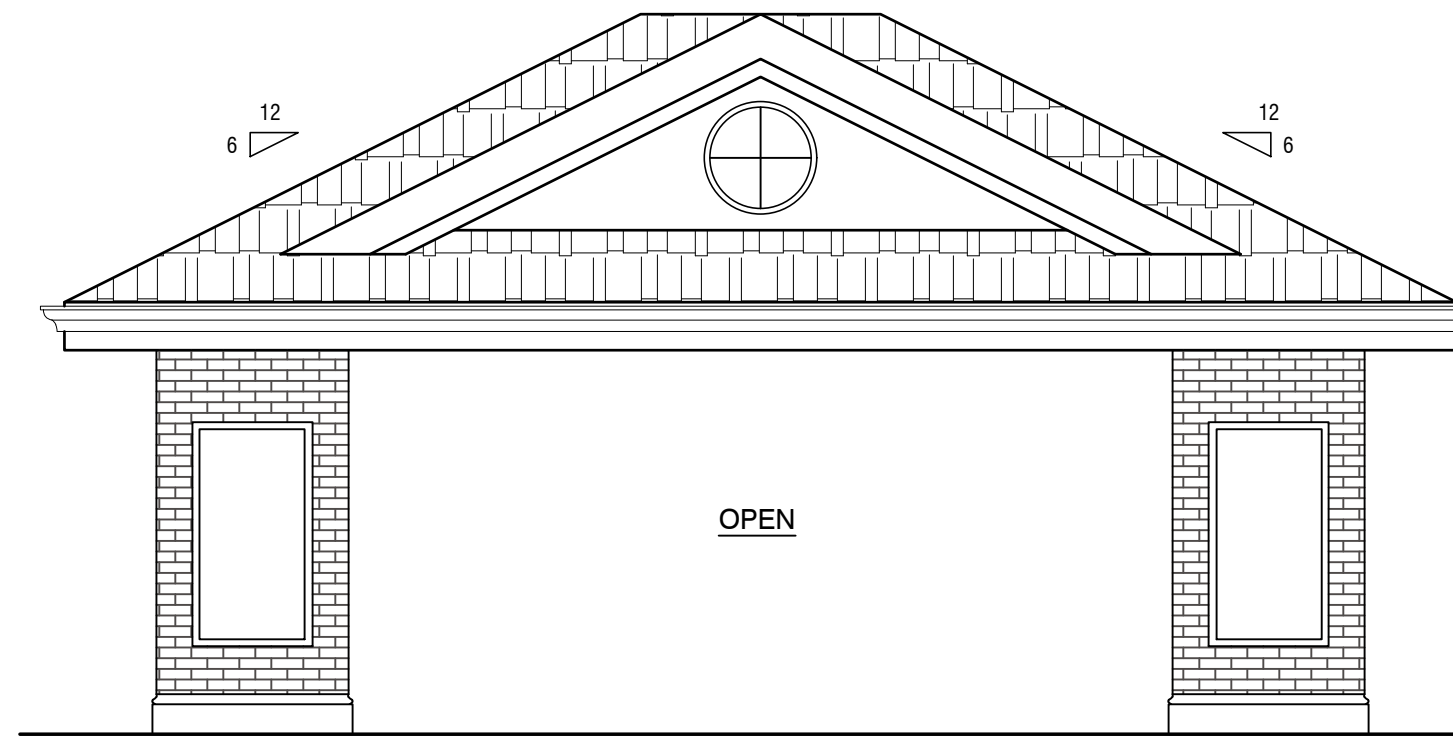
DATE: 04-26-22 JOB NO. 17-007
 SCALE: AS NOTED DWG. NO. A-3
 DRAWN BY: RM
 CHECKED BY: GH

- 06-22-22 PLANNING BOARD MEETING
- 07-20-22 PLANNING BOARD RESUBMISSION
- 09-06-22 ZONING BOARD SUBMISSION
- 10-11-22 ZONING BOARD RESUBMISSION
- 10-19-22 PLANNING BOARD RESUBMISSION
- 12-21-22 PLANNING BOARD RESUBMISSION

