



1 VICINITY MAP
A-0 N.T.S.

BULK TABLE				
OWNER OF RECORD	AMY GARDNER & JASON HASKELL			
PROPERTY ADDRESS	110 CASTLE HEIGHTS AVE			
SECTION/BLOCK/LOT	60.17-2-10			
ZONE	R-10			
USE	SINGLE FAMILY RESIDENTIAL			
	REQUIRED	EXISTING	PROPOSED	NET CHANGE
MIN. NET LOT AREA (SF)	10,000 SF	12,231 SF	12,231 SF	NO CHANGE
MIN. LOT WIDTH (FT)	90 FT	110.76 FT	110.76 FT	NO CHANGE
MIN. FRONTAGE (FT)	90 FT	110.76 FT	110.76 FT	NO CHANGE
MIN. REQUIRED FRONT YARD (FT)	35 FT	26.8 FT*	26.8 FT	NO CHANGE
MIN. REQUIRED SIDE YARD (EACH SIDEYARD/TOTAL SIDE YARD) (FT)	25 FT/ 50 FT	34.4 FT /43.1 FT 77.5 FT	34.4 FT /43.1 FT 77.5 FT	NO CHANGE
MIN. REQUIRED REAR YARD (FT)	25 FT	45.2 FT	45.2 FT	NO CHANGE
MAX. STRUCTURE HEIGHT PRINCIPAL/ ACCESSORY (FT)	28 FT/ 15 FT	< 25 FT	< 25'	NO CHANGE
MAXIMUM DEVELOPMENT COVERAGE %	40% NET LOT	30.8% NET LOT	30.8% NET LOT	NO CHANGE
MAXIMUM BUILDING COVERAGE %	20% NET LOT	31%	31%	NO CHANGE
MAXIMUM FAR	0.25	0.18	0.20	+0.02
MIN. DISTANCE BETWEEN BLDGS ON SAME LOT	10 FT	27'-3"	27'-3"	NO CHANGE
SUPPLEMENTAL BULK REQUIREMENTS				
MIN. SETBACK PARKING, DRIVEWAY, WALKWAY FROM ANY LOT LINE		3.5 FT*	3.5 FT*	NO CHANGE
MIN. PARKING SPACES	2	3	3	NO CHANGE

* EXISTING NON-CONFORMING

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA ROCKLAND COUNTY													
GROUND SNOW LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITES					
30	15	TBD BY AHJ	YES	TBD BY AHJ	B	SEVERE	36"	MODERATE/HEAVY	HDD4910 10° F	YES	TBD	1000	52.2° F

BUILDING CODE INFORMATION

- ALL CONSTRUCTION SHALL COMPLY WITH
- 2020 RESIDENTIAL CODE OF NEW YORK STATE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
 - 2020 FUEL GAS CODE OF NEW YORK STATE
 - 2020 MECHANICAL CODE OF NEW YORK STATE
 - 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-10 SINGLE-FAMILY DETACHED DWELLING

