

DRAWINGS PREPARED FOR

PROJECT GOOSE SITE PLAN

VILLAGE OF UPPER NYACK

ROCKLAND COUNTY, NEW YORK

OWNER:

ADAM BUDGOR & SORAYA SCROGGINS
 11 TOMPKINS COURT
 UPPER NYACK NY 10960

APPLICANT:

ADAM BUDGOR & SORAYA SCROGGINS
 11 TOMPKINS COURT
 UPPER NYACK NY 10960

SITE ENGINEER:

BROOKER ENGINEERING P.L.L.C.
 74 LAFAYETTE AVENUE, SUITE 501
 SUFFERN, NEW YORK 10901
 (845) 357-4411

LAND SURVEYOR:

JAY A. GREENWELL, PLS, LLC
 34 WAYNE AVE, 2ND. FLOOR
 SUFFERN, NY 10901
 (845) 357-08301

ARCHITECT:

BARNES COY ARCHITECTS
 1936 MONTAUK HIGHWAY
 PO BOX 763
 BRIDGEHAMPTON, NY 11932
 (631) 537-3555

ATTORNEY:

DONALD BRENNER, P.E., LL.B.
 4 INDEPENDENCE AVENUE
 TAPPAN, NY 10983
 PHONE: (845) 359-2210

LANDSCAPE ARCHITECT:

LAGUARDIA DESIGN LANDSCAPE ARCHITECT
 38 SCUTTLE HOLE ROAD
 WATER MILL, NY 11976
 (631)-726-1478



LOCATION MAP

SCALE 1" = 1000'

NOTES:

1. THIS IS A SITE PLAN OF LOT 12.7, BLOCK 1, SECTION 60.14 OF VILLAGE OF UPPER NYACK TAX MAPS.
2. PROPERTY ADDRESS: 11 TOMPKINS COURT UPPER NYACK NY 10960
3. AREA OF TRACT: 97,630 SF
4. ZONE: R-30
5. RECORD OWNER: ADAM BUDGOR & SORAYA SCROGGINS
6. APPLICANT: ADAM BUDGOR & SORAYA SCROGGINS
7. FIRE DISTRICT: VAL COTTAGE FD012
8. SCHOOL DISTRICT: NYACK UFCD 392404
9. WATER DISTRICT: CONSOL. WDO11
10. WATER SUPPLY: VEOLIA WATER COMPANY
11. SEWER DISTRICT: VILLAGE OF UPPER NYACK MUNICIPAL SYSTEM
12. DATUM: NAVD 88
13. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO BUILDING SHALL BE IN CONDUIT OF NOT LESS THAN 2 INCHES DIAMETER.
14. MINIMUM SIGHT DISTANCE FROM NEW DRIVEWAY 200'+ TO THE NORTH MEETS AASHTO STANDARDS.

DRAWING LIST:

SITE PLAN DRAWINGS (BROOKER ENGINEERING, PLLC)

	ORIGINAL DATE	LAST REVISED DATE
SI-1 TITLE SHEET	05/03/2022	07/06/2022
SI-2 SITE PLAN	05/03/2022	07/06/2022
SI-3 EXISTING CONDITIONS AND DEMOLITION PLAN	05/03/2022	07/06/2022
SI-4 GRADING AND UTILITY PLAN	05/03/2022	07/06/2022
SI-5 SOIL EROSION & SEDIMENT CONTROL PLAN	05/03/2022	07/06/2022
SI-6 CONSTRUCTION DETAILS	05/03/2022	07/06/2022

SURVEY DRAWINGS (JAY A. GREENWELL, PLS, LLC)

	ORIGINAL DATE	LAST REVISED DATE
EXISTING CONDITIONS SURVEY	09/28/2021	05/10/2022
SLOPE CATEGORY MAP	04/18/2021	05/10/2022

LANDSCAPE DRAWINGS (LAGUARDIA DESIGN LANDSCAPE ARCHITECT)

	ORIGINAL DATE	LAST REVISED DATE
L2.1 TREE REMOVALS PLAN	04/29/2022	05/10/2022
L5.1 PLANTING PLAN	04/29/2022	05/10/2022
L6.1 ELECTRICAL PLAN	04/29/2022	05/10/2022

REV	DESCRIPTION	BY	DATE
3	PER PLANNING BOARD COMMENTS	JO	07/06/2022
2	PER 06/23/22 PB COMMENTS	AP	06/24/2022
1	AS PER VILLAGE COMMENTS	JO	05/10/2022

DISCLAIMER:
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 74 Lafayette Avenue, Suite 501 Suffern, NY 10901 (845) 357-4411
 22 Paris Avenue, Suite 105 Rockleigh, NJ 07647 (201) 684-1221

PROJECT: **PROJECT GOOSE SITE PLAN**
 VILLAGE OF UPPER NYACK
 ROCKLAND COUNTY, NEW YORK

TITLE: **TITLE SHEET**

APPROVED FOR FILING

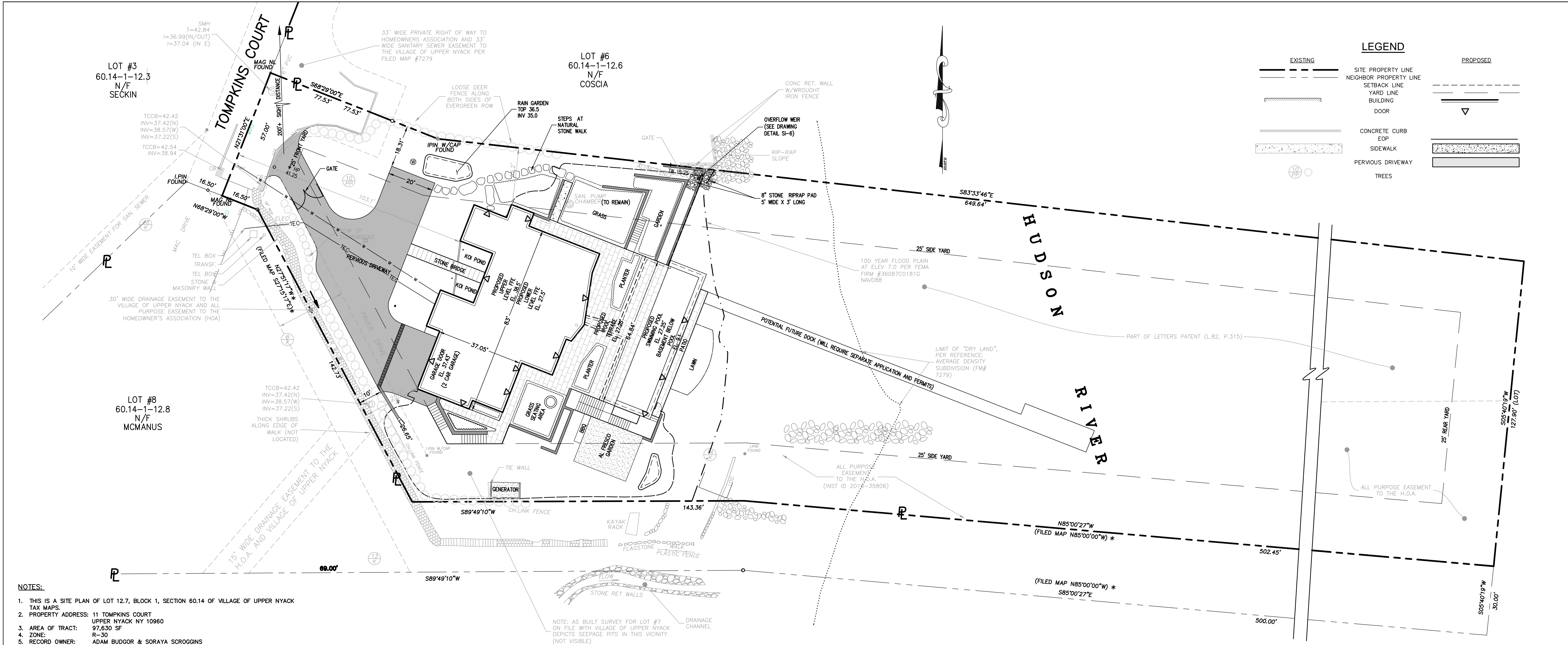
OWNER/APPLICANT ADAM BUDGOR & SORAYA SCROGGINS DATE _____

APPROVED BY RESOLUTION OF THE VILLAGE OF UPPER NYACK PLANNING BOARD ON _____

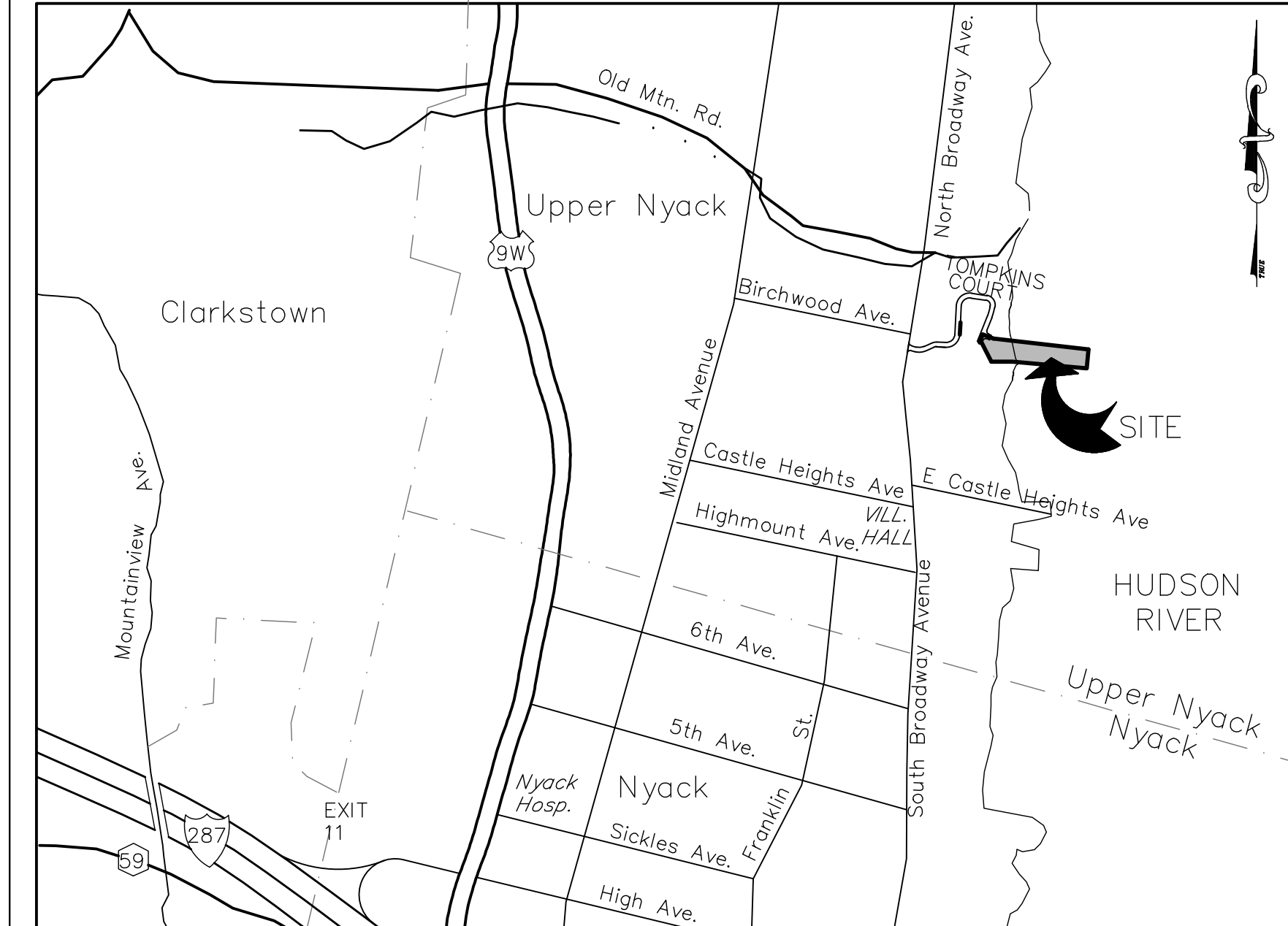
CHAIRMAN _____ DATE _____

PROJECT NO: 21240 DRAWN: JO CHECKED: KD
 SCALE: 1"=20'
 GRAPHIC SCALE: 20' 40'
 DATE: 05/03/2022 DRAWING NO: SI-1

KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214



- NOTES:**
- THIS IS A SITE PLAN OF LOT 12.7, BLOCK 1, SECTION 60.14 OF VILLAGE OF UPPER NYACK TAX MAPS.
 - PROPERTY ADDRESS: 11 TOMPKINS COURT
UPPER NYACK NY 10960
 - AREA OF TRACT: 97,630 SF
 - ZONE: R-30
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 - SCHOOL DISTRICT: NYACK UFCS 392404
 - WATER DISTRICT: CONSOL. WD011
 - WATER SUPPLY: VEOLIA WATER COMPANY
 - SEWER DISTRICT: VILLAGE OF UPPER NYACK MUNICIPAL SYSTEM
 - DATUM: NAVD 88
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 - MINIMUM SIGHT DISTANCE FROM NEW DRIVEWAY 200'+ TO THE NORTH MEETS AASHTO STANDARDS.



