

SITE PLAN

1"=20' 0"

THIS SITE PLAN IS BASED ON A SURVEY OF PROPERTY PREPARED FOR JAMES G. BOUGHTON AND JULIE MOWATT BY PETER E. ROFFINO, PLS 3 ALBERT DRIVE, MONKEY NY

DATES

PERMIT	- 7.25.22
AT&B	- 8.9.22
PERMIT	- 10.15.22

ZONING DATA

DISTRICT - R10 - HUDSON RIVER OVERLAY ZONE
TAX LOT 60.18/1/22

BULK REGULATIONS RE: EXISTING GARAGE

REGULATION	REQUIREMENT	EXISTING	PROPOSED
LOT AREA	10,000 A	14,471 A	14,471 A
LOT WIDTH	90'	177.47' +-	177.47' +-
FRONTAGE	90'	45.83'	45.83'
FRONT YARD	35'	0.61'	0.61'
SIDE YARD	25'	102'	102'
TOTAL SIDE YD	50'	158.5'	158.5'
REAR YARD	25'	64 GAR.	60' PORCH
ACCESS. H.GHT.	15'	21' GAR.	21' GARAGE*
BUILD COVER	20%	8.7%	8.7%
DEV. COVER	40%	15%	15%
F.A.R.	0.25	0.184	0.184
DIST. BTWN BUDS	10'	25'	25'
PARKING SETBACK	5'	0'	0'
PRINCIPAL H.GHT.	28'	28'	28'

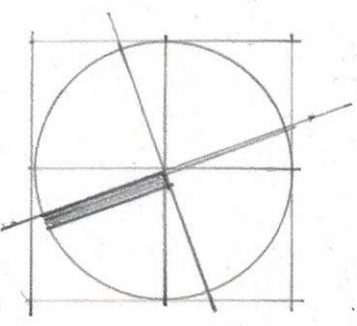
NOTE:

- ALL WORK SHALL BE IN COMPLETE CONFORMANCE WITH THE RULES & REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION INCLUDING THE NEW YORK STATE BUILDING CODE & THE VILLAGE OF UPPER NYACK.
- VARIANCES GRANTED FOR FRONT, REAR & SIDE YARD SETBACKS FOR PRINCIPAL STRUCTURE ZBA 12/29/92
- *EXISTING NON-CONFORMING BULK