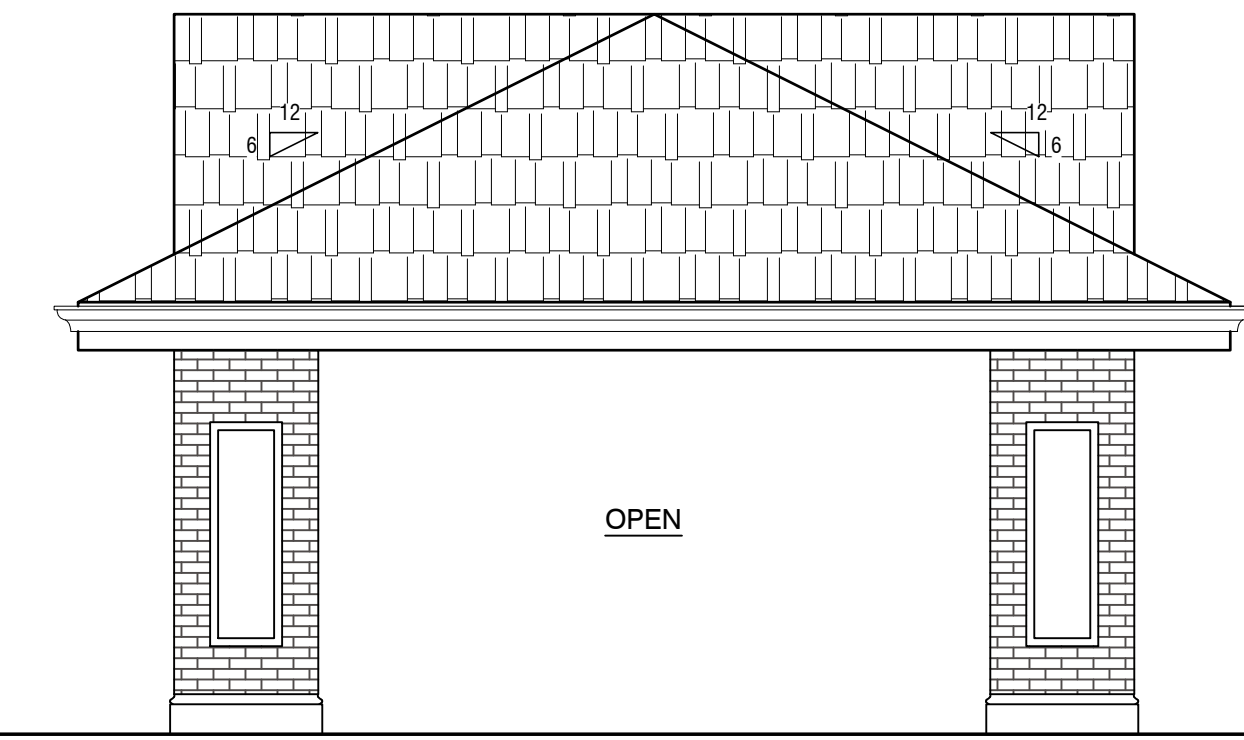
647 NORTH BROADWAY LLC
NEW GUEST HOUSE
RIVERCLIFF
647 N. BROADWAY
UPPER NYACK, NY 10960
ROCKLAND COUNTY
SECTION 60.06 BLOCK 1, LOT 5.2



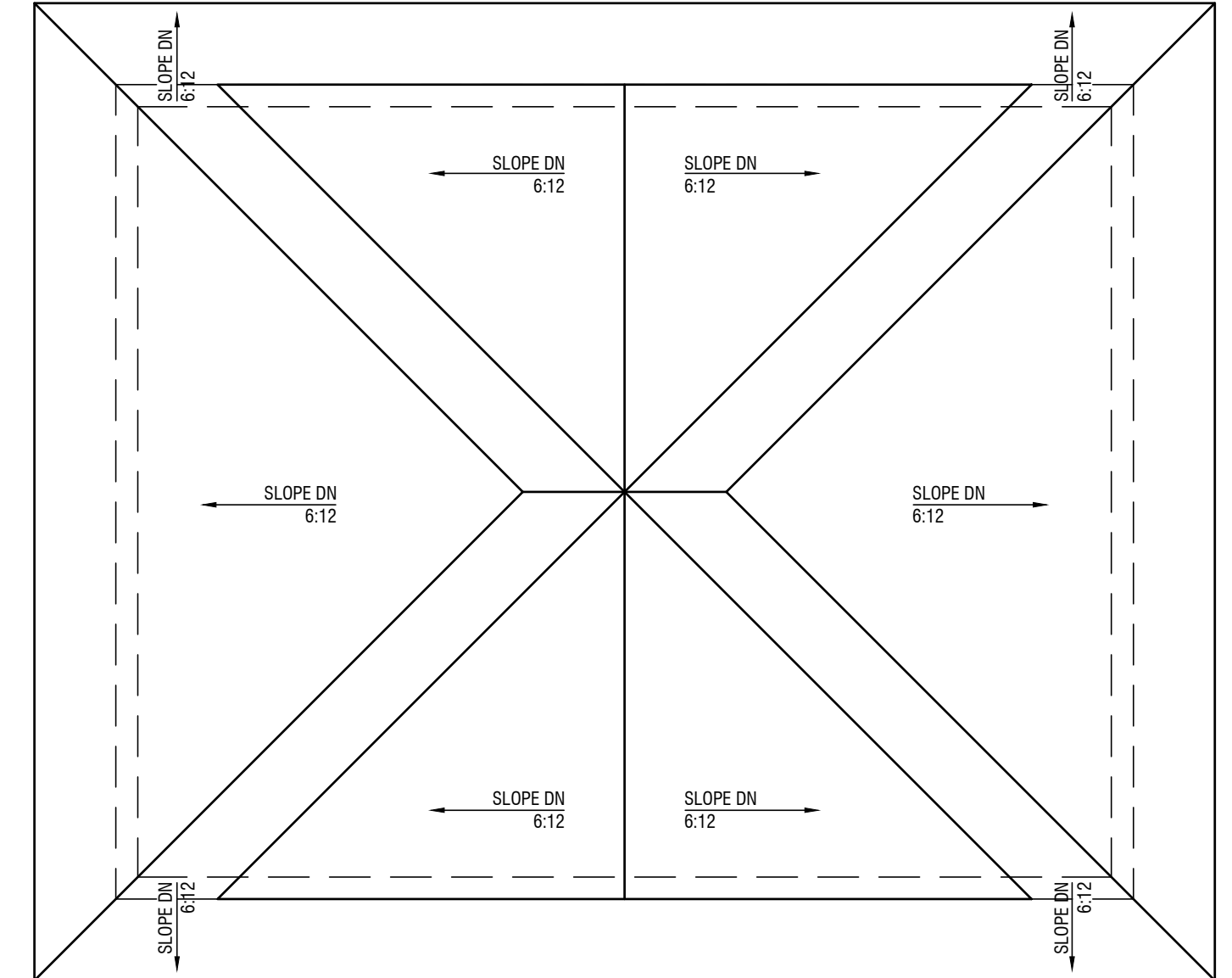
WALL SECTION THRU BRICK
 SCALE: 1"=1'-0"