CONSTRUCTION TYPE: V-B

SMOKE AND CARBON MONOXIDE PROTECTION

COMPLY WITH RESIDENTIAL CODE § R314, § R315 AND NFPA 72

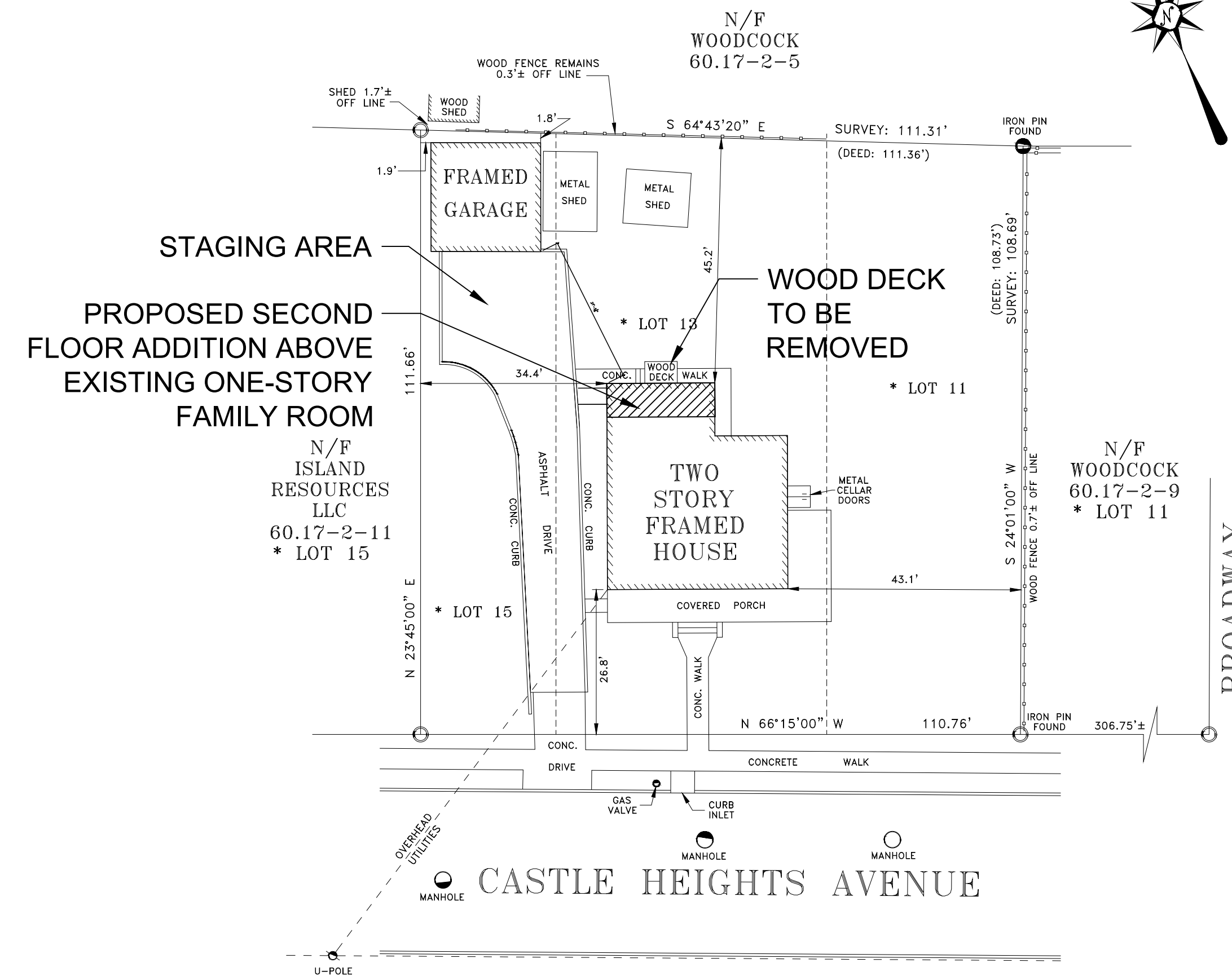
ENERGY CODE COMPLIANCE

THE ARCHITECT HEREBY CERTIFIES THAT TO THE BEST OF THEIR KNOWLEDGE ALL APPLICABLE SECTIONS OF THE ECCC OF NEW YORK STATE HAVE BEEN MET OR EXCEEDED

PROJECT SCOPE OF WORK

1. SECOND FLOOR ADDITION TO ONE-STORY FAMILY ROOM
2. KITCHEN AND BATHROOM RENOVATIONS
3. INSTALLATION OF NEW WINDOWS
4. INSTALLATION OF NEW FIREPLACE

LOT AREA
12,231.36 S.F.
OR
0.28 ACRES



2 SITE PLAN
A-0 1" = 20'

TAX MAP SECTION 60.17 BLOCK2 LOT 10
VILLAGE OF UPPER NYACK - TOWN OF CLARKSTOWN

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:

AMY (GARDNER) & JASON HASKELL

DATED FEBRUARY 28, 2022

WILLIAM JAMES ENGINEERING AND LAND SURVEYING, PLLC

8 CHEANDA LANE

WALLKILL, NEW YORK 12589

(845) 566-6522 FAX: (845)566-6525

W.E. JAMES, PLLC 2021

NOTE:

- 1) SITE PLAN APPROVAL EXPIRES AFTER THREE YEARS
- 2) AREA OF WORK DOESN'T IMPACT ANY TREES
- 3) ALL CONSTRUCTION & ASSOCIATED UTILITIES SHALL CONFORM TO APPLICABLE STATE & LOCAL CODES AS OF THE DATE OF SUBMISSION
- 4) NO CHANGE TO EXISTING GRADE