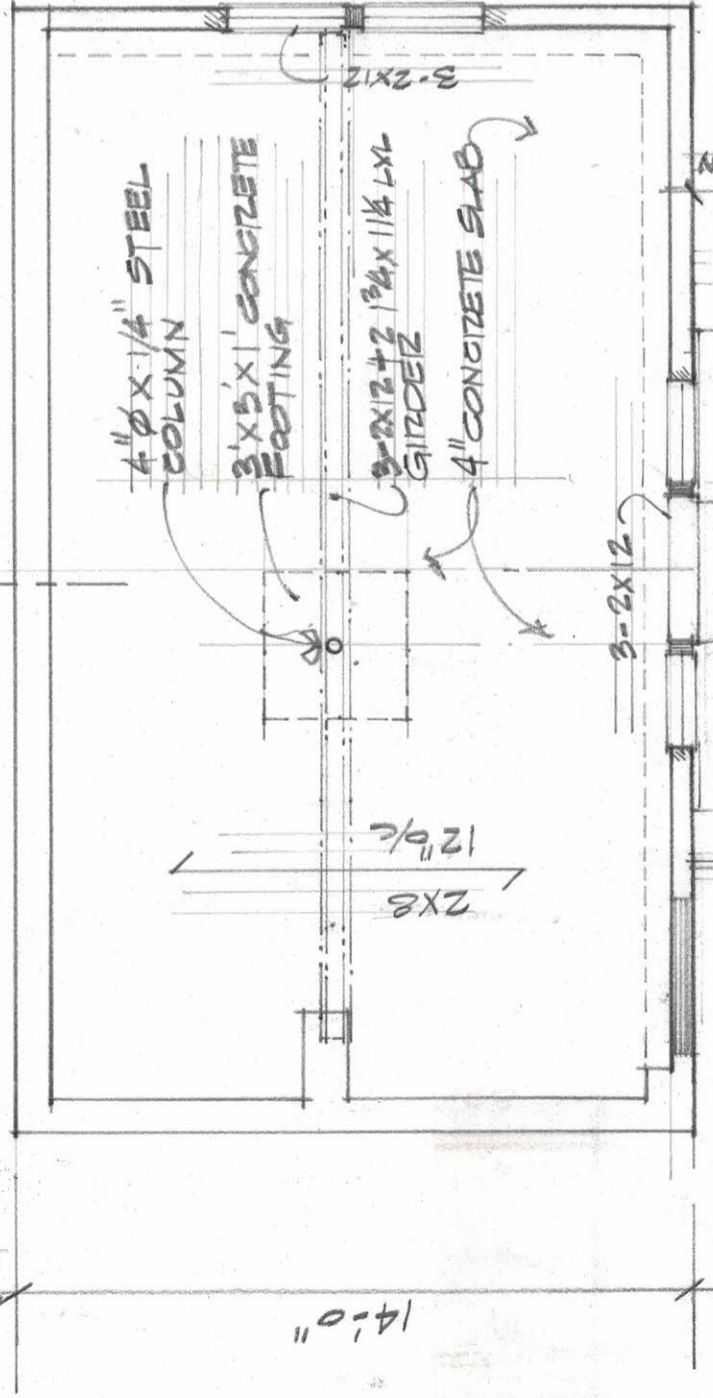
N/F
VILLAGE OF
UPPER NYACK



ADDITION & ALTERATION TO AN EXISTING 2 STORY GARAGE FOR BOUGHTON/MOWATT
19 VAN HOUTEN ST. / UPPER NYACK, NY.
MICHAEL ESMAY/ARCHITECT
17 VAN HOUTEN ST. / UPPER NYACK N.Y.
245 358-0933



23'-6"