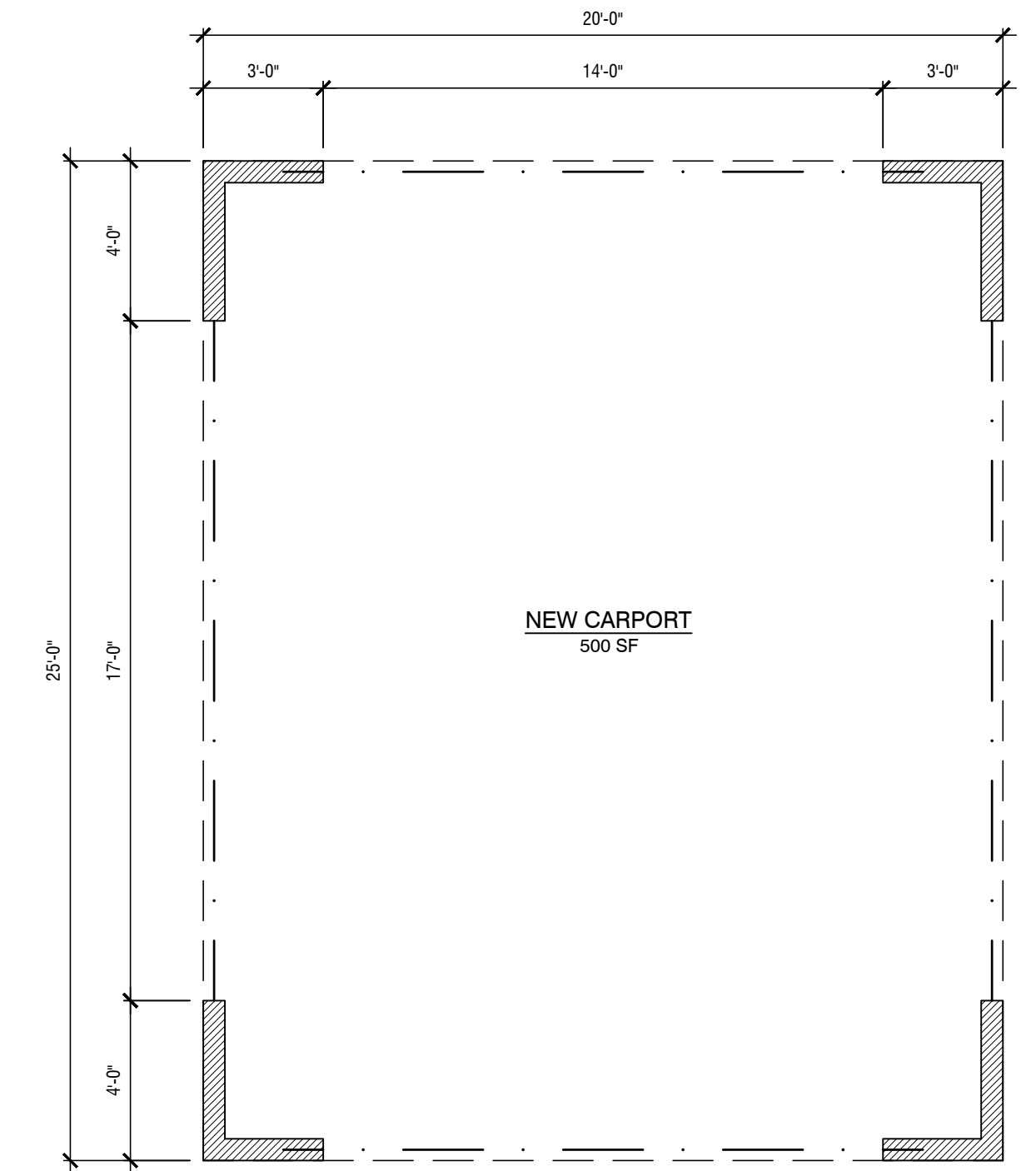
NEW CARPORT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



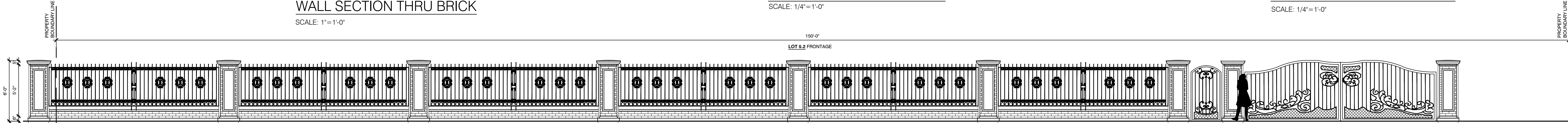
NEW CARPORT FRONT ELEVATION
 SCALE: 1/4"=1'-0"



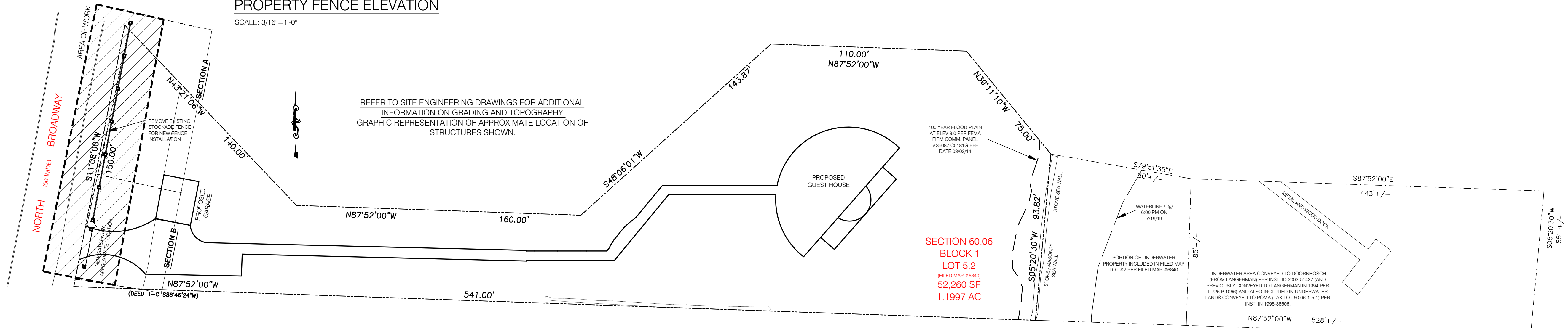
NEW CARPORT ROOF PLAN
 SCALE: 1/4"=1'-0"