LOCATION MAP
SCALE 1" = 1000'

* NET LOT AREA DETERMINED BY AVERAGE DENSITY SUBDIVISION (FILED MAP #7279)

BULK TABLE ZONE R-30 (HUDSON RIVER OVERLAY DISTRICT)														
GROSS LOT AREA	MIN NET LOT AREA	MIN LOT WIDTH	MINIMUM FRONTAGE	MIN FRONT YARD	MIN SIDE YARD	MIN TOTAL SIDE YARDS	MIN REAR YARD	MAX BLDG HEIGHT	DEVELOPMENT COVERAGE (TOTAL)	BUILDING COVERAGE (PRIMARY BLDG)	F.A.R. (MAX.)	MIN DISTANCE BETWEEN BLDGS ON SAME LOT	MIN SETBACK FOR PARKING AREAS & ACCESS DRIVEWAYS FROM ANY LOT LINE	PROPOSED AREA OF DISTURBANCE
REQUIRED	N/A	25,000 SF PER MAP 7279	100 FT	0 FT PER MAP 7279	25 FT PER MAP 7279	25 FT PER MAP 7279	25 FT PER MAP 7279	35 FT PER MAP 7279	25% PER MAP 7279	12% PER MAP 7279	0.20	10 FT	5 FT	SLOPE 40% OR GREATER (NO DISTURBANCE ALLOWED) SLOPE 25-30% (NO MORE THAN 20% ALLOWED) SLOPE 15-24% (NO MORE THAN 35% ALLOWED)
EXISTING	N/A	36,108 SF ¹	140 FT	57 FT ± ²	103.1 FT	25.0 FT	50.2 FT	500 FT+	31.5 FT	25%	9.1%	N/A	8.58 FT	N/A
PROPOSED	N/A	36,108 SF ¹	140 FT	57' FT ± ²	103.1 FT	25.0 FT	50.2 FT	500 FT+	33.5 FT	36.2% ³	17.9% ⁴	0.22 ⁵	10.0 FT	SLOPE 40% OR GREATER = 2,125 SF (100% PROPOSED DISTURBANCE) ⁶ SLOPE 25-30% = 1,847 SF (100% PROPOSED DISTURBANCE) ⁶ SLOPE 15-24% = 1,238 SF (100% PROPOSED DISTURBANCE) ⁶

- ¹ TOTAL AREA BOUNDED BY RECORD DESCRIPTION = 97,630 SF
TOTAL AREA "DRY LAND" PER REFERENCE FILED MAP AND LOT SURVEYS ON FILE WITH THE VILLAGE OF UPPER NYACK BUILDING DEPARTMENT = 36,108 SF ±
- ² FRONTAGE ON A PRIVATE ROAD
- ³ DEVELOPMENT COVERAGE: 13,089 SF / 36,108 SF = 36.2%, INCLUDING 4,361 SF OF POROUS PAVEMENTS AND FEATURES. EXCLUDING POROUS COVERAGE, IMPERVIOUS SURFACE COVERAGE 8,728 SF / 36,108 SF = 24.2%
- ⁴ BUILDING COVERAGE: 6,454 SF / 36,108 SF = 17.9%, INCLUDING 2,438 SF (BASEMENT BENEATH THE POOL DECK) + 4,016 S.F. (MAIN HOUSE FOOTPRINT). SEE BUILDING COVERAGE DRAWING BY BARNES COY ARCHITECTS DATED 06/23/22 EXCLUDING BASEMENT BENEATH THE POOL DECK, BUILDING COVERAGE 4,016 SF / 36,108 SF = 11.1%
- ⁵ FAR: 8,108 SF / 36,108 SF = 0.22 = UPPER LEVEL: 3,099 SF, LOWER LEVEL: 3,527 SF, BASEMENT BENEATH THE POOL DECK: 1,482 S.F. (SEE FAR DRAWINGS BY BARNES COY ARCHITECTS DATED 06/23/2022) EXCLUDING BASEMENT WITH HEADROOM OF 7'-0" OR LESS. EXCLUDING BASEMENT BENEATH THE POOL DECK, FAR 6,626 / 36,108 SF = 0.18.
- ⁶ VARIANCE RECEIVED ON JULY 5, 2022 FROM VILLAGE OF UPPER NYACK ZBA.
- NOTE:** EXISTING FEATURES TO BE REMOVED NOT SHOWN ON THIS PLAN FOR CLARITY. SEE EXISTING CONDITIONS AND DEMOLITION PLAN (DWG # SI-3).

DRAWING LIST:

SITE PLAN DRAWINGS (BROOKER ENGINEERING, PLLC)

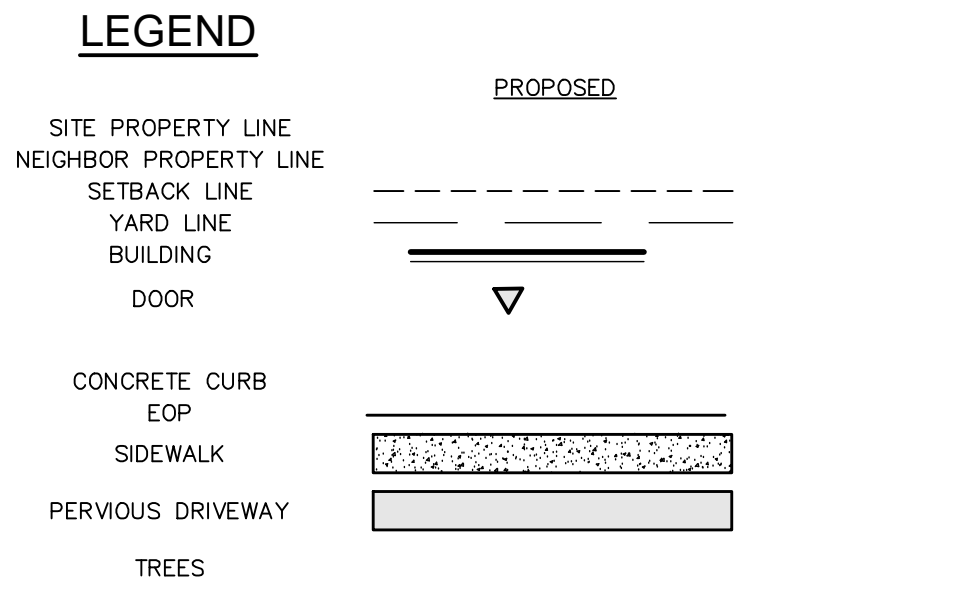
	ORIGINAL DATE	LAST REVISED DATE
SI-1	TITLE SHEET	05/03/2022
SI-2	SITE PLAN	07/06/2022
SI-3	EXISTING CONDITIONS AND DEMOLITION PLAN	05/03/2022
SI-4	GRADING AND UTILITY PLAN	05/03/2022
SI-5	SOIL EROSION & SEDIMENT CONTROL PLAN	05/03/2022
SI-6	CONSTRUCTION DETAILS	05/03/2022

APPROVED FOR FILING

OWNER/APPLICANT ADAM BUDGOR & SORAYA SCROGGINS DATE _____

APPROVED BY RESOLUTION OF THE VILLAGE OF UPPER NYACK PLANNING BOARD ON _____

CHAIRMAN _____ DATE _____



REV	DESCRIPTION	BY	DATE
3	PER PLANNING BOARD COMMENTS	JO	07/06/2022
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74 Lafayette Avenue, Suite 501 | 22 Paris Avenue, Suite 105
Suffern, NY 10901 | Rockledge, NJ 07647
(845) 357-4411 | (201) 684-1221

PROJECT: **PROJECT GOOSE SITE PLAN**
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

TITLE: **SITE PLAN**

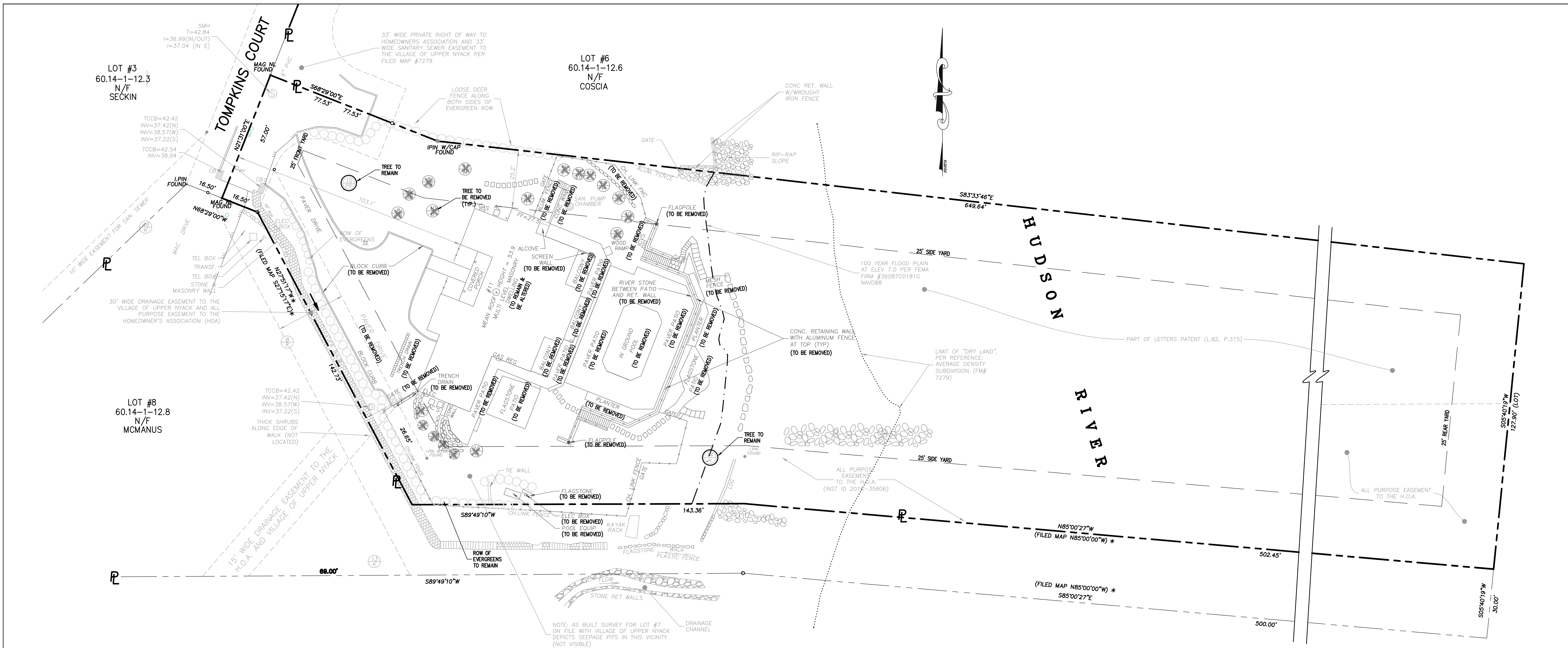
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SCALE: 1" = 20'