4" Ø X 1/4" STEEL COLUMN

3' X 5' CONCRETE FOOTING

3-2X12 GIRDER

4" CONCRETE SLAB

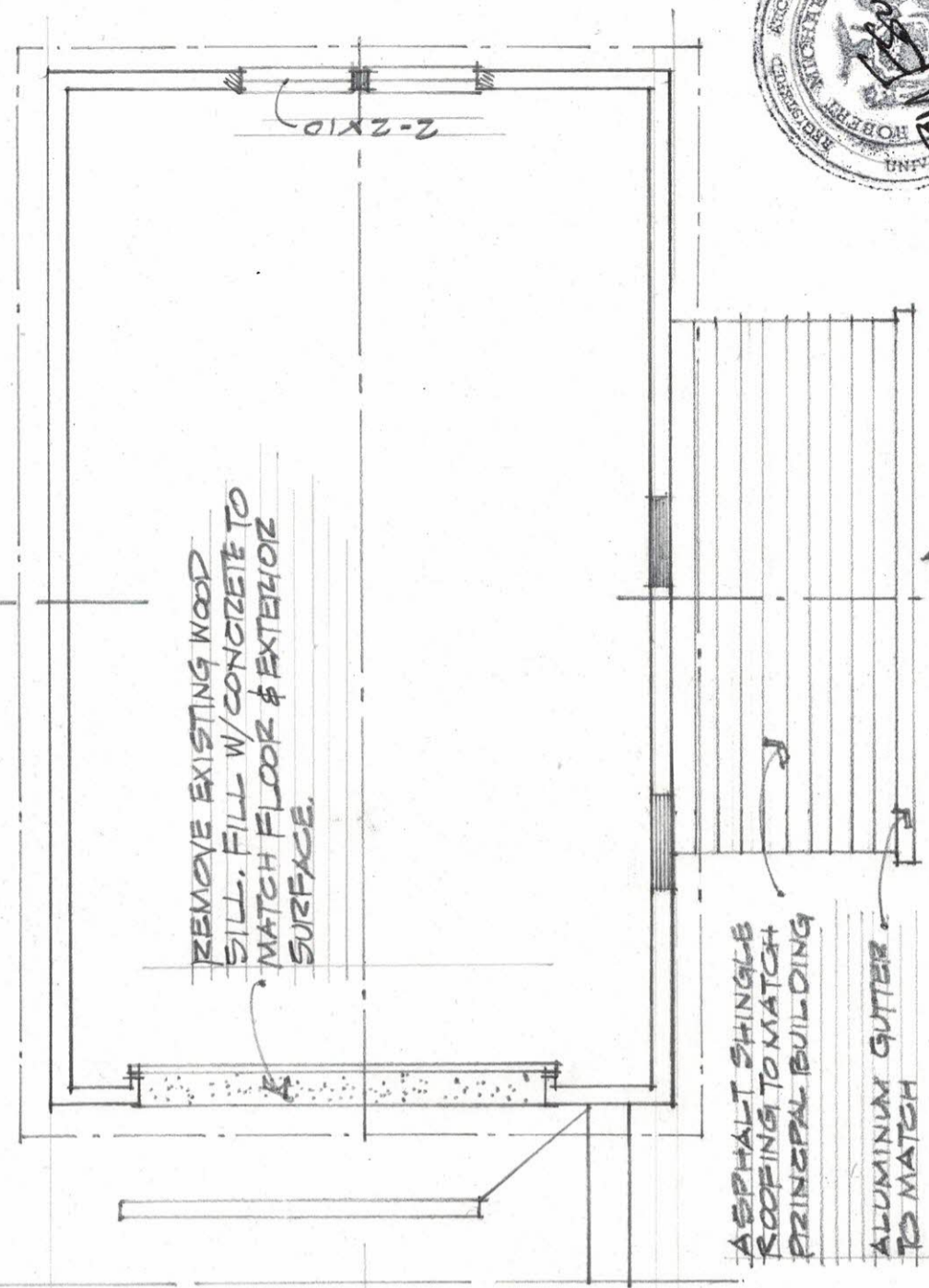
4'-0" ADDITION



LOWER LEVEL

FLOOR PLANS

SCALE 1/4" = 1'-0"



REMOVE EXISTING WOOD SILL. FILL W/ CONCRETE TO MATCH FLOOR & EXTERIOR SURFACE.