NEW CARPORT FLOOR PLAN
 SCALE: 1/4"=1'-0"



PROPERTY FENCE ELEVATION
 SCALE: 3/16"=1'-0"



PROPERTY SITE PLAN
 SCALE: 1/32"=1'-0"

DWG. TITLE:
NEW CARPORT PLANS AND ELEVATIONS AND PROPERTY FENCE

ARCHITECTURAL LICENSE NUMBERS:
 NY 019357-1
 CT 07984 MI 1301040380
 DE 0005320 MN 26586
 DC ARC101043 MO 007521
 IL 001-015551 NH 30729
 KS 4533 NJ 21A00962900
 MD 7823 PA RA-010849-B
 MA 8687




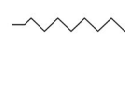

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DATE: 04-26-22
 SCALE: AS NOTED
 DRAWN BY: RM
 CHECKED BY: GH

JOB NO. 17-007
 DWG. NO. A-4

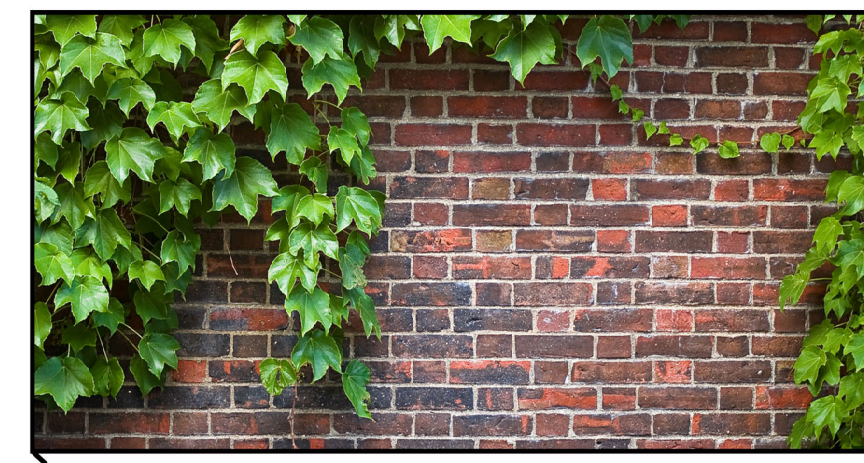
SITE PLAN INFORMATION OBTAINED FROM SURVEY BY
 JAY A. GREENWELL, PLS. LLC
 85 LAFAYETTE, SUFFERN, NEW YORK, 10901
 845-357-0830, DATED 07-16-13 LIC. NUMBER 49876

SITE PLAN LEGEND

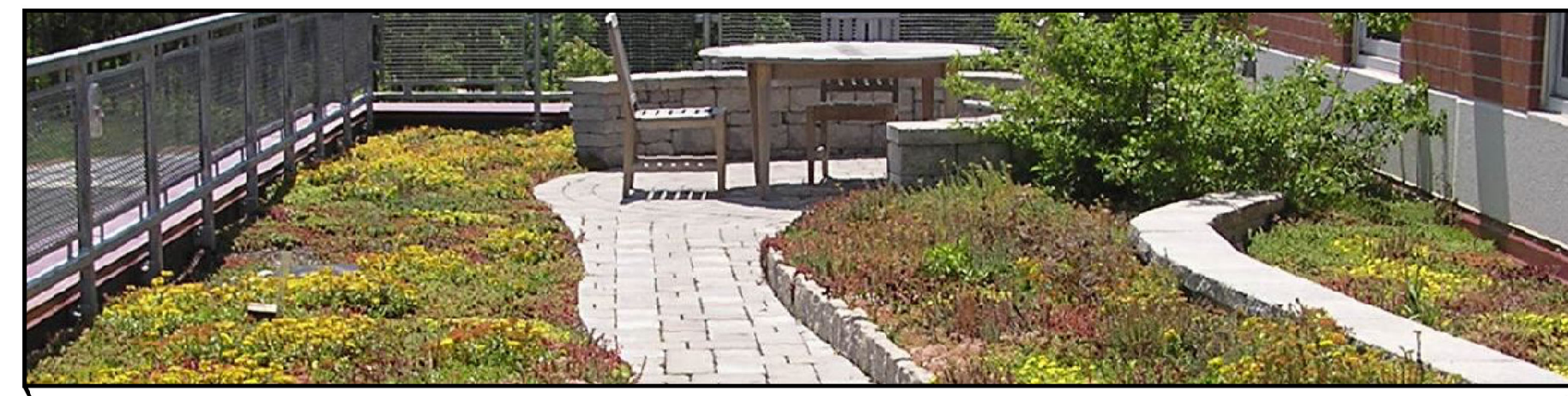
-  PLANTING
SEDUM, PERENNIALS, GRASSES
-  PLANTING
TRADITIONAL IVY PLANTING
(COMMON IVY - HEDERA HELIX)
-  PLANTING
BOXWOOD
(AMERICAN BOXWOOD -
BUXUS SEMPERVIRENS)