SECOND FLOOR ADDITION AND RENOVATIONS HASKELL RESIDENCE

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

MAREN ROBERTSON ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
SITE PLAN

PROJECT NO. 2113

DRAWN BY MCR

SCALE AS NOTED

DATE JUNE 27, 2022

A-0

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
EXISTING FLOOR PLANS

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-1

ABBREVIATIONS

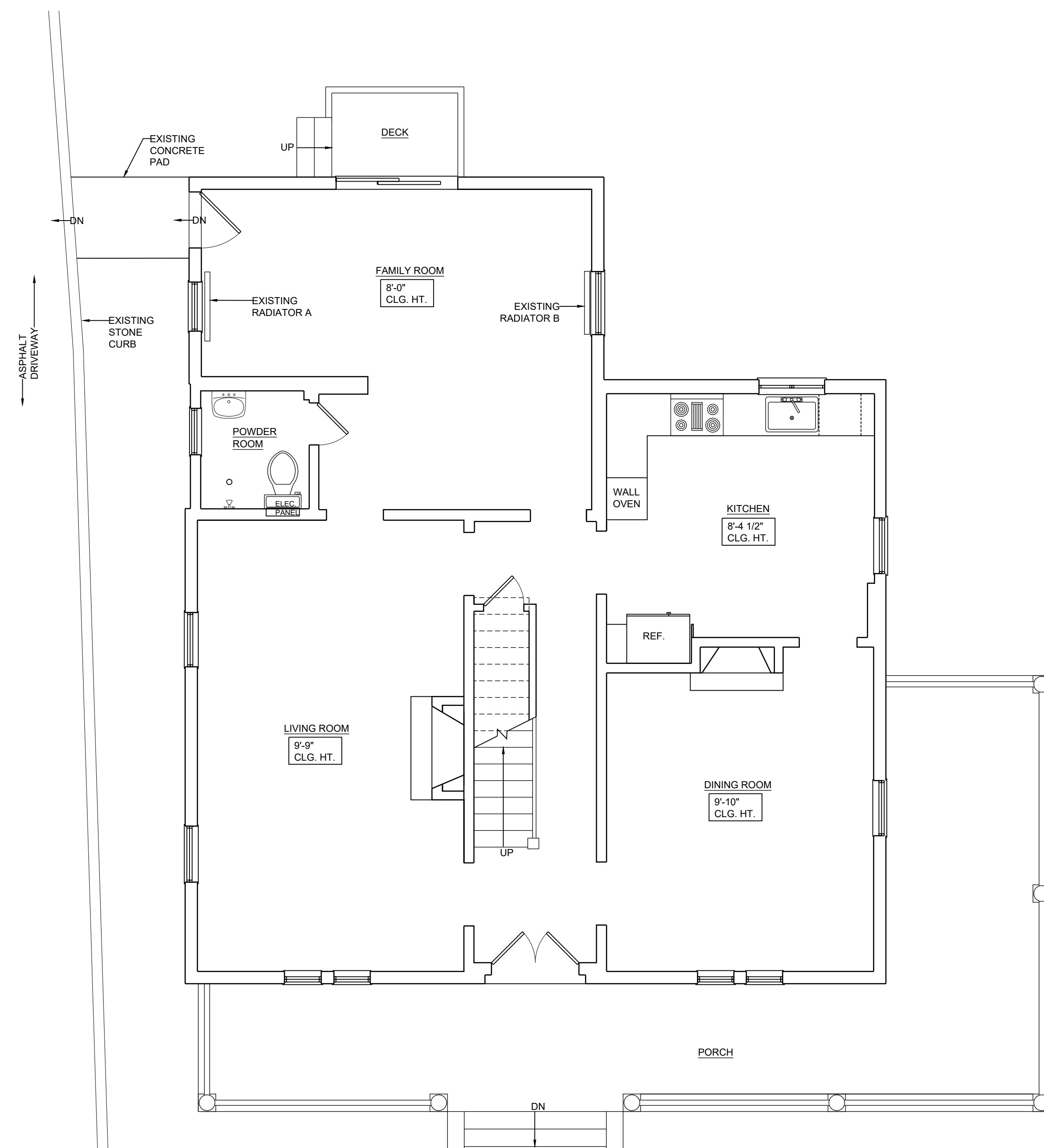
CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EXG.	EXISTING
EXIST.	EXISTING
GWB	GYPHUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

CONSTRUCTION & DEMOLITION LEGEND

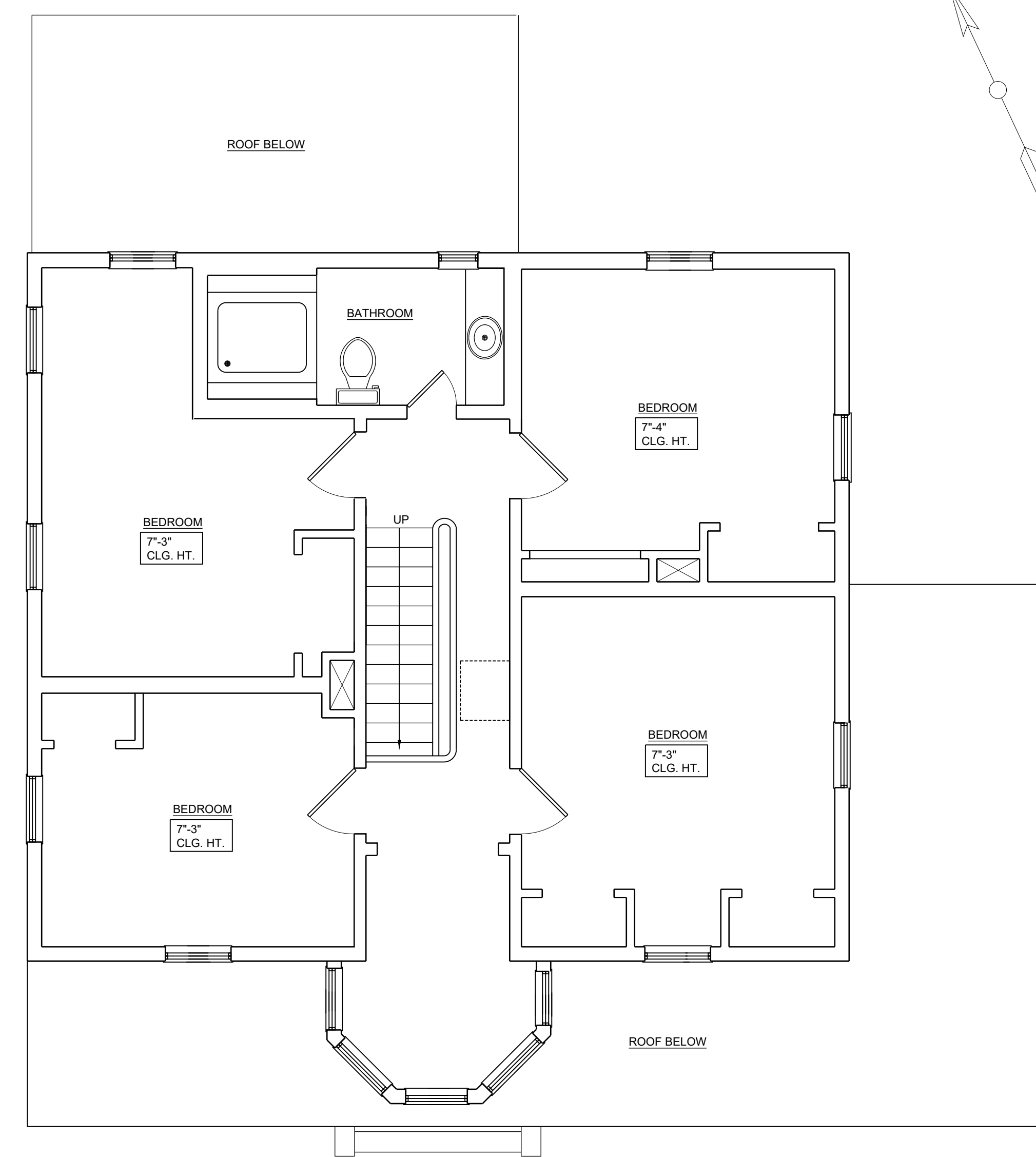
---	EXISTING TO REMAIN
- - - -	EXISTING TO BE REMOVED
	EXISTING FLOOR TO BE DEMOLISHED
■	NEW PARTITION
▒	CONCRETE
▓	EARTH
▔	GRAVEL
▕	PLYWOOD
⊠	ROUGH WOOD
⊡	BLOCKING