ASPHALT SHINGLE ROOFING TO MATCH PRINCIPAL BUILDING

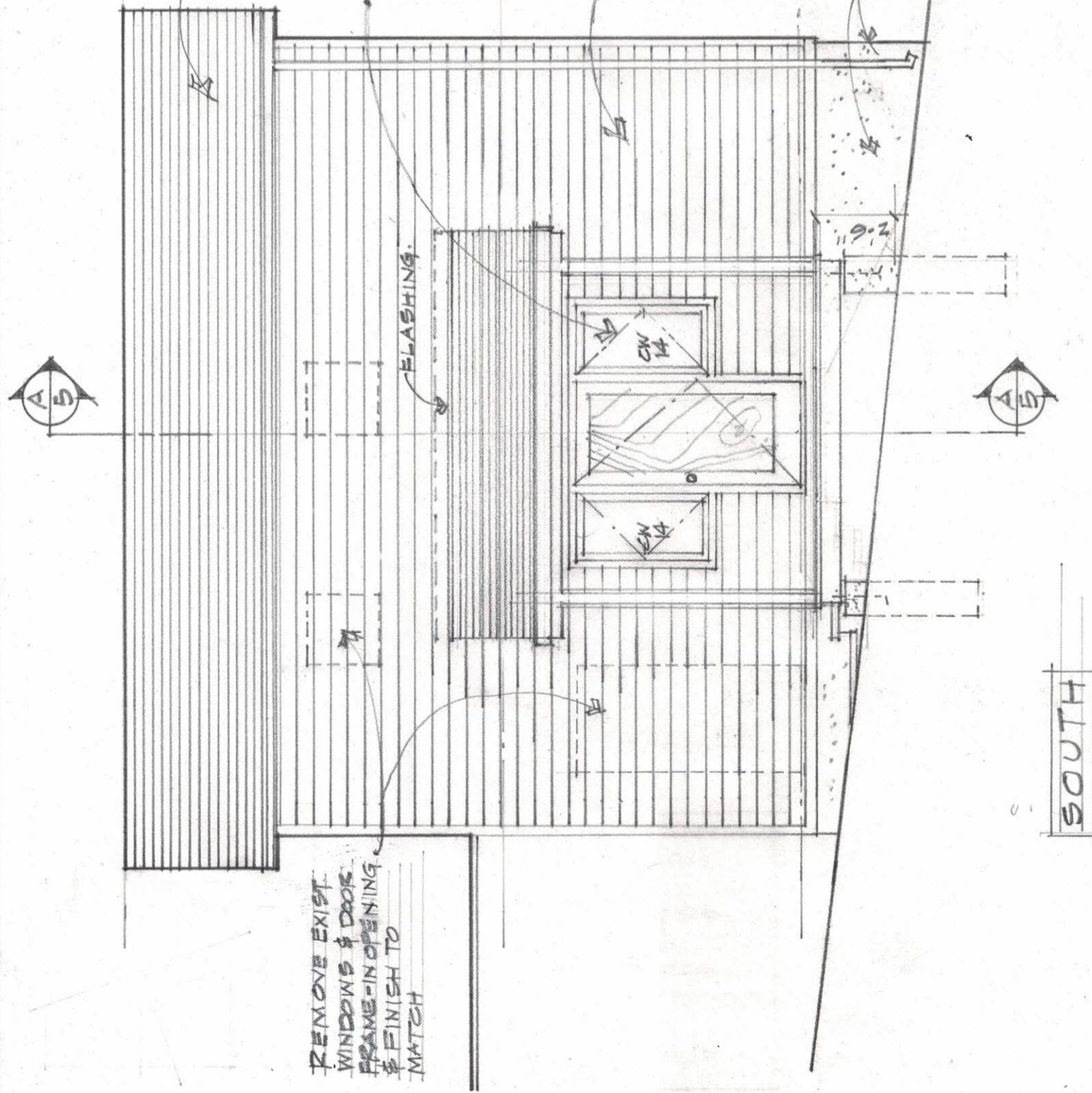
ALUMINUM GUTTER TO MATCH

UPPER LEVEL

DATES	PERMIT
7.25.22	ARB
8.9.22	PERMIT
10.15.22	



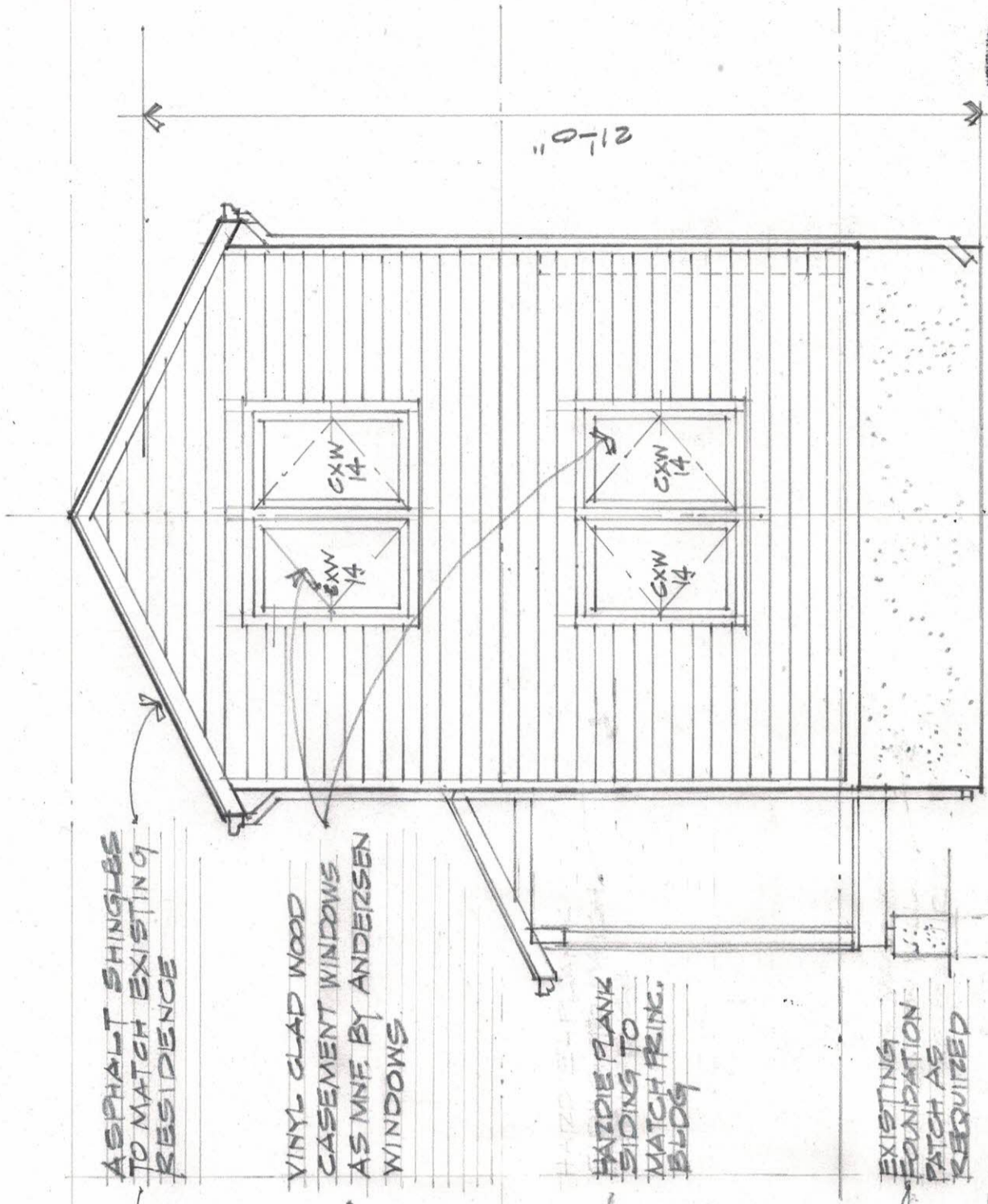
ADDITION & ALTERATION TO AN EXISTING 2 STORY GARAGE FOR BODGHTON / MOWATT 19 VAN HOUTEN ST. / UPPER NYACK, NY
 MICHAEL ESMAY / ARCHITECT
 17 VAN HOUTEN ST. / UPPER NYACK NY
 845 358-0933
 DWG No. 2