SCOPE OF WORK

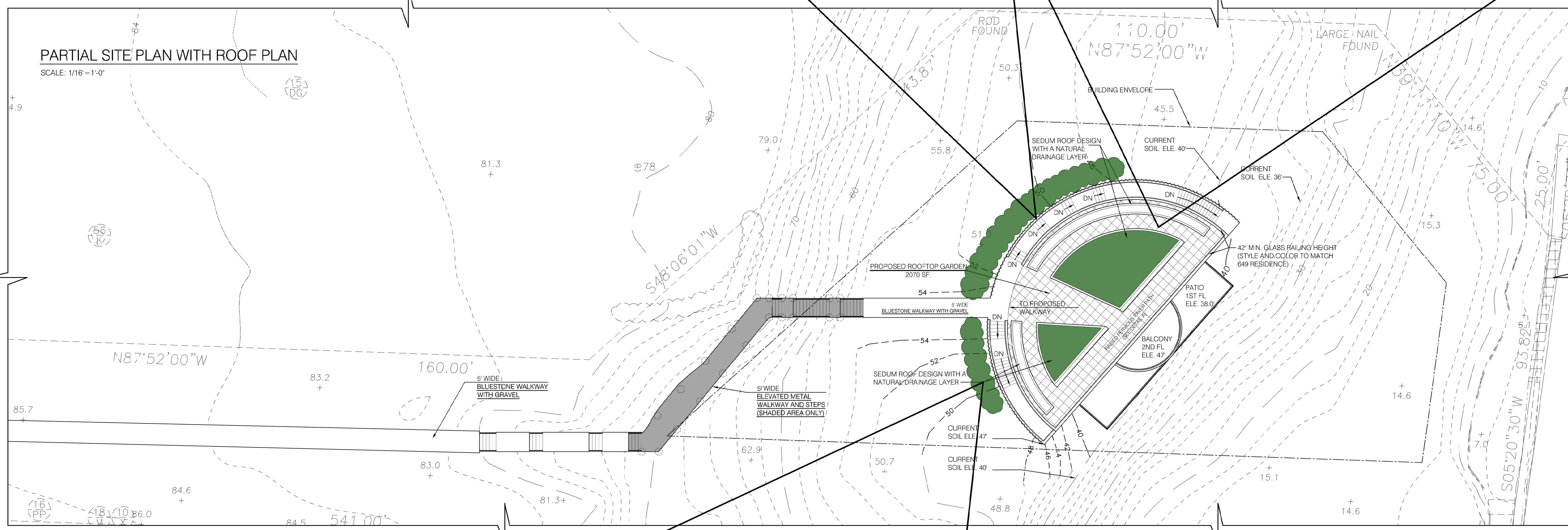
LANDSCAPE PLAN
 REMOVE ANY INVASIVE GRASSES AND SHRUBBERY
 INTERFERING WITH EXCAVATION. LIMITED NEW
 LANDSCAPING THROUGHOUT SITE. NEW PRIVACY SHRUB
 PLANTING NEAR PROPOSED GARAGE AND PROPOSED
 SINGLE FAMILY RESIDENCE ONLY. PROPOSED ROOFTOP
 GARDEN BY ROOFLIE® SEDUM ROOF WITH NATURAL
 DRAINAGE LAYER (SEDUM, SUCCULENTS, PERENNIALS
 AND GRASSES ONLY). REMAINDER OF SITE SHALL
 REMAIN AS IS THROUGHOUT.



PLANTING - TRADITIONAL IVY PLANTING
(COMMON IVY - HEDERA HELIX)