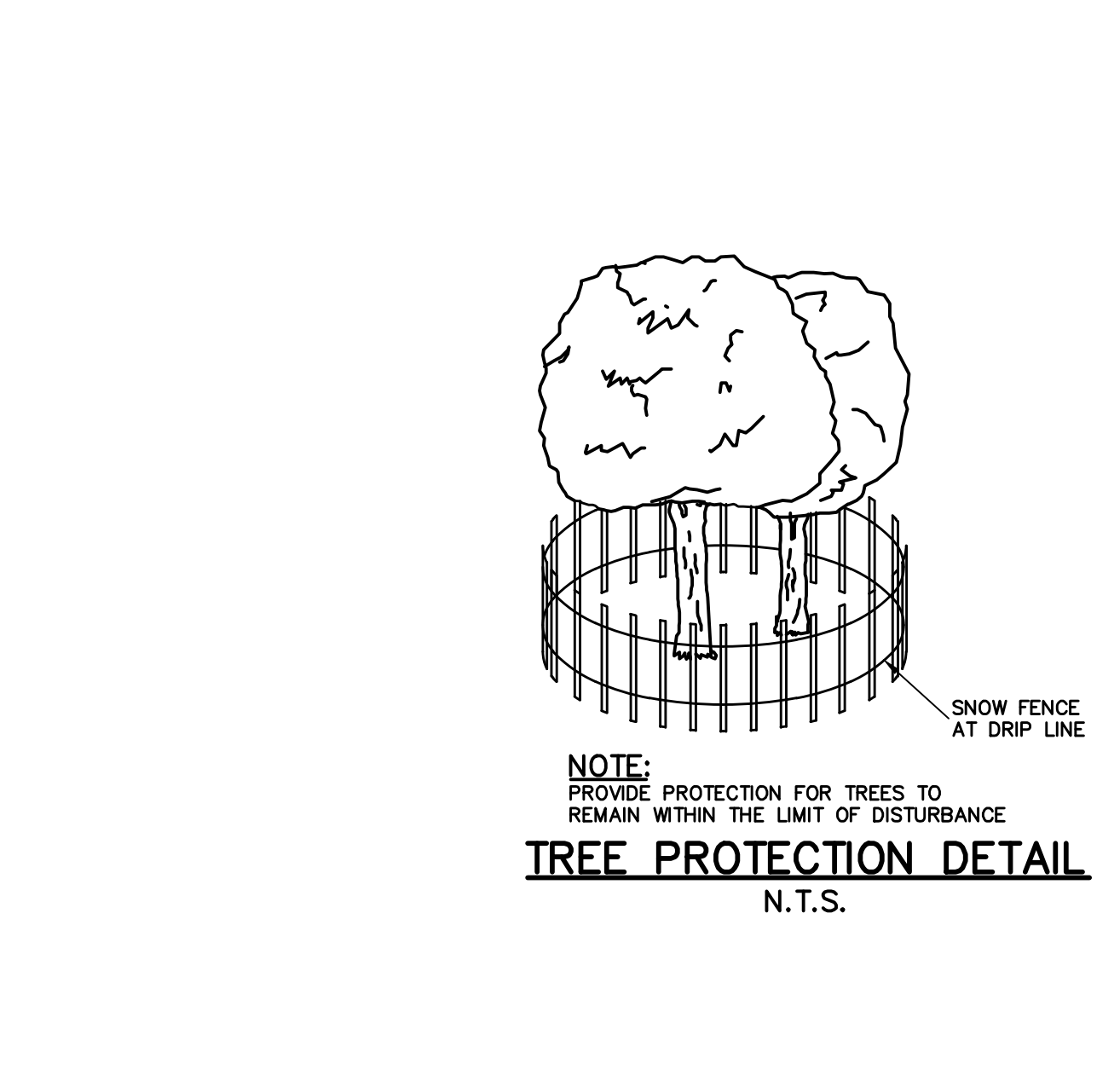
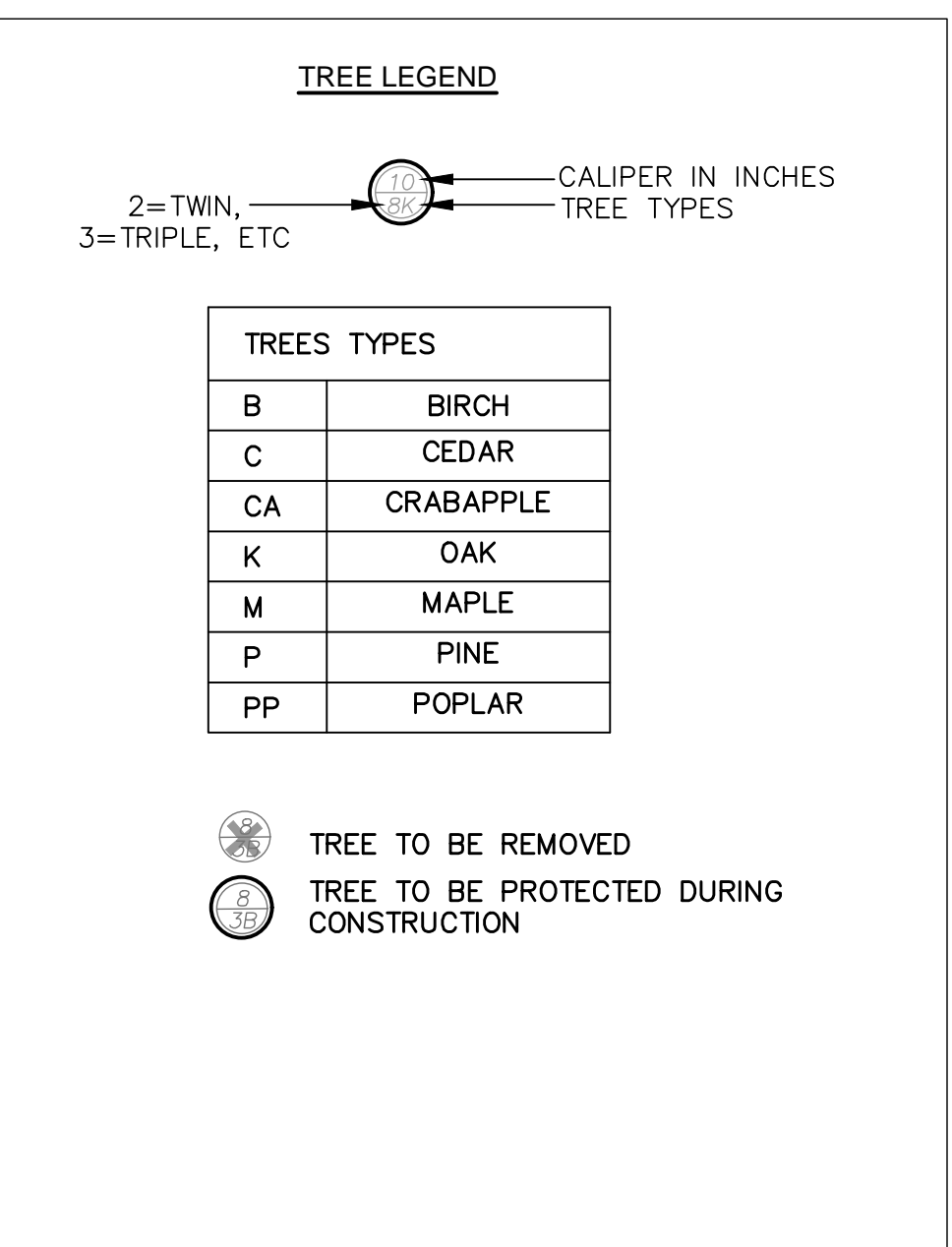
GRAPHIC SCALE: 20' 40'

DATE: 05/03/2022 | DRAWING NO: **SI-2**

KENNETH H. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



TREES TO REMAIN	QUANTITY
12/ 14' HT. ARBORVITAE	50
10' CAL. CEDAR	1
11' CAL. MAPLE	1
14' CAL. RED MAPLE	1
10' CAL. POPLAR	1
TREES TO BE REMOVED	QUANTITY
12/ 14' HT. ARBORVITAE	40
8' CAL. BIRCH	3
9' CAL. CEDAR	1
10' CAL. CEDAR	1
10' CAL. CRABAPPLE	1
8' CAL. CRYPTOMERIA	1
8' CAL. PINE	4
9' CAL. PINE	3
10' CAL. PINE	3



3	PER PLANNING BOARD COMMENTS	JO	07/06/2022
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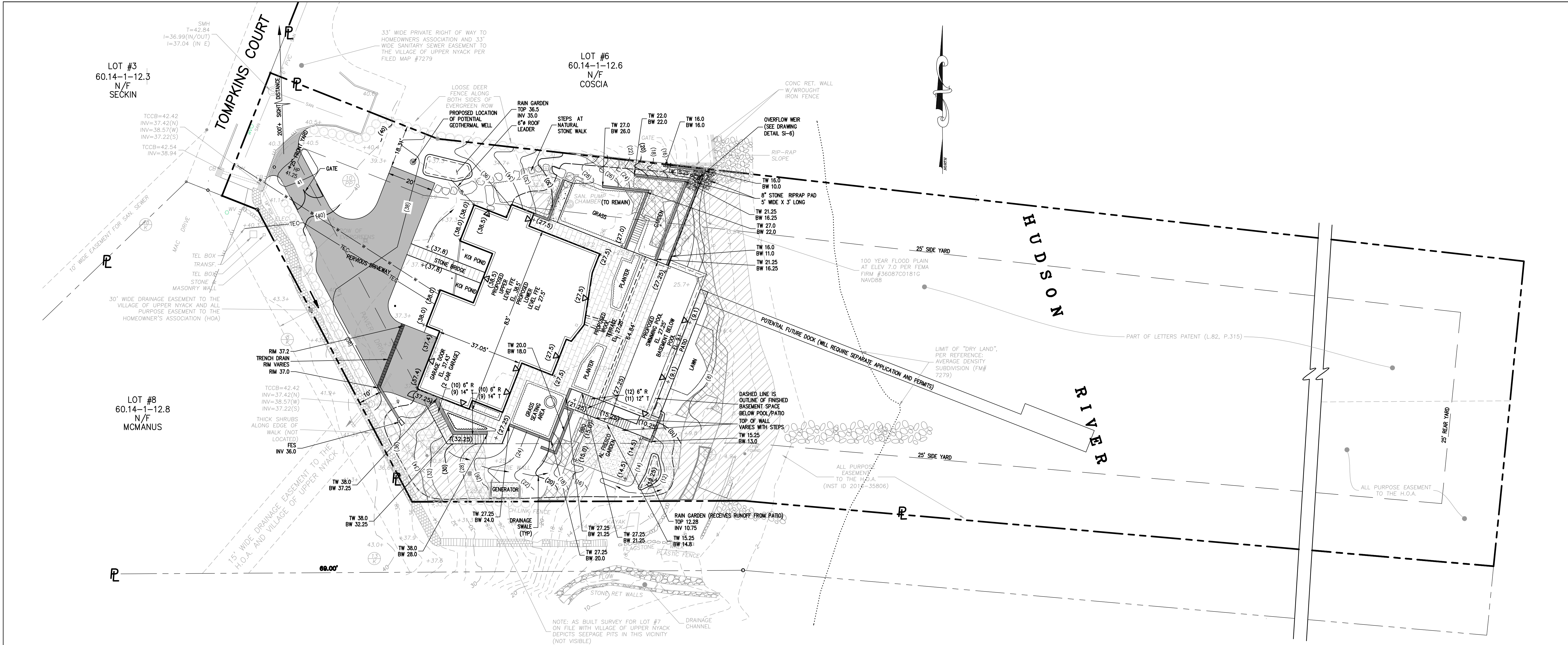
74 Lafayette Avenue, Suite 501 SUFFERN, NY 10901 (845) 357-4411
22 Paris Avenue, Suite 105 ROCKLEIGH, NJ 07647 (201) 684-1221

PROJECT: **PROJECT GOOSE**
SITE PLAN
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

TITLE: **EXISTING CONDITIONS AND DEMOLITION PLAN**

PROJECT NO: 21240 DRAWN: JO CHECKED: KD
SCALE: 1"=20'
GRAPHIC SCALE: 20' 40'
DATE: 05/03/2022 DRAWING NO: **Si-3**

KENNETH H. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



SLOPE CATEGORIES	TOTAL AREA	SLOPE DEDUCTION	LIMITATION OF DISTURBANCE PER SECT. 6.7.1	AMOUNT OF DISTURBANCE PROPOSED
SLOPE 40% OR GREATER	2125 SF	N/A *	(NO DISTURBANCE PERMITTED WITHOUT VARIANCE)	100%
SLOPE 25%-39%	1847 SF	N/A *	NO MORE THAN 20% OF THIS AREA MAY BE DISTURBED WITHOUT VARIANCE	100%
SLOPE 15%-24%	1238 SF	N/A *	NO MORE THAN 35% OF THIS AREA MAY BE DISTURBED WITHOUT VARIANCE	100%

* NET LOT AREA DETERMINED BY AVERAGE DENSITY SUBDIVISION (FILED MAP #7279)

LEGEND

EXISTING	PROPOSED
SITE PROPERTY LINE	NEIGHBOR PROPERTY LINE
SETBACK LINE	YARD LINE
BUILDING	DOOR
CONCRETE CURB	EOP
SIDEWALK	PERVIOUS DRIVEWAY
TREES	CONTOUR
SPOT GRADE	CATCH BASIN
OUTLET STRUCTURE	FLOOR DRAIN
DRAINAGE PIPE	DRAINAGE MANHOLE
SANITARY MANHOLE	CLEAN OUT
SANITARY PIPE	SANITARY HOUSE CONNECTION
WATER SERVICE	GAS SERVICE
TELEPHONE, ELECTRIC AND CABLE SERVICE	WATER VALVE
WATER MAIN	GAS VALVE
GAS MAIN	OVERHEAD UTILITIES