SOUTH

ELEVATIONS
SCALE 1/4" = 1'-0"

DATES	
PERMIT	7.25.22
ARB	8.9.22
PERMIT	10.15.22



EAST



ADDITION & ALTERATION TO AN
EXISTING 2 STORY GARAGE FOR
BOUGHTON / MOWATT
19 VAN HOUTEN ST. / UPPER NYACK NY
MICHAEL ESMAY / ARCHITECT
19 VAN HOUTEN ST. / UPPER NYACK N.Y.
845 358-0938
DWG. NO. 3



REMOVE EXISTING ROOFING PATCH OR REPLACE EXISTING SHEATHING AND REPAIR EXISTING ROOF FRAMING AS REQUIRED. INSTALL NEW ASPHALT SHINGLES TO MATCH THOSE ON THE RESIDENCE OVER SYNTHETIC UNDERLAYMENT

REMOVE ALL EXISTING BRICK WALL FROM WALLS & CEILING. EXPOSE EXIST. FRAMING

REMOVE EXISTING WOOD SIDING FROM EXTERIOR WALLS. PATCH & REPAIR EXIST. FRAMING AS REQUIRED. FRAME NEW OPENINGS TO RECEIVE NEW DOOR & WINDOWS. COVER W/ HARDIE-PLANK LAP SIDING TO MATCH RESIDENCE ON TYPEK UNDERLAYMENT 1/2" CDX PLYWOOD SHEATHING.