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**SECOND FLOOR ADDITION AND RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

MAREN ROBERTSON ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
DEMOLITION PLANS

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-2

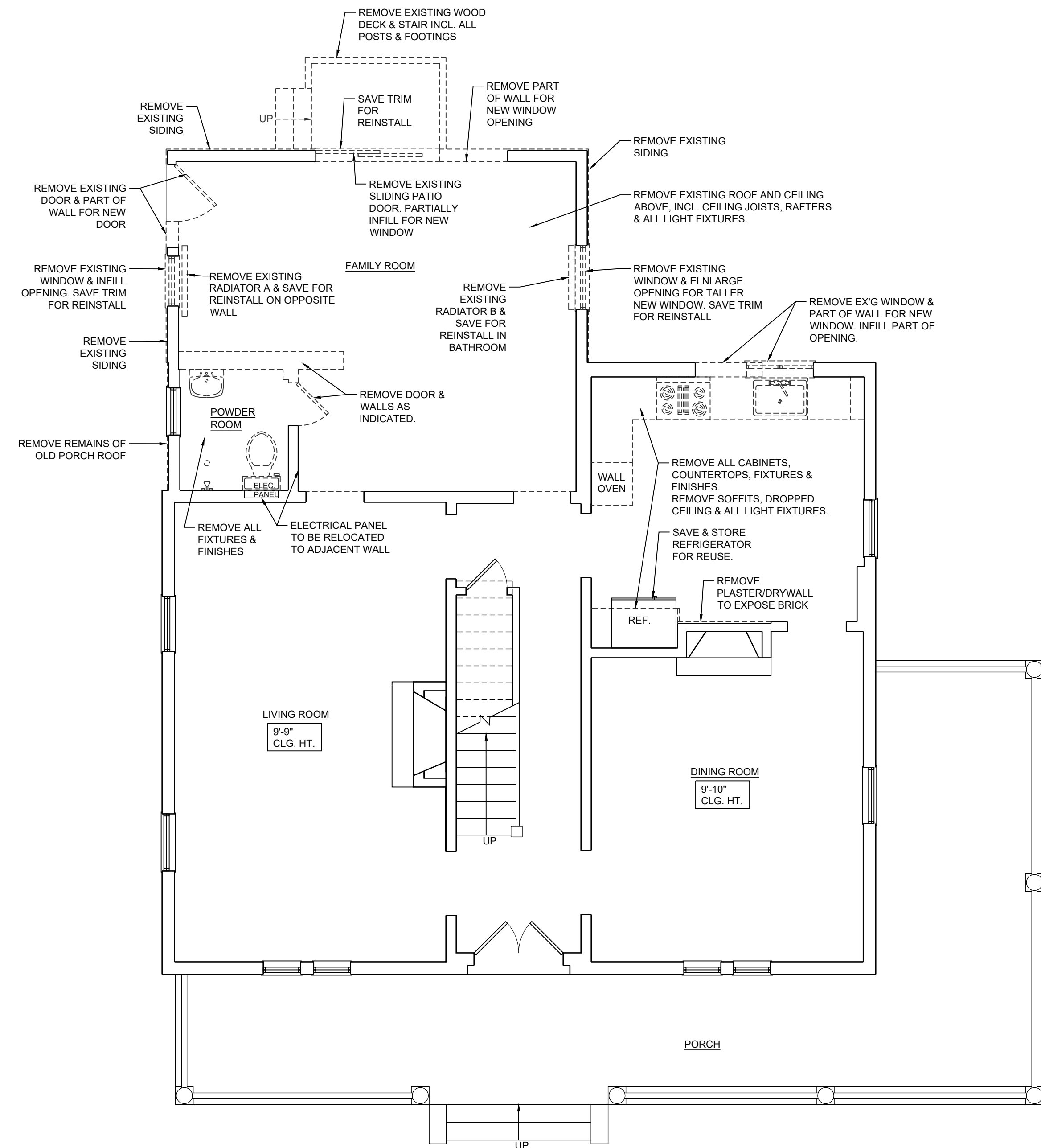
ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EXG.	EXISTING
EXIST.	EXISTING
GWB	GYP SUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