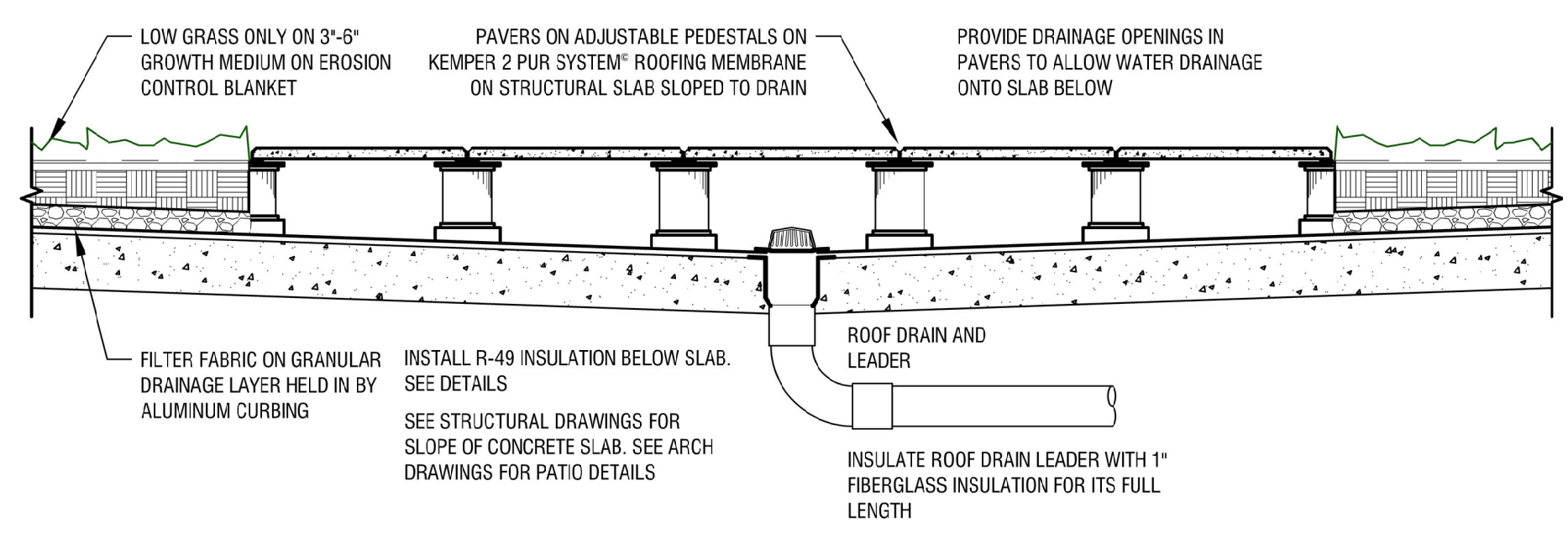
PLANTING - SEDUM, PERENNIALS, GRASSES



PARTIAL SITE PLAN WITH ROOF PLAN
 SCALE: 1/16"=1'-0"



PLANTING BOXWOOD
(AMERICAN BOXWOOD - BUXUS SEMPERVIRENS)



RAISED PERVIOUS PAVER DETAIL
 SCALE: 1/8"=1'-0"

rooflie Certified Green Roof Media

SOIL SYSTEM OVERVIEW

SEDUM ROOFS WITH A NATURAL DRAINAGE LAYER

- Sedum roofs are the most popular type of green roof due to a great cost-to-benefit ratio and significant stormwater retention.
- The multi-course version consists of 2 inches of rooflite drain as a granular drainage medium, topped by rooflite separation fabric and 4-6 inches of rooflite extensive.
- The granular drainage layer drains and retains water simultaneously and creates a natural root environment that enhances plant growth and resilience.
- This soil system provides excellent growing conditions for sedum and other succulents, as well as for other hardy perennials and grasses, which can be added to increase diversity or to adjust to regional conditions.

Weight

Biodiversity

Water Holding

Maintenance

ox rooflite® extensive
The ideal growth medium for extensive green roof systems with hardy and drought tolerant vegetation.

sf rooflite® separation fabric
A root permeable fabric used to separate the growth media from the drainage layer.

dr rooflite® drain
Granular lightweight aggregate that creates a natural root environment and can be used as an alternative to a synthetic drainage layer. It can also be used as a bedding layer when pavers or patios are specified.

FOR ILLUSTRATION ONLY
 FOR TECHNICAL DRAWINGS, VISIT rooflite.com/downloads

DWG TITLE:
 PROPOSED ARCHITECTURAL
 SITE PLAN

ARCHITECTURAL LICENSE NUMBERS:
 NY 019357-1
 CT 07984 MI 1301040380
 DE 0005320 MN 26586
 DC ARC101043 MO 007521
 IL 031-015551 NH 3075
 KS 4533 NJ 21A100562900
 MD 7823 PA RA-110849-B
 MA 9697

NJ PROFESSIONAL PLANNER:
 33100355400

NJ CERTIFIED INTERIOR DESIGNER:
 211000099


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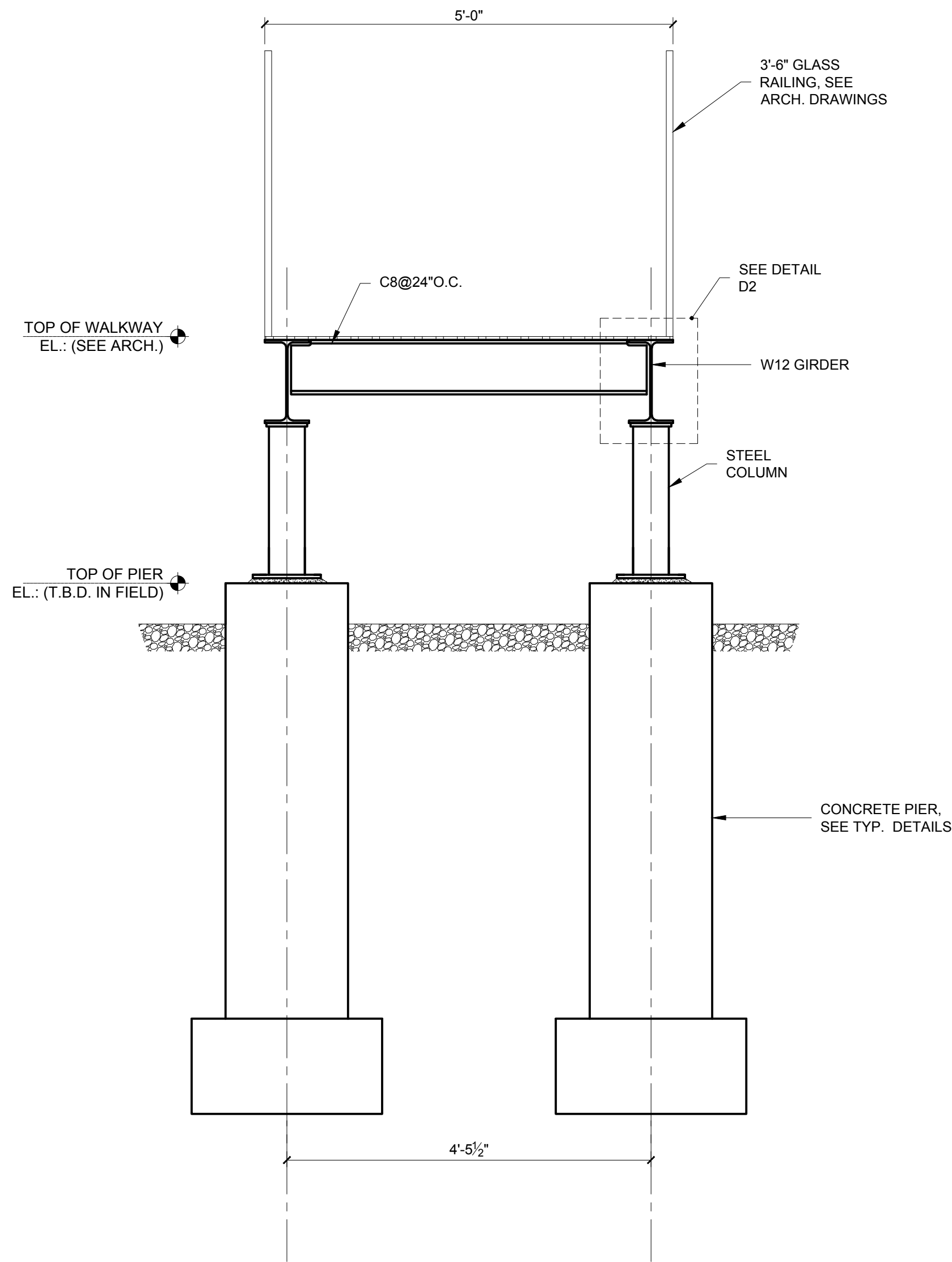
SCALE:
 AS NOTED