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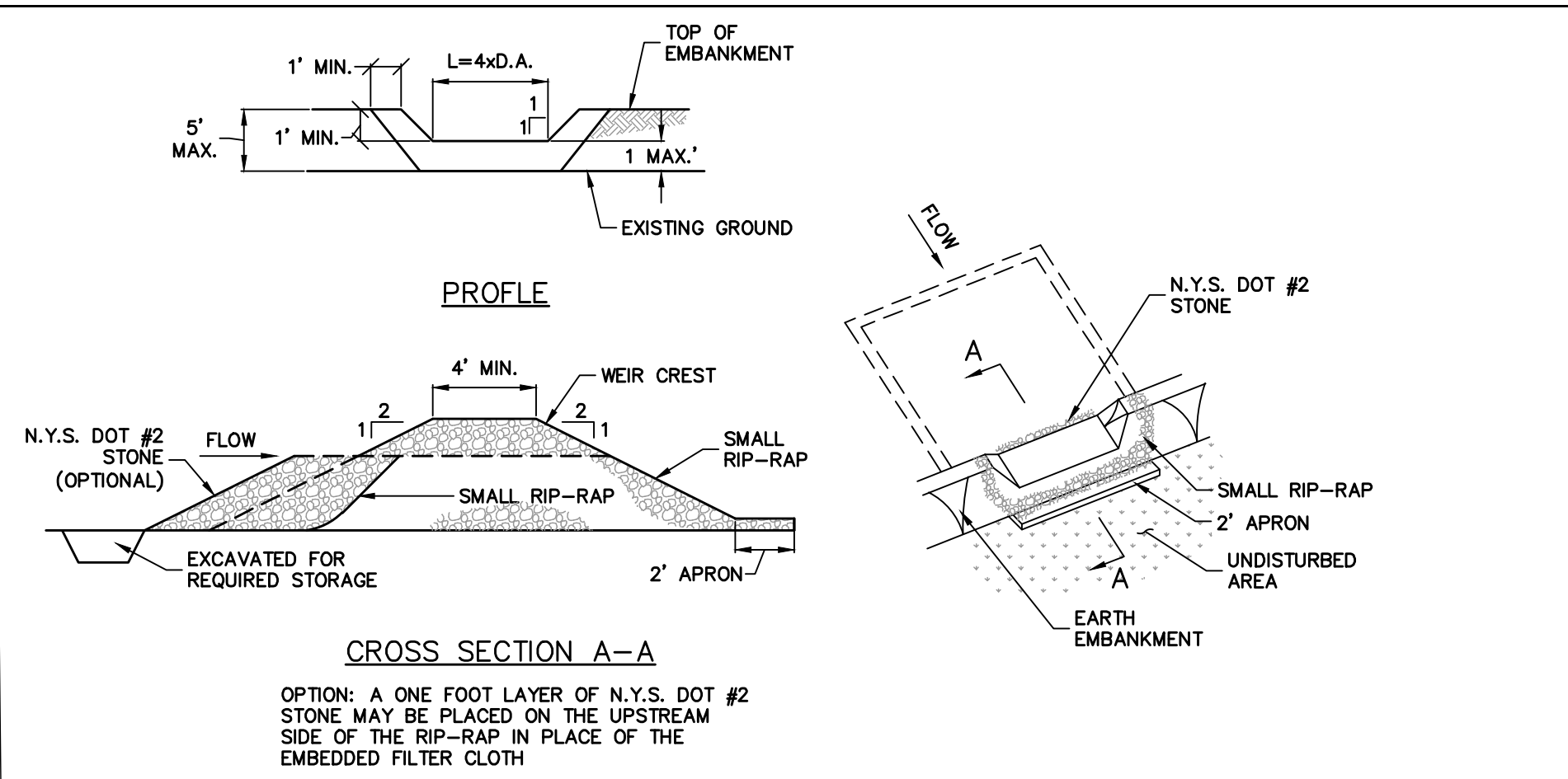
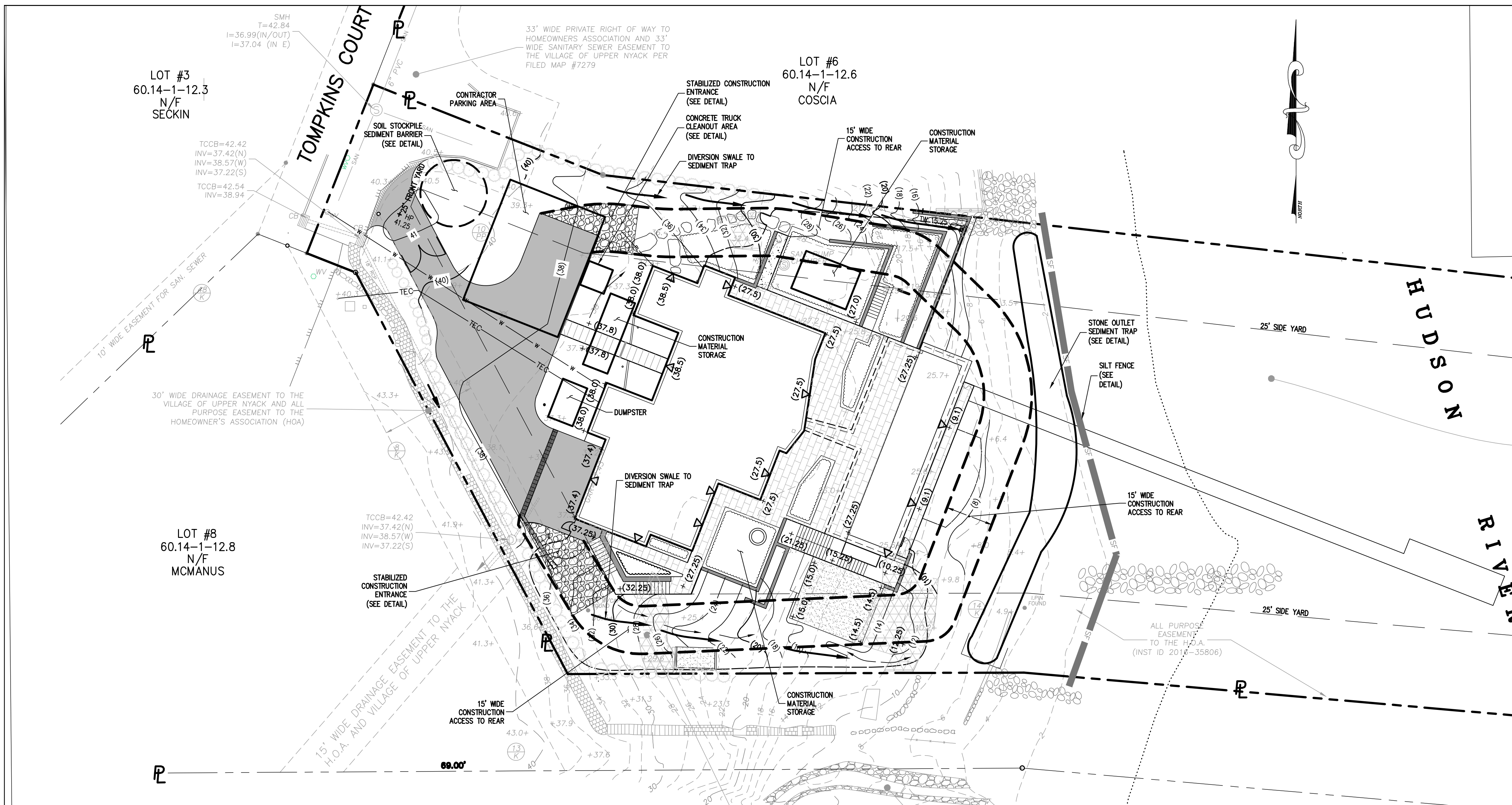
PROJECT: **PROJECT GOOSE SITE PLAN**
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

TITLE: **GRADING AND DRAINAGE PLAN**

KENNETH H. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214

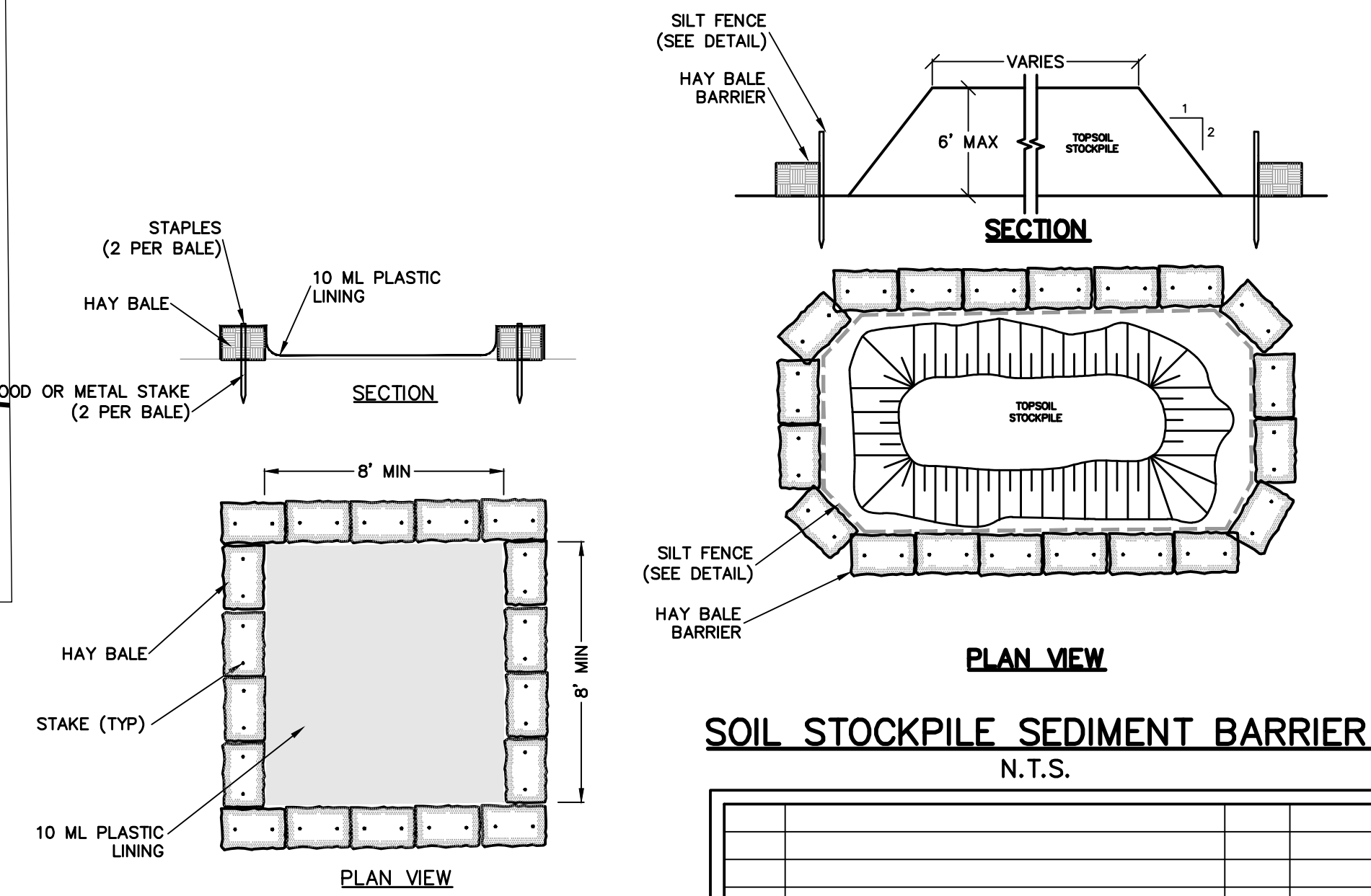
PROJECT NO: 21240
SCALE: 1"=20'
GRAPHIC SCALE: 20' 40'

DATE: 05/03/2022
DRAWING NO: Si-4

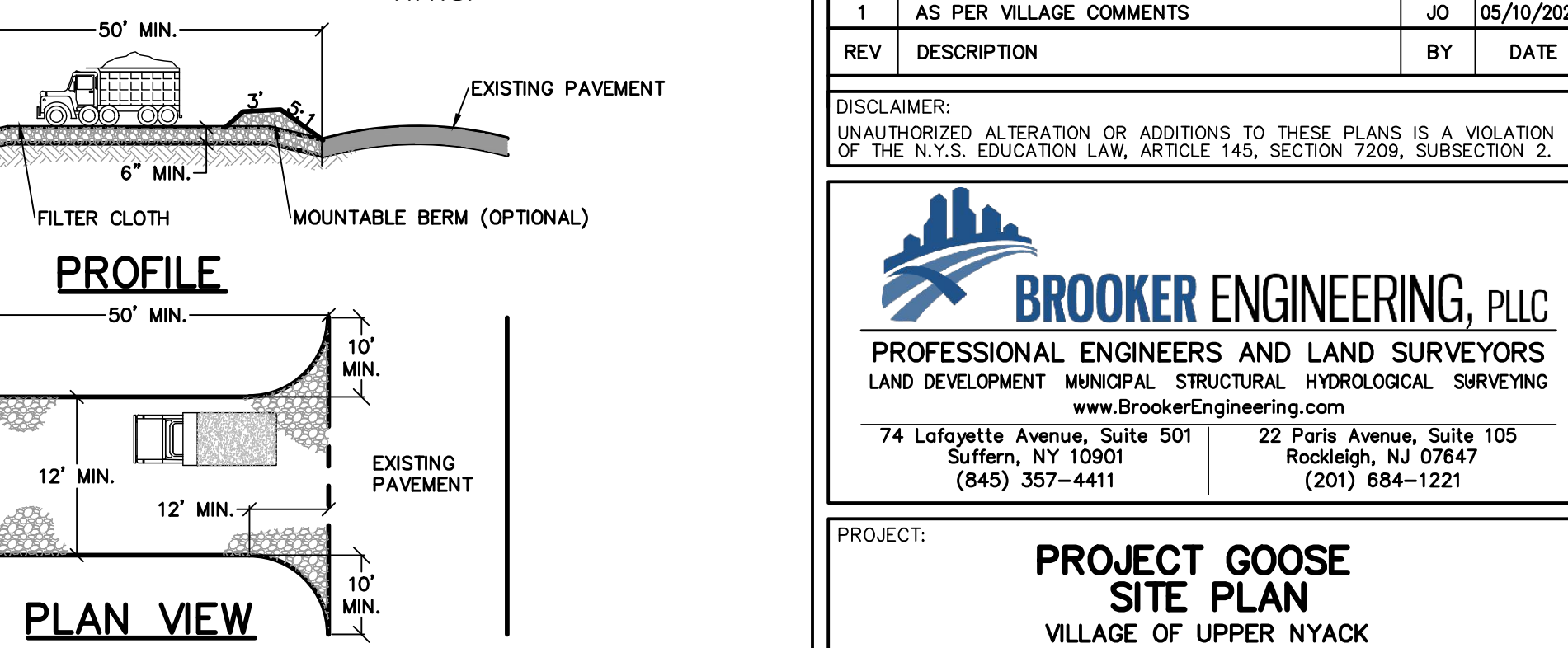


- CONSTRUCTION SPECIFICATIONS:**
1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE POOL AREA SHALL BE CLEARED.
 2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OF OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
 4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIP-RAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIP-RAP OR EMBEDDED FILTER CLOTH IN THE RIP-RAP.
 5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN OF THE TRAP, IT SHALL BE PLACED ON SITE AND STABILIZED.
 6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
 8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

STONE OUTLET SEDIMENT TRAP ST-II
N.T.S.