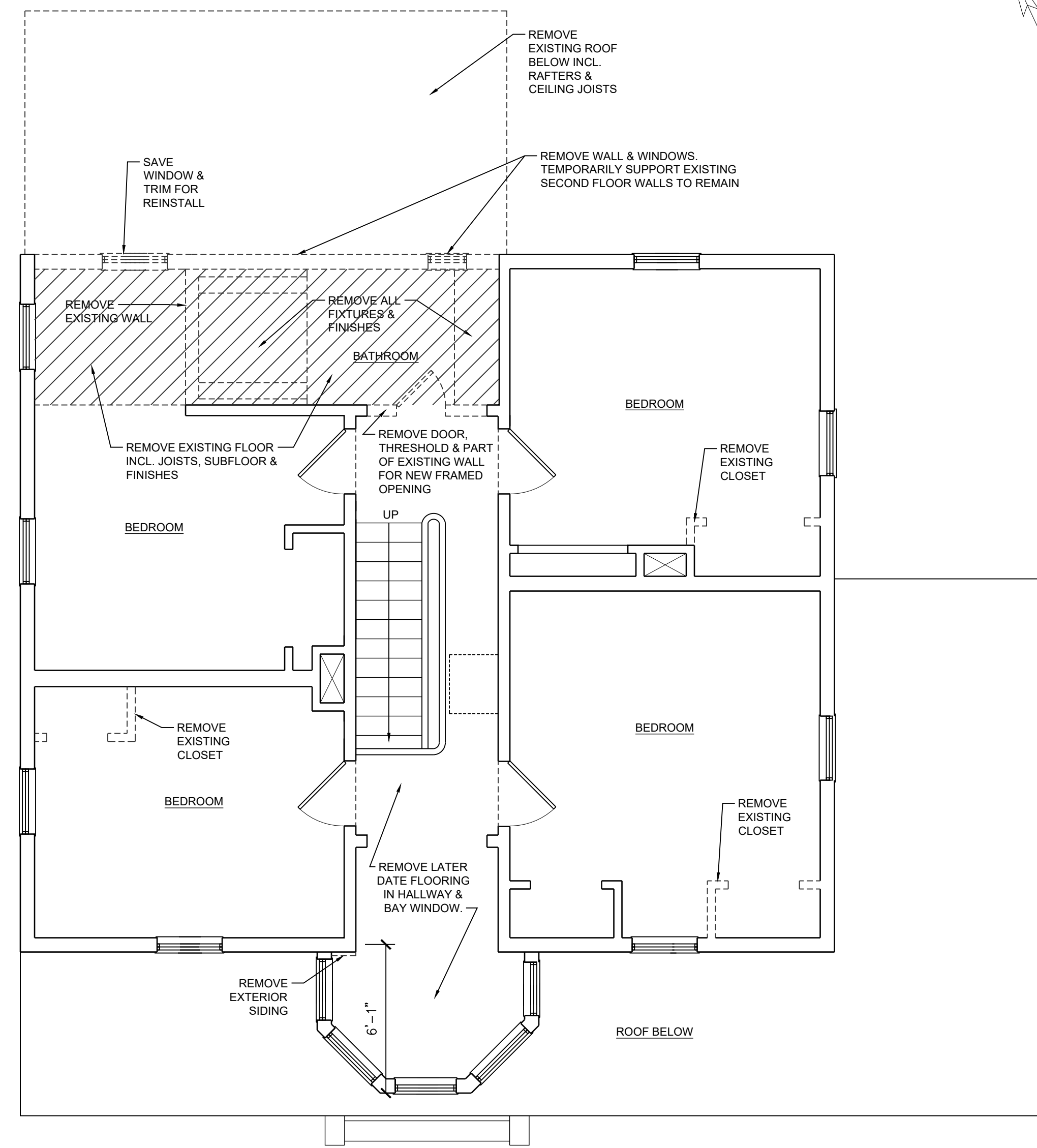
CONSTRUCTION & DEMOLITION LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING FLOOR TO BE DEMOLISHED
	NEW PARTITION
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	ROUGH WOOD
	BLOCKING

- GENERAL NOTES**
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
 - ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
PROPOSED FLOOR PLANS