DRAWN BY:
 RM

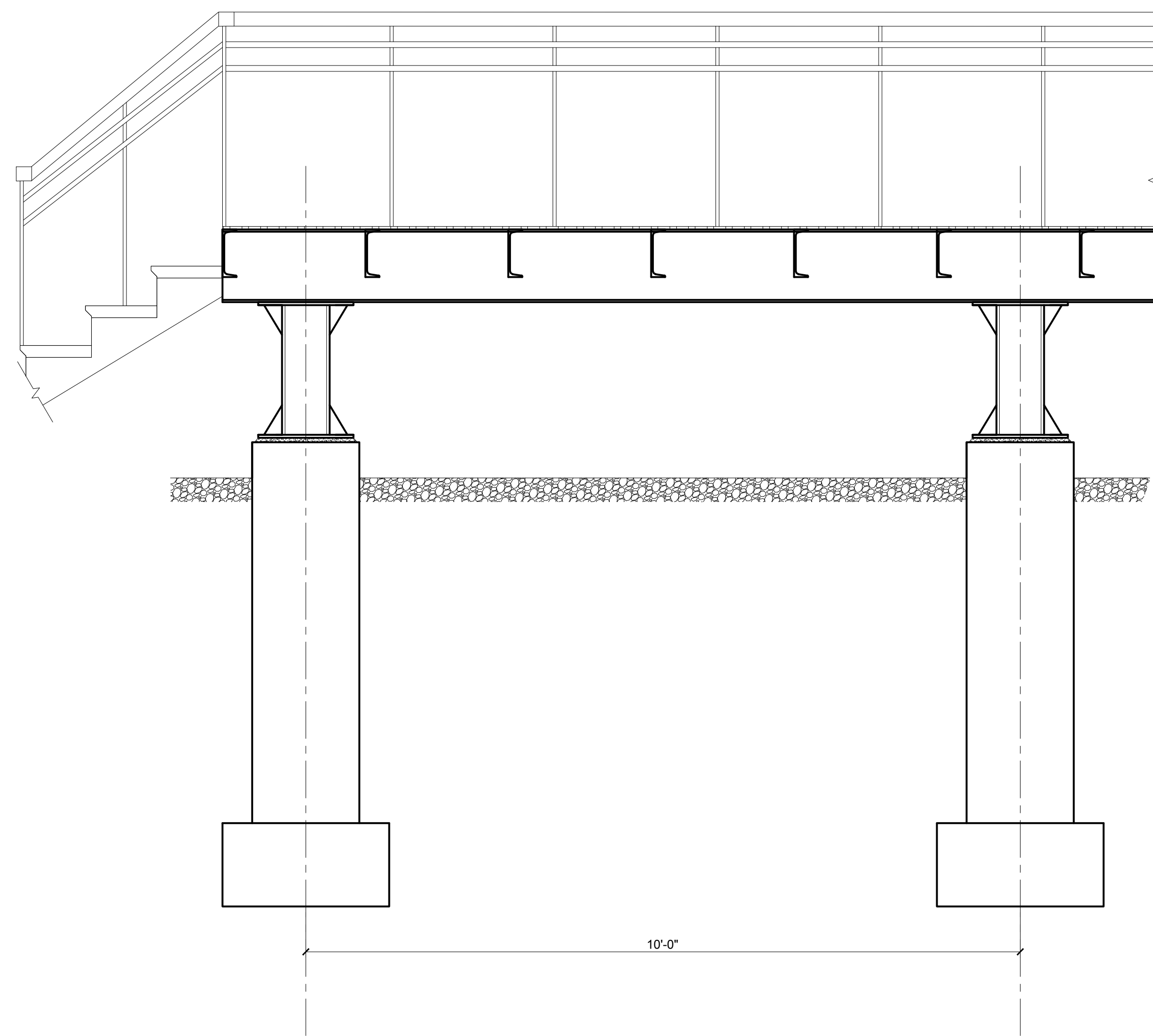
CHECKED BY:
 GH

JOB NO.
 17-007

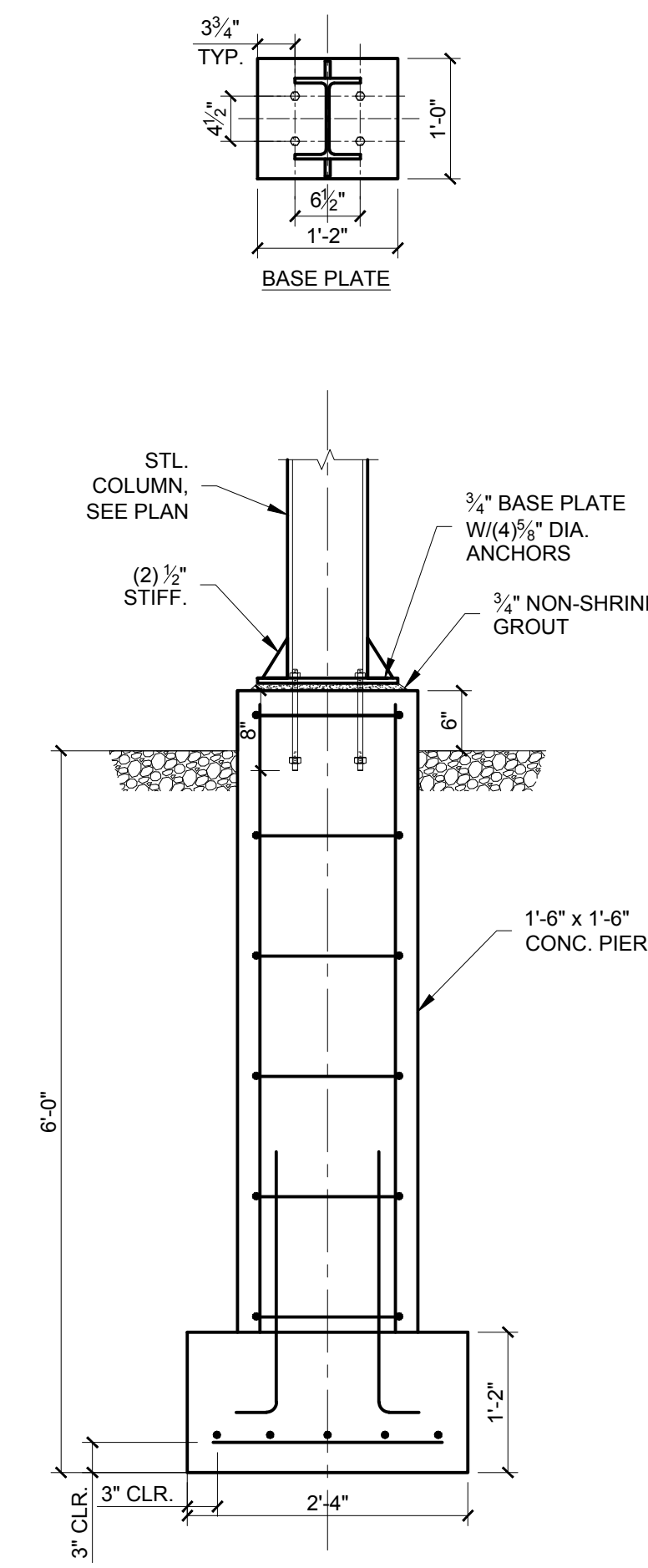
DWG. NO.
 A-5



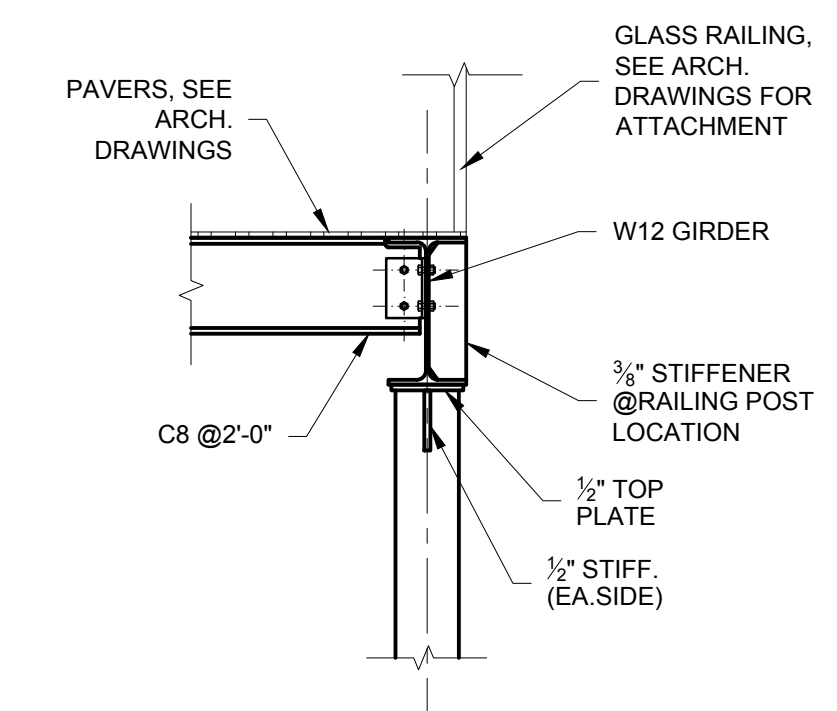
TD WALKWAY TYPICAL SECTION
3/4" = 1'-0"



TD WALKWAY TYPICAL ELEVATION
3/4" = 1'-0"



1 PIER SECTION
3/4" = 1'-0"



2 DETAIL
3/4" = 1'-0"

Project Address :
647 N. BROADWAY,
UPPER NYACK, NY 10960

Date: Revision:

No.

1. 11/30/2022 WALKWAY DETAILS

For DOB use :

Date: Drawn By:

Scale: Checked By:

Project Title:
GUEST HOUSE

Project Number: A22.117

Drawing Title:

**WALKWAY
SECTIONS AND
DETAILS**

Seal & signature

Drawing Number:

S-201

Sheet Number: 1 of 1