CONCRETE TRUCK CLEANOUT AREA
N.T.S.

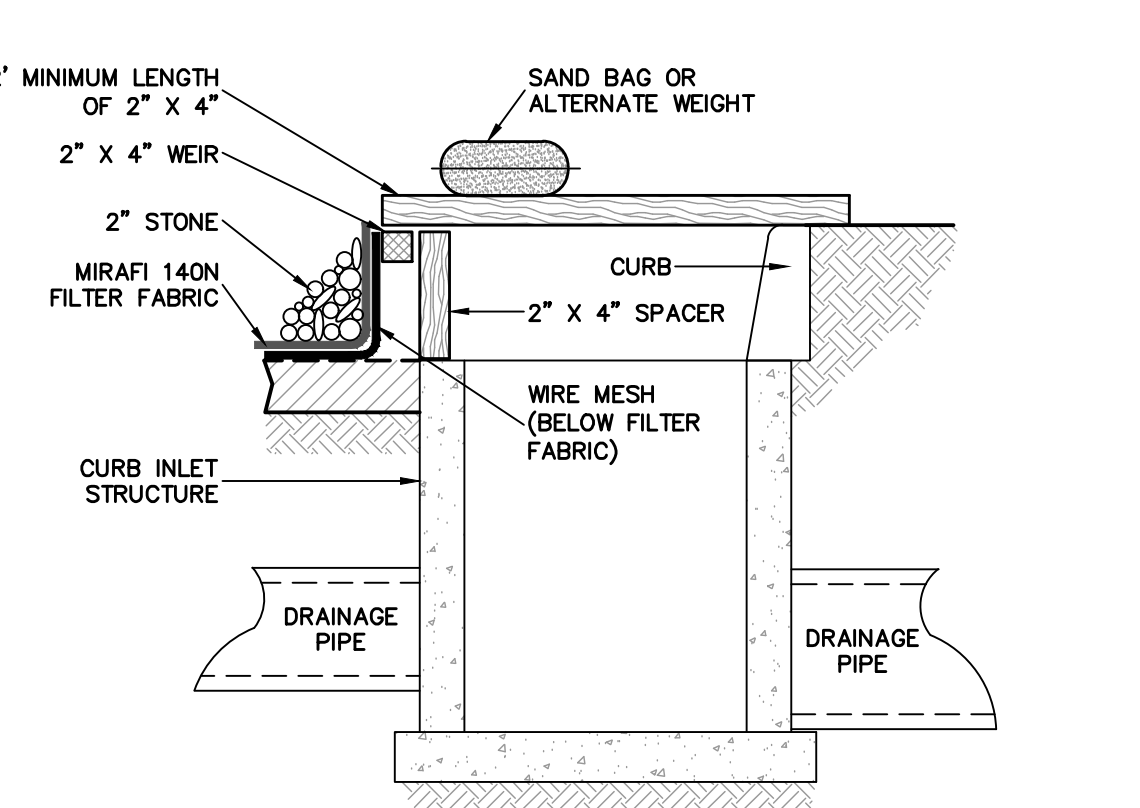


- NOTES:**
1. STONE SIZE - USE 1 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- STANDARD EROSION CONTROL NOTES:**
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
 2. THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
 4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
 5. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
 6. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
 8. TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
 9. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND/ OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
 11. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
 13. ALL AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:
- | | | |
|-----------------------|----|------|
| KENTUCKY BLUE GRASS - | 20 | 0.45 |
| CREeping RED FESCUE - | 20 | 0.45 |
| PERENNIAL RYE GRASS - | 5 | 0.10 |
14. ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
LIME: AMOUNT NEEDED TO OBTAIN A PH OF 5.5
FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL.
IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THEN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDDED WITH THE FOLLOWING:
- | | | |
|------------------------------------|----|------|
| CREeping RED FESCUE - | 10 | 0.45 |
| CROWN VETCH - | 15 | 0.35 |
| BIRDFOOT TREFOIL - | 8 | 0.20 |
| TALL FESCUE OR SMOOTH BROMEGRASS - | 15 | 0.35 |
| W/PERENNIAL RYE GRASS - | 5 | 0.10 |
15. ALL SLOPES 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
 16. SOO CAN BE USED INSTEAD OF SEED.
- CONSTRUCTION SEQUENCE:**
- a. CONSTRUCT STABILIZING CONSTRUCTION ENTRANCE.
 - b. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
 - c. CONSTRUCT DIVERSION SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
 - d. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
 - e. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
 - f. INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN LINES.
 - g. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
 - h. AFTER COMPLETION OF THE SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 5 AND 6 ABOVE.
 - i. REMOVE SEDIMENT BARRIERS AS PER NOTE 4 ABOVE.
 - j. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VABLE STABILIZED VEGETATIVE SPECS.
 17. ALL CONSTRUCTION TO MEET CURRENT MUNICIPALITY SPECS.
 18. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

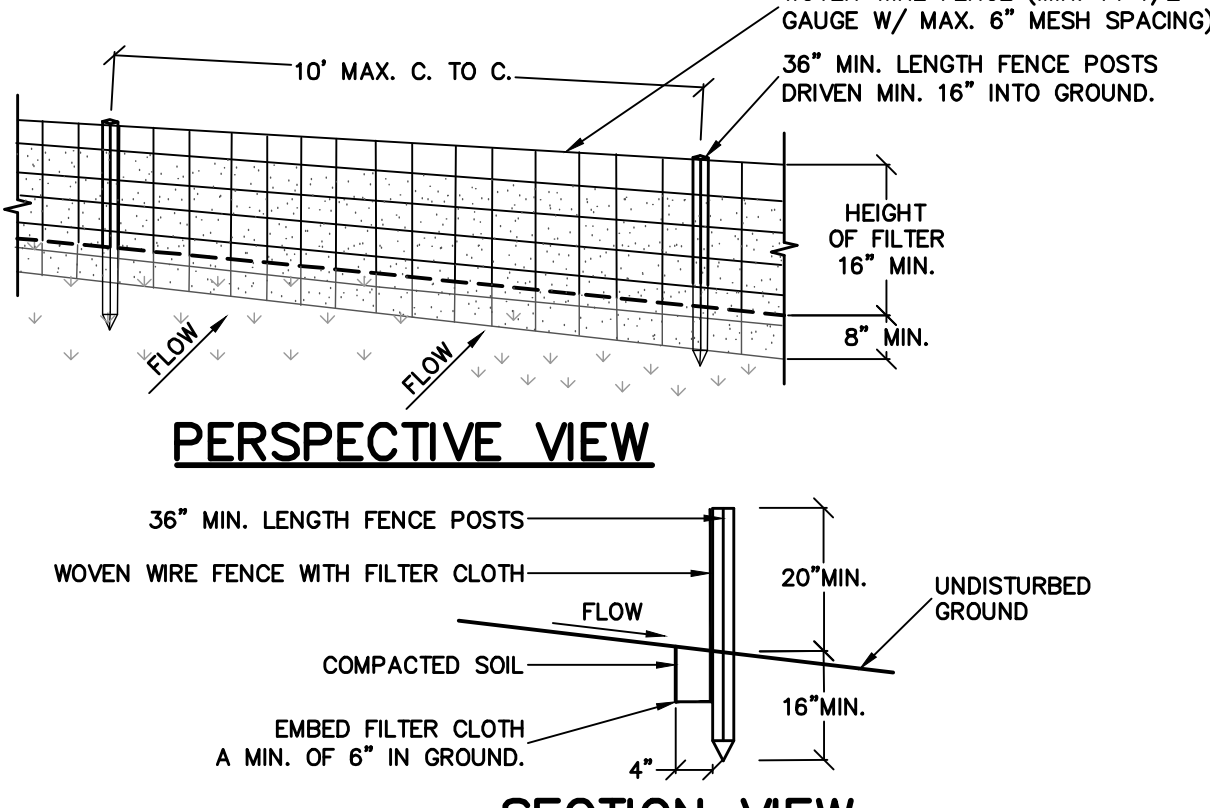
CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AT DOWNHILL LIMIT OF DISTURBANCE.
2. INSTALL STONE OUTLET SEDIMENT TRAP UPHILL OF THE SILT FENCE.
3. CLEAR VEGETATION ALONG BOTH SIDES TO ALLOW ACCESS TO REAR. STORE TOPSOIL ON SITE AT DESIGNATED LOCATION AT FRONT OF PROPERTY. INSTALL TREE PROTECTION AT EXISTING TREE IN FRONT YARD TO REMAIN.
4. INSTALL ANTI-TRACKING PADS ALONG THE EXISTING DRIVEWAY ENTRANCE TO THE NEW CONSTRUCTION PATHS.
5. INSTALL GRAVEL PADS FOR CONTRACTOR PARKING AS NOTED IN FRONT OF HOUSE.
6. PERFORM SITE DEMOLITION IN THE REAR OF THE PROPERTY.
7. CONSTRUCT FOUNDATION AND RETAINING WALLS FOR THE NEW BASEMENT/POOL AREA IN REAR OF HOUSE.
8. CONSTRUCT FOUNDATION AND WALLS FOR HOME EXPANSION TO THE EAST AND SOUTHEAST OF EXISTING STRUCTURE.
9. CONSTRUCT RETAINING WALLS FOR NEW SITE PLATEAU AREAS ON NORTH AND SOUTH SIDES OF HOUSE.
10. STABILIZE DISTURBED AREAS AT SIDES AND REAR OF HOUSE WITH MULCH/ITEMS/GRASS IN PLATEAU AREAS TO PROVIDE AREAS FOR STORAGE OF CONSTRUCTION MATERIALS FOR HOME IMPROVEMENTS.
11. REMOVE CONSTRUCTION ACCESS AROUND BACK OF HOUSE. STABILIZE WITH GRASS.
12. PERFORM INTERIOR RENOVATION WORK/FINISH SIDING AND ROOFING FOR NEW CONSTRUCTION. UTILIZE NEW PLATEAU AREAS IN REAR FOR STORAGE OF CONSTRUCTION MATERIALS FOR INTERIOR WORK.
13. AFTER INTERIOR WORK IS SUFFICIENTLY COMPLETED TO ALLOW STORAGE OF CONSTRUCTION MATERIALS IN FRONT YARD ONLY, PERFORM FINISH GRADING AND INSTALL FINISH PATIO. REMOVE STONE OUTLET SEDIMENT TRAP. STABILIZE ANY NON-HARDSCAPE AREAS WITH MULCH OR GRASS.
14. PERFORM FINISH LANDSCAPING IN REAR AND SIDES OF HOUSE.
15. REMOVE EXISTING DRIVEWAY AND INSTALL NEW PERVIOUS DRIVEWAY.
16. PERFORM FINISH LANDSCAPING IN FRONT OF HOUSE.