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-3

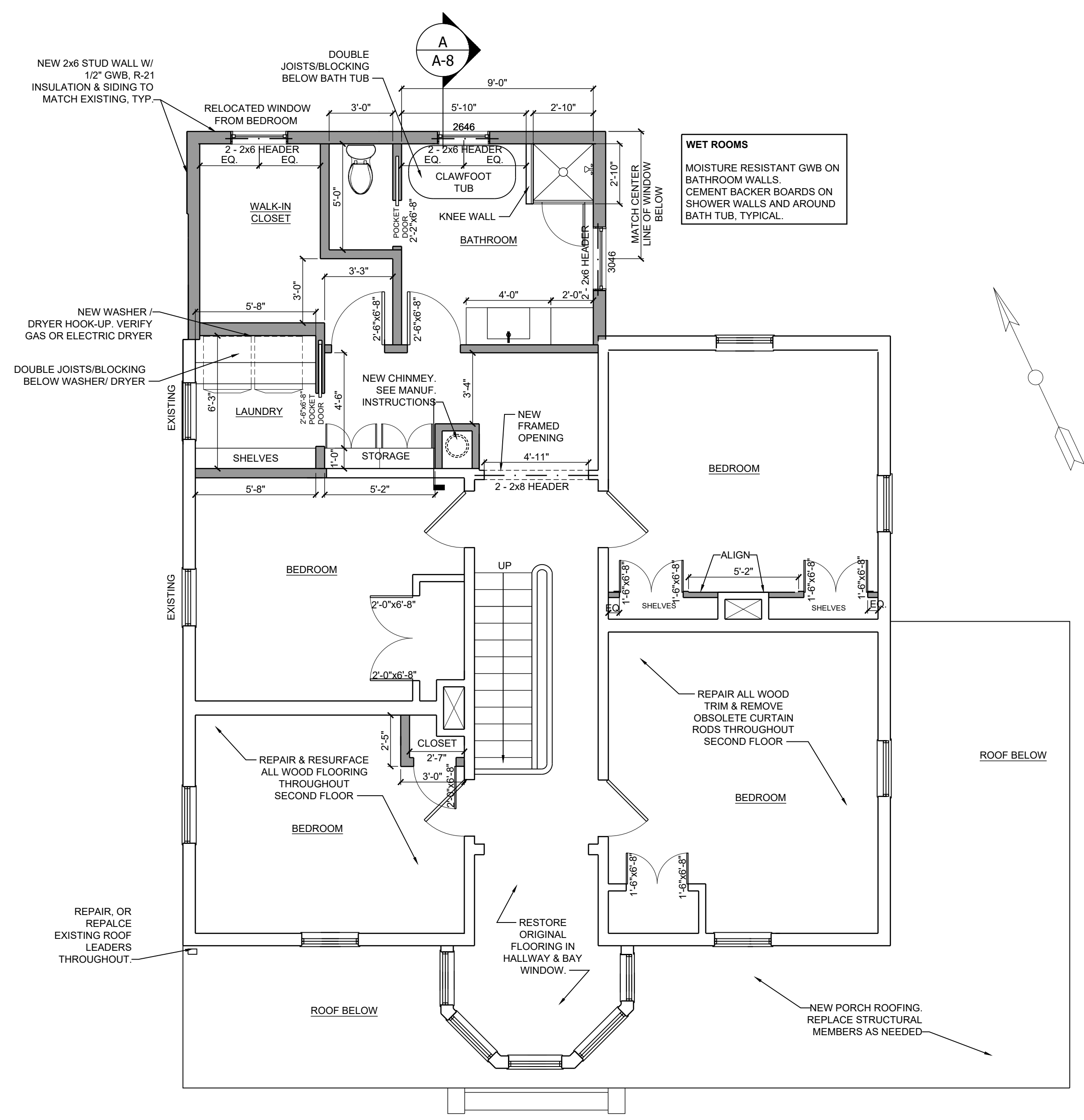
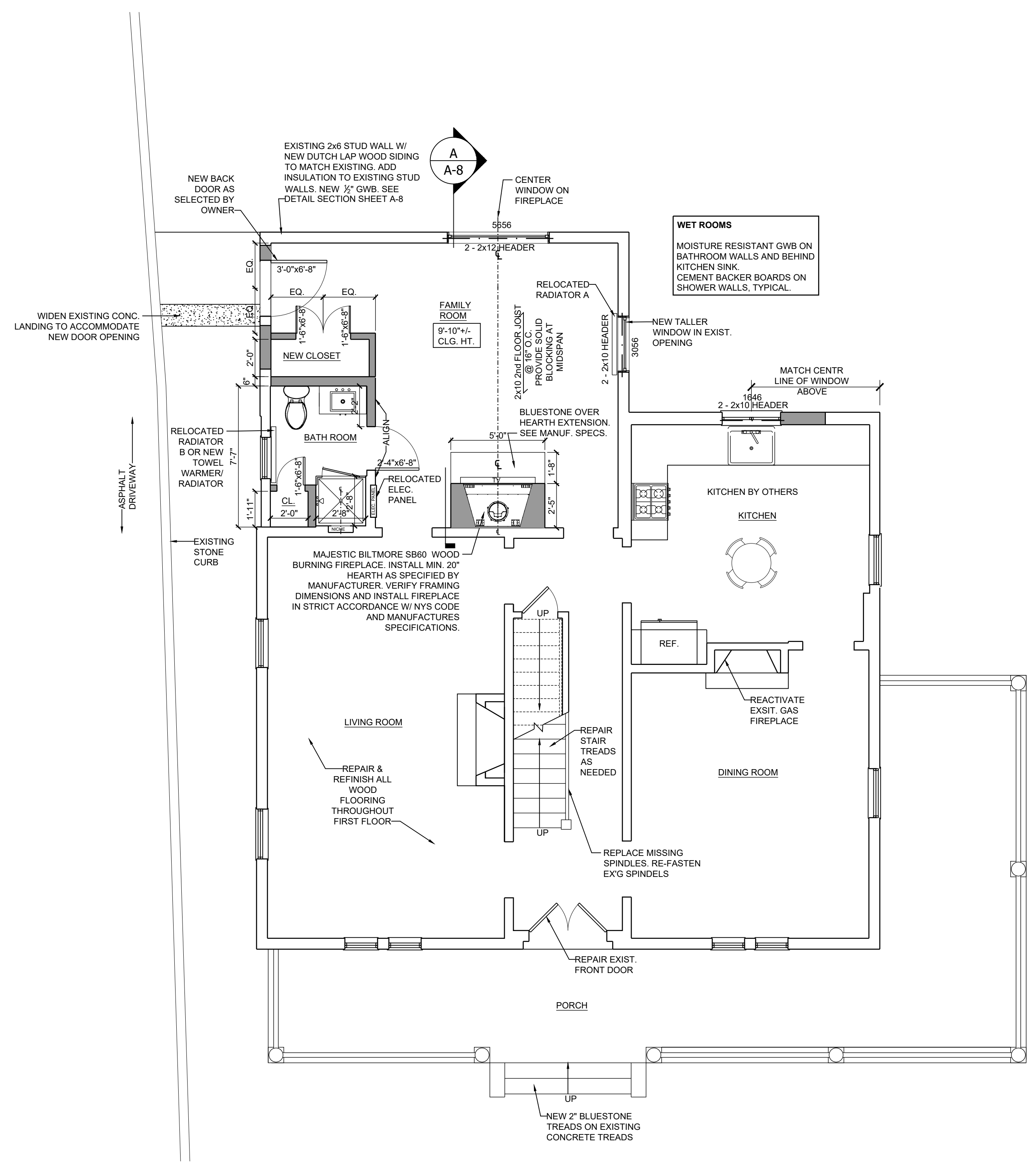
ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G.	EXISTING
EXIST.	EXISTING
GWB	GYPSON WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