ASPHALT SHINGLES TO MATCH RESIDENCE ON SYNTHETIC UNDERLAYMENT ON 1/2" CDX PLYWOOD SHEATHING ON 2X6 16" o/c W/ 2X4 TIES

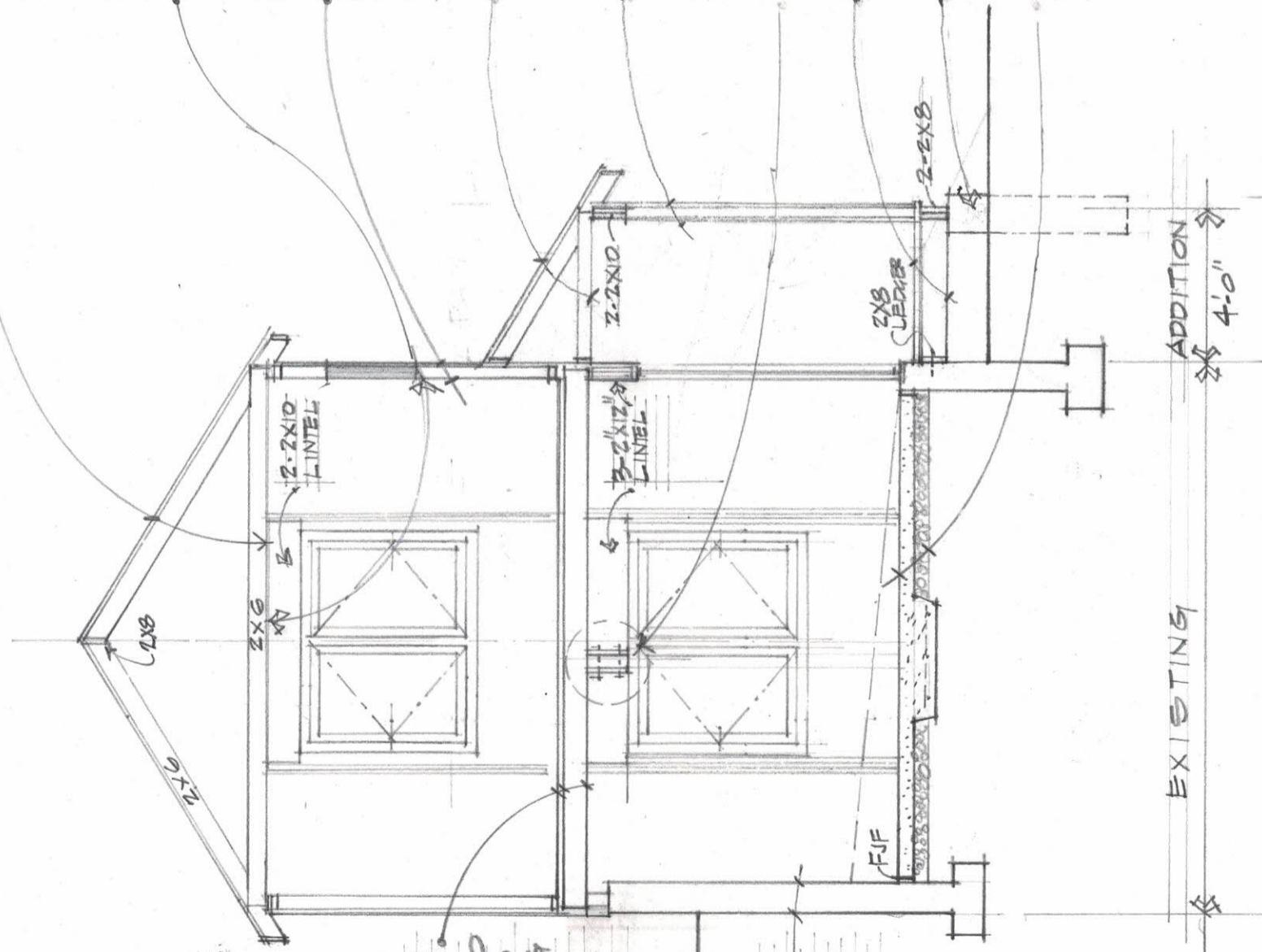
4" X 4" PRESSURIZED TREATED WOOD COLUMN W/ 4-2X4 FT. COVER

SANDWICH EXISTING 2X12 GIRDER W/ 2 13/4" X 1 1/4" GANG LAM LVL. FASTEN W/ 1/2" Ø GALV. THRU BOLTS W/ A STAGGERED PATTERN 16" o/c. REST GIRDER ON SIMPSON-STITONG TIE HANGER # HUC814

1" X 6" P.T. DECKING ON 2X8 P.T. JOISTS 16" o/c W/ 2X8 LEDGER. BOLT TO EXIST. WALL 16" o/c.

14" Ø CONCRETE PIER / FOOTING RESTING A MINIMUM OF 3'-6" BELOW FINISH GRADE W/ ABA 412 COL. BASE

4" CONCRETE (3000 PSI) SLAB W/ 6' X 6" #10 X #10 W/M REINFORCING ON VAPOR BARRIER ON 4" CRUSHED STONE ON UNDISTURBED SOL.



INSPECT EXIST. WOOD FLOORING. PATCH AS REQUIRED. ADD 2X8 JOISTS TO HAVE A SPACING OF 1'-0" o/c.

EXISTING CONC. BLOCK WALL. PATCH AS REQUIRED

EXISTING

ADDITION 4'-0"

SECTION A-A
1/4" = 1'-0"

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(845) 358-0933
DWG NO 4