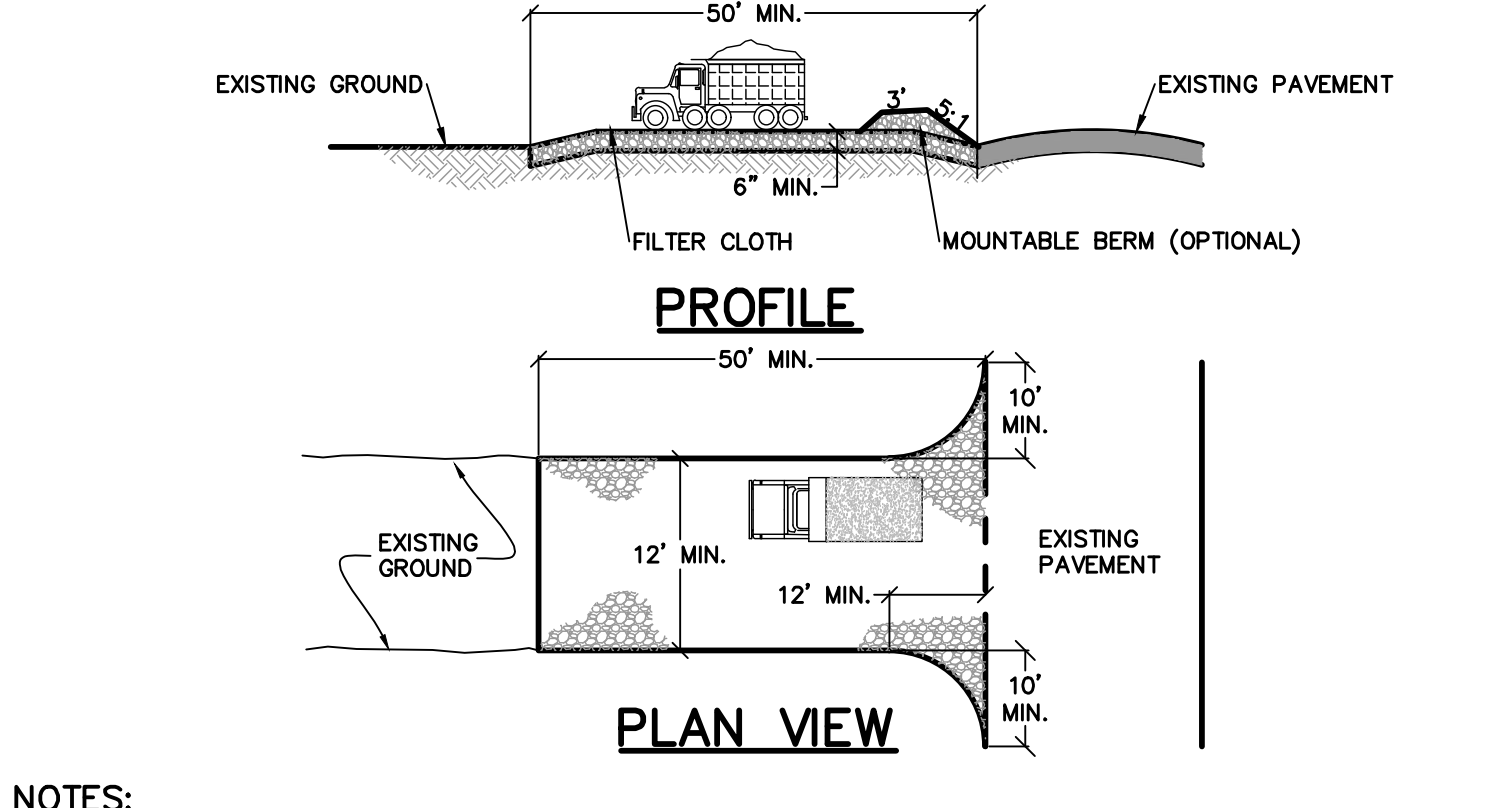
- NOTES:**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
 4. THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING AGAINST THE TOP OF THE INLET AND HELD IN PLACE BY SAND BAGS OR ALTERNATE WEIGHTS.

CURB INLET PROTECTION DETAIL
N.T.S.



- NOTES:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILUNKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOTEX, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

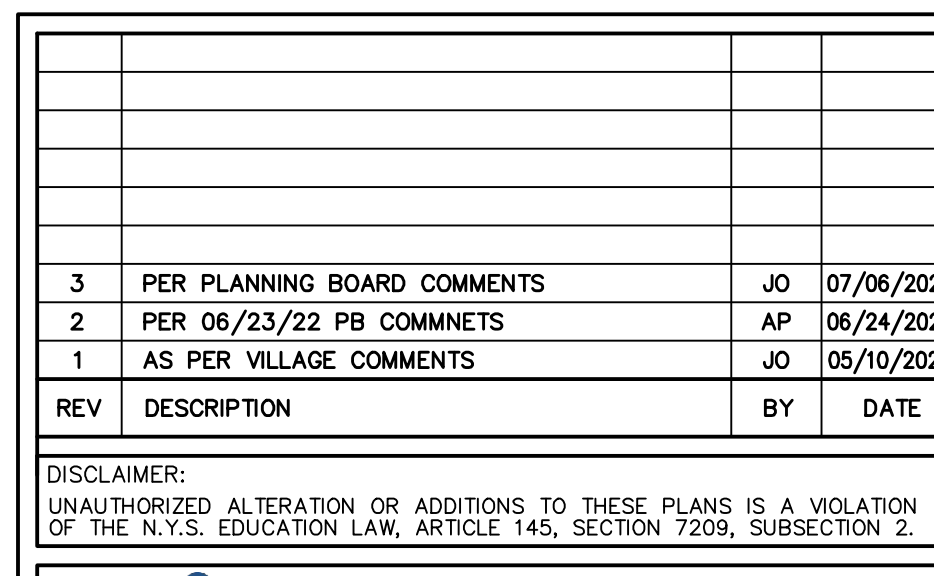
SILT FENCE
N.T.S.



- NOTES:**
1. STONE SIZE - USE 1 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

SOIL STOCKPILE SEDIMENT BARRIER
N.T.S.



REV	DESCRIPTION	BY	DATE
3	PER PLANNING BOARD COMMENTS	JO	07/06/2022
2	PER 06/23/22 PB COMMENTS	AP	06/24/2022
1	AS PER VILLAGE COMMENTS	JO	05/10/2022

DISCLAIMER: UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

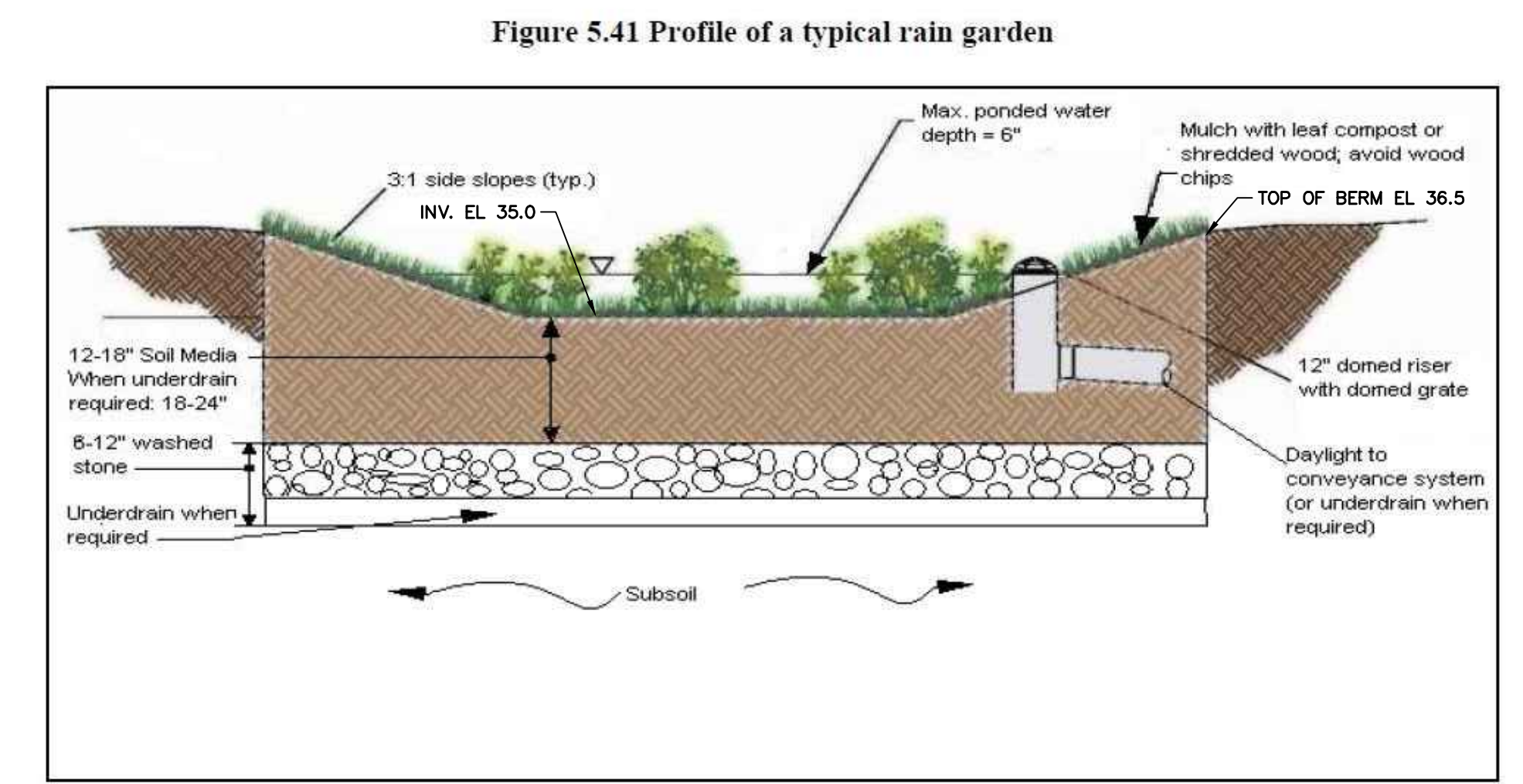
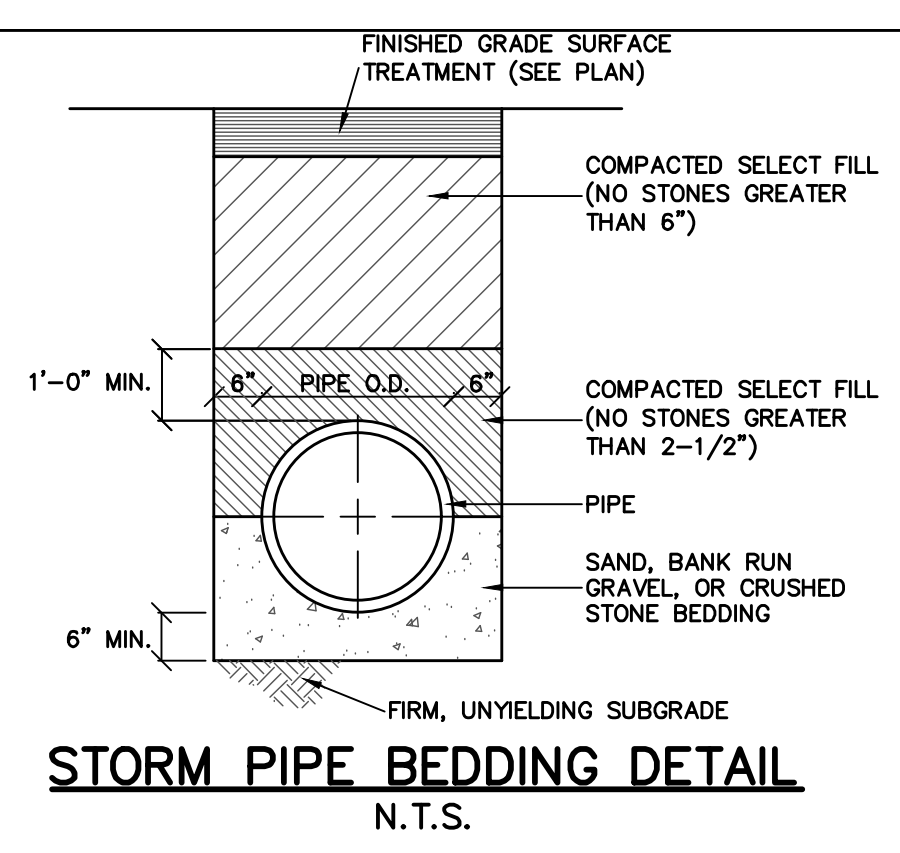
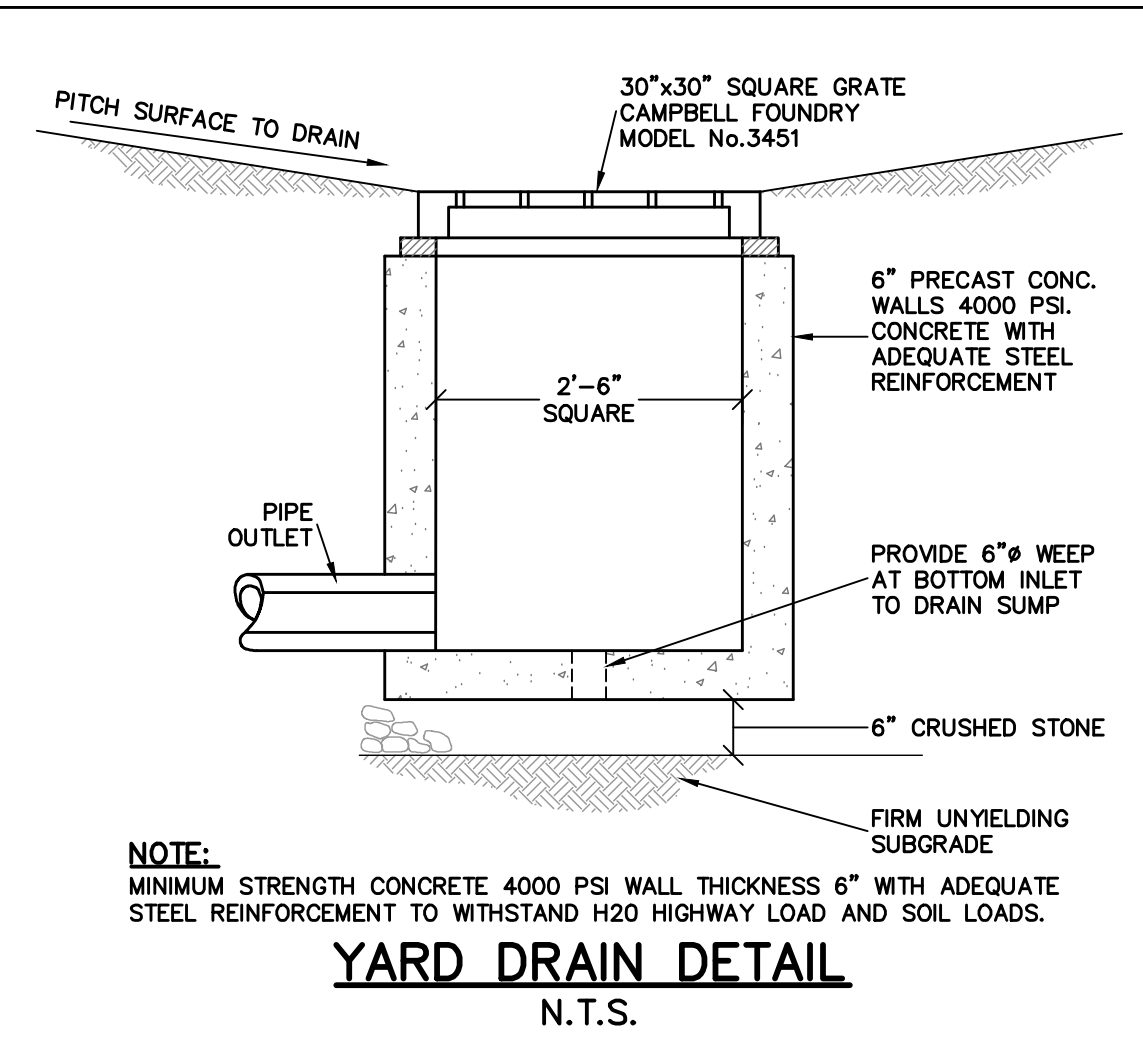
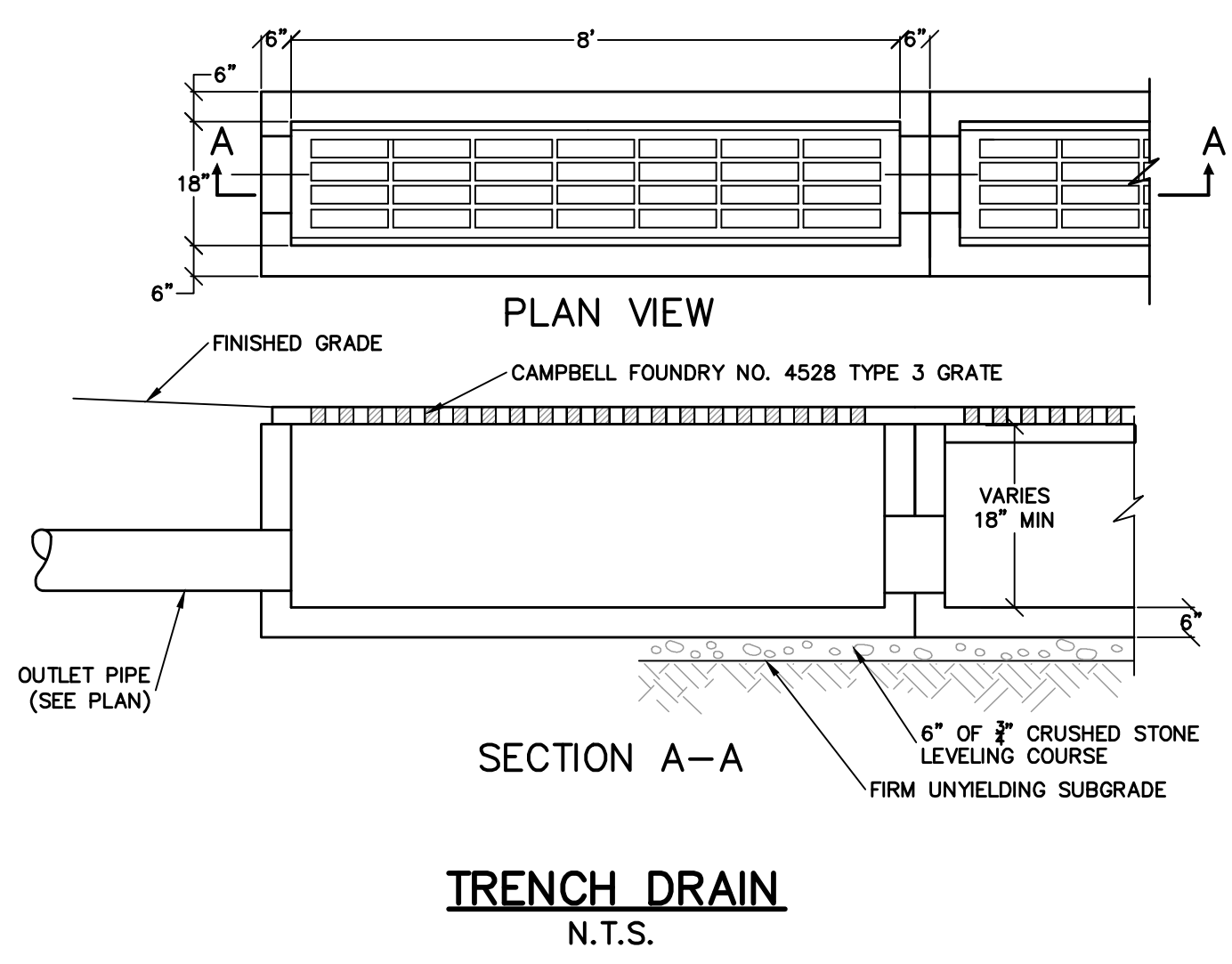
BROOKER ENGINEERING, PLLC
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www.BrookerEngineering.com
74 Lofoyette Avenue, Suite 501 | 22 Paris Avenue, Suite 105
Suffern, NY 10901 | Rockledge, NJ 07647
(845) 357-4411 | (201) 684-1221