CONSTRUCTION & DEMOLITION LEGEND

(Solid line)	EXISTING TO REMAIN
(Dashed line)	EXISTING TO BE REMOVED
(Hatched pattern)	EXISTING FLOOR TO BE DEMOLISHED
(Solid grey fill)	NEW PARTITION
(Stippled pattern)	CONCRETE
(Cross-hatched pattern)	EARTH
(Wavy pattern)	GRAVEL
(Diagonal lines)	PLYWOOD
(Cross-hatched pattern)	ROUGH WOOD
(Diagonal lines)	BLOCKING

- GENERAL NOTES**
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
 - ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1
A-3

2
A-3

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
**EXISTING AND PROPOSED
ROOF PLANS**

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-4

ABBREVIATIONS

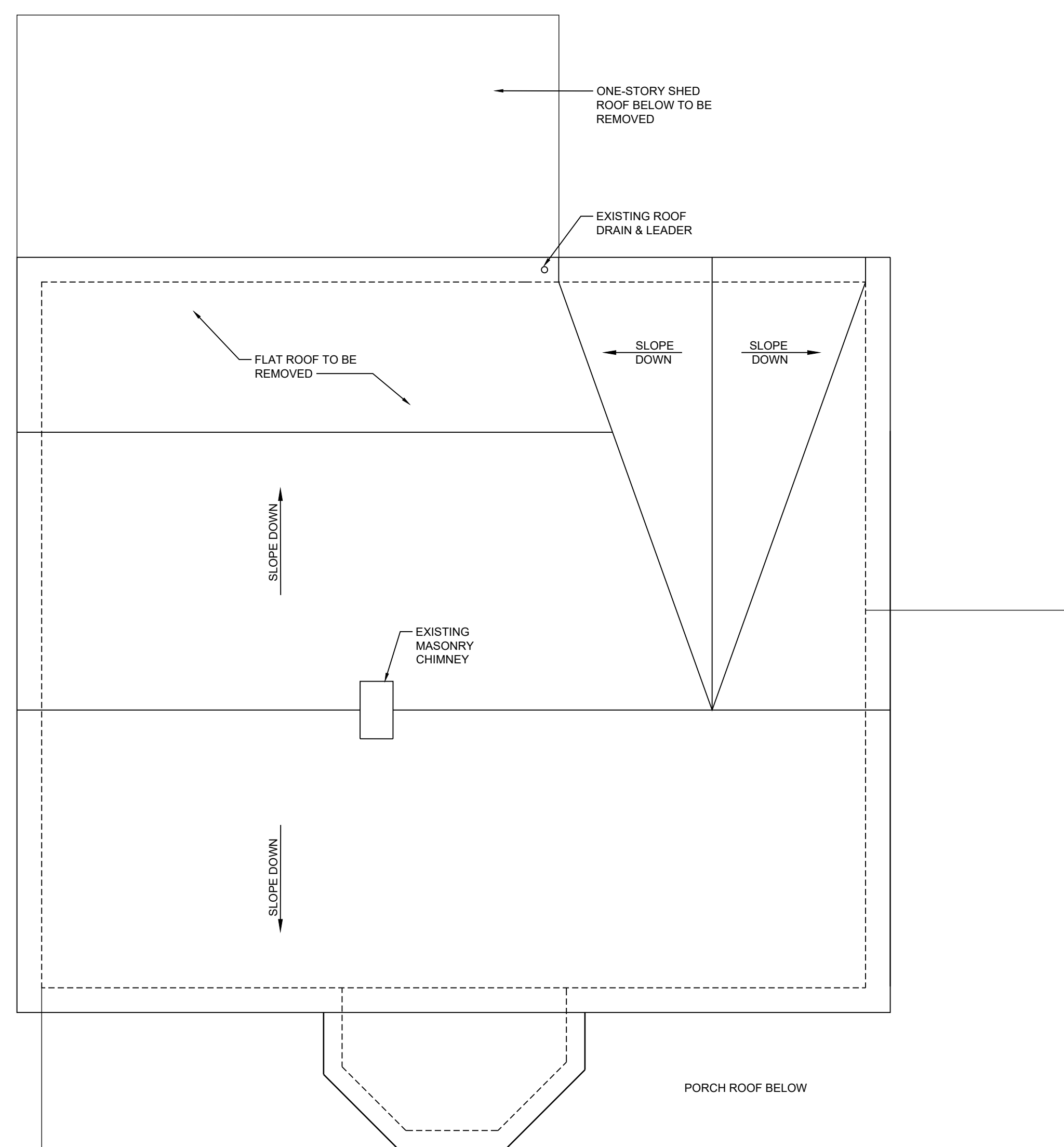
CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EXG.	EXISTING
EXIST.	EXISTING
GWB	GYPHUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