PROJECT: **PROJECT GOOSE SITE PLAN**
VILLAGE OF UPPER NYACK
ROCKLAND COUNTY, NEW YORK

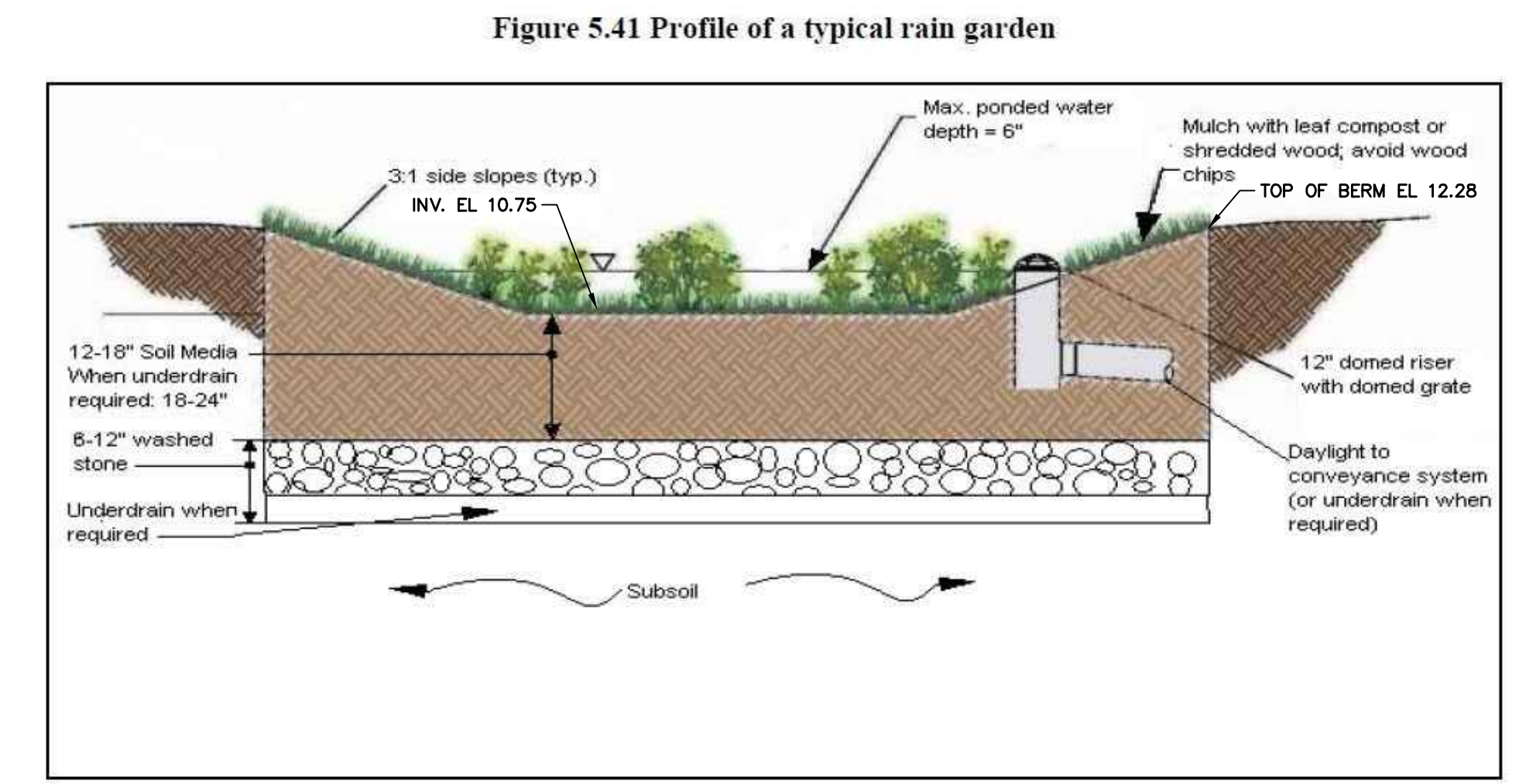
TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 21240 | DRAWN: JO | CHECKED: KD
SCALE: 1"=20'
GRAPHIC SCALE: 20' 40'
DATE: 05/03/2022 | DRAWING NO: **SI-5**

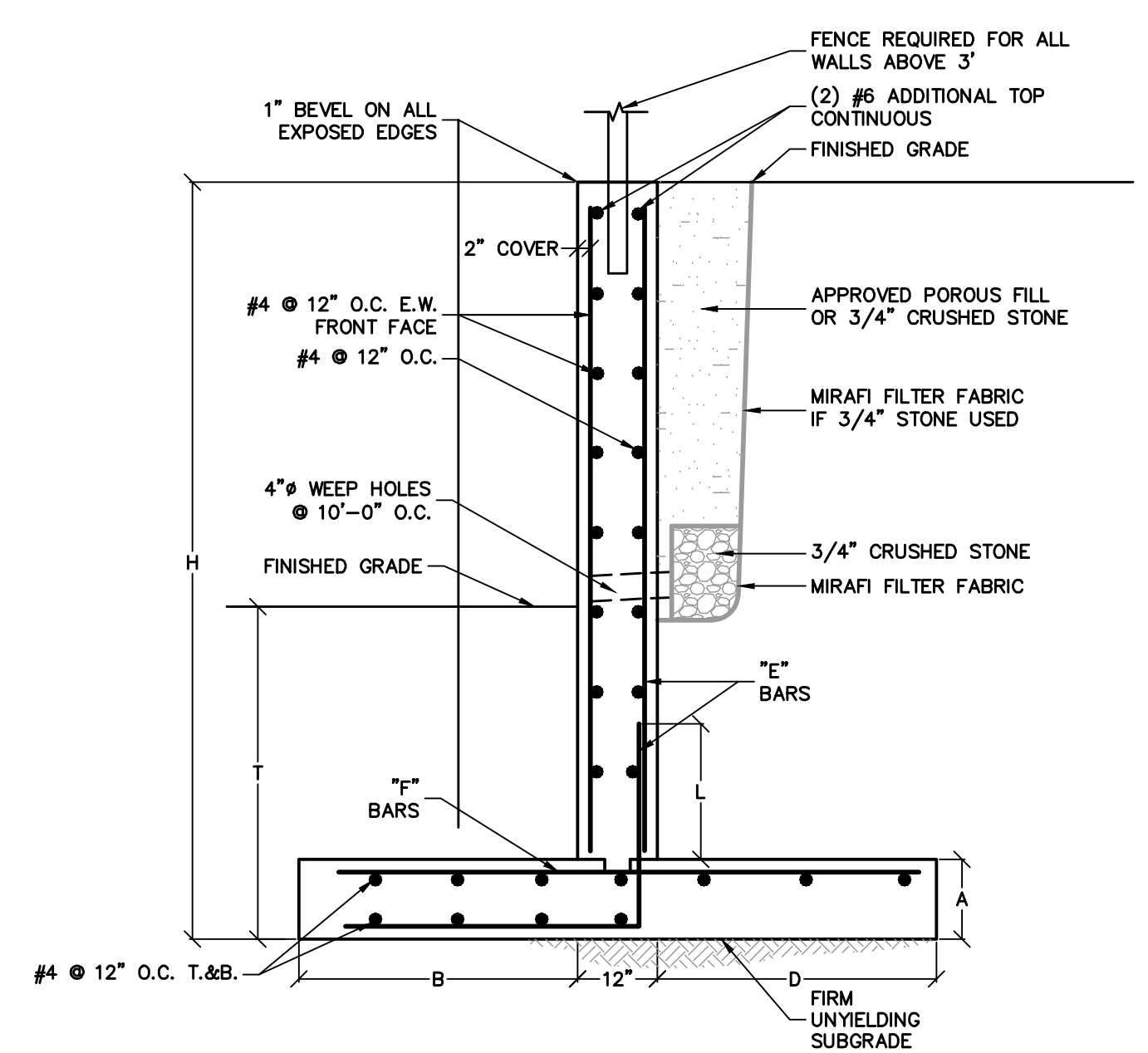
KENNETH H. DEGENNARO
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 076214



NORTH RAIN GARDEN DETAIL
N.T.S.

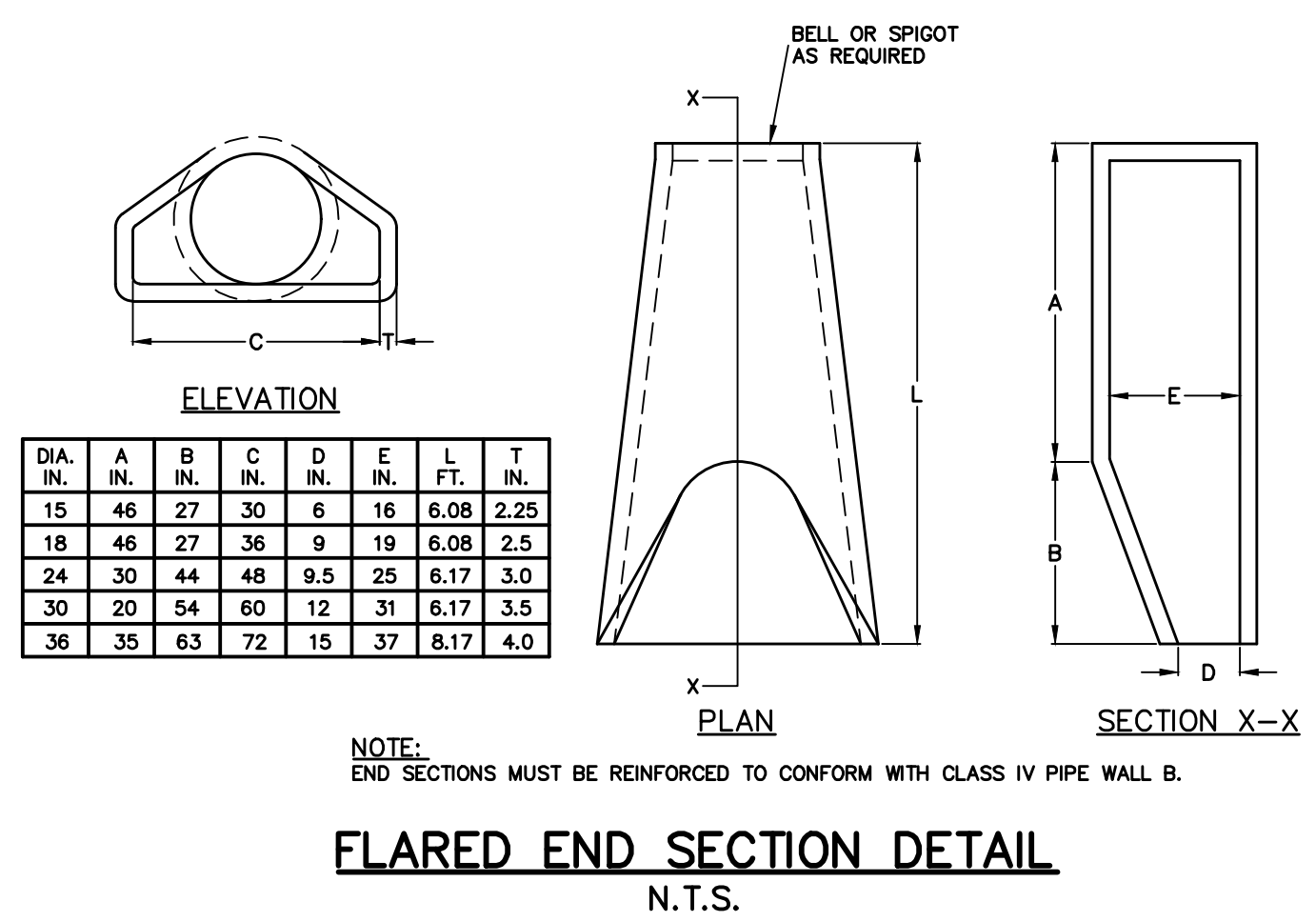


SOUTH RAIN GARDEN DETAIL
N.T.S.



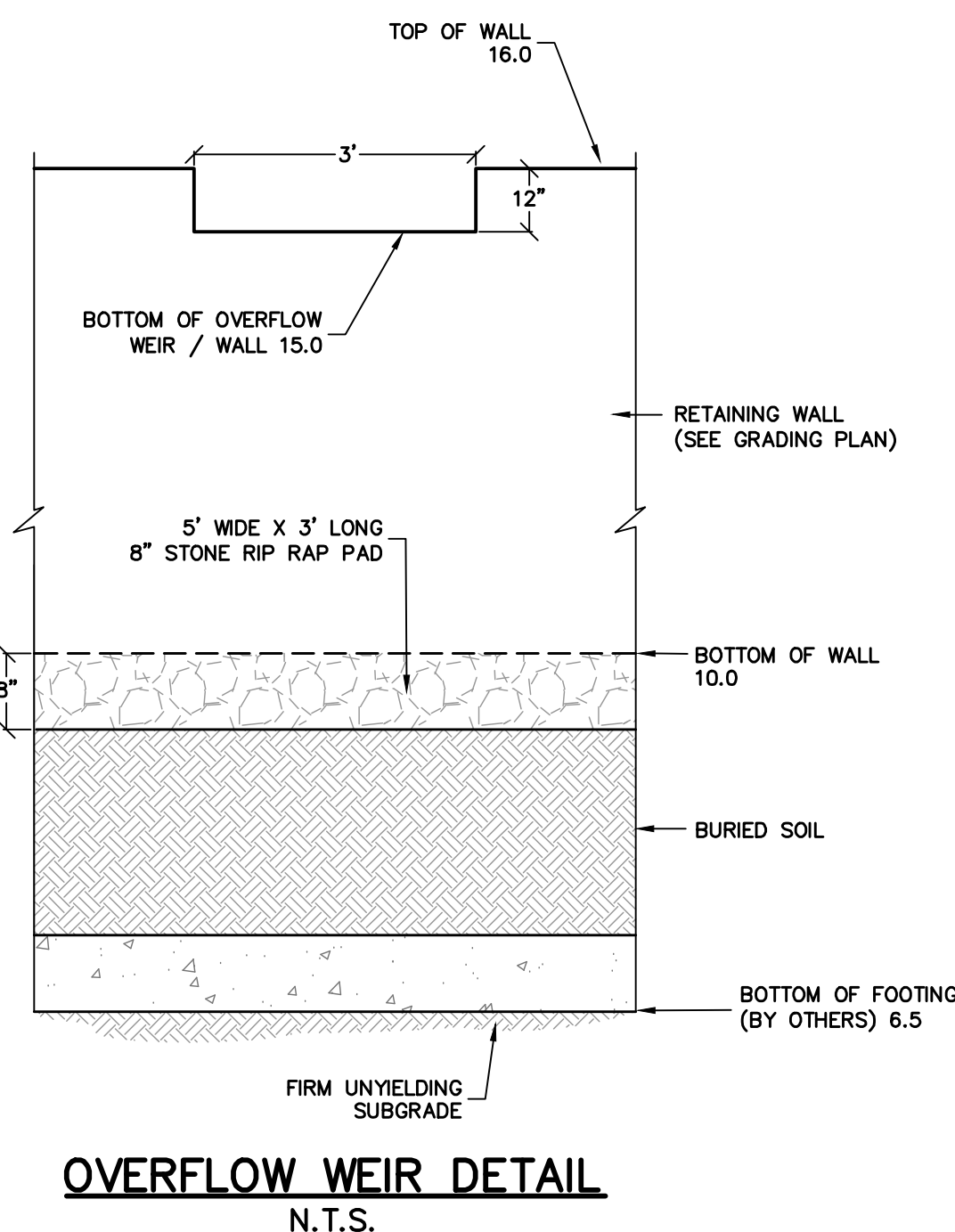
T	H	B	D	'E'-BARS	'F'-BARS	A	L
3'-6"	5'-0"	3'-9"	-	#4 @ 12" O.C.	#4 @ 12" O.C.	1'-0"	1'-6"
3'-6"	6'-0"	4'-9"	-	#4 @ 10" O.C.	#4 @ 12" O.C.	1'-0"	1'-6"
3'-6"	7'-0"	5'-6"	-	#5 @ 12" O.C.	#4 @ 12" O.C.	1'-0"	2'-0"
3'-6"	8'-0"	6'-6"	-	#5 @ 10" O.C.	#4 @ 12" O.C.	1'-0"	2'-0"
3'-6"	9'-0"	6'-6"	1'-0"	#6 @ 12" O.C.	#4 @ 12" O.C.	1'-0"	2'-6"
3'-9"	10'-0"	6'-6"	1'-0"	#6 @ 10" O.C.	#5 @ 12" O.C.	1'-0"	2'-6"
4'-3"	11'-0"	7'-6"	1'-0"	#8 @ 12" O.C.	#5 @ 12" O.C.	1'-0"	2'-6"
4'-6"	12'-0"	9'-3"	1'-0"	#8 @ 8" O.C.	#5 @ 10" O.C.	1'-0"	3'-0"

NOTES:
 1. FINAL DESIGN IS SUBJECT TO REVISION OR AMENDMENT BY A PROFESSIONAL ENGINEER BASED ON FIELD CONDITIONS AND INTEGRITY OF EXISTING ROCK AND SOIL PROFILE.
 2. WALL CONSTRUCTION METHODOLOGY AND MATERIAL MAY BE SUBSTITUTED FOR THE CONCRETE WALL DESIGN SHOWN, SUBJECT TO DESIGN AND CERTIFICATION BY A NYS LICENSED PROFESSIONAL ENGINEER.
 3. WALLS IN PARKING AREAS SHALL BE INSTALLED WITH A GUIDERAIL AND CONCRETE PARKING BLOCK. IN ADDITION, THE TOP OF WALL ELEVATION SHALL BE RAISED BY ONE FOOT ABOVE FINISHED GRADE.
 4. SOIL ENGINEER SHALL PERFORM SUBGRADE INSPECTION AS PER NYS CODE CHAPTER 17 TO VERIFY THE FOLLOWING DESIGN CRITERIA:
 $\gamma = 110$ PCF, $\phi = 28^\circ$, $\mu = 0.50$, $q = 3000$ PSF



ELEVATION

DIA. IN.	A IN.	B IN.	C IN.	D IN.	E IN.	L FT.	T IN.
15	46	27	30	6	16	6.08	2.25
18	46	27	36	9	19	6.08	2.5
24	30	44	48	9.5	25	6.17	3.0
30	20	54	60	12	31	6.17	3.5
36	35	63	72	15	37	8.17	4.0



REV	DESCRIPTION	BY	DATE
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PROJECT GOOSE
SITE PLAN
 VILLAGE OF UPPER NYACK
 ROCKLAND COUNTY, NEW YORK

TITLE:
CONSTRUCTION
DETAILS

KENNETH H. DEGENNARO
 PROFESSIONAL ENGINEER
 N.Y.S. Lic. No. 076214

PROJECT NO: 21240
 DRAWN: JO
 CHECKED: KD

SCALE: N.T.S.
 GRAPHIC SCALE:

DATE: 05/03/2022
 DRAWING NO: Si-6