CONSTRUCTION & DEMOLITION LEGEND

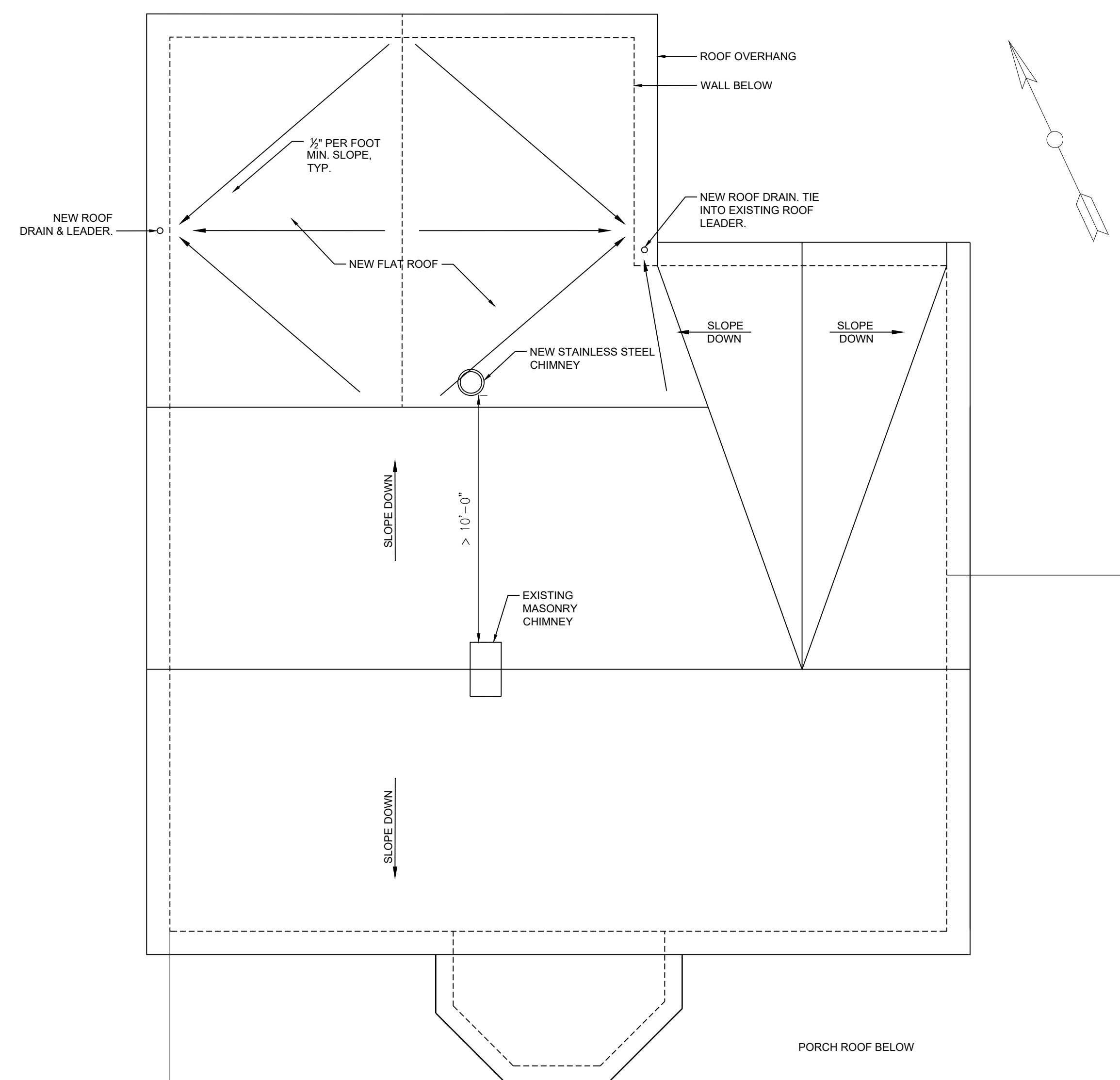
(Solid line)	EXISTING TO REMAIN
(Dashed line)	EXISTING TO BE REMOVED
(Hatched pattern)	EXISTING FLOOR TO BE DEMOLISHED
(Solid grey fill)	NEW PARTITION
(Stippled pattern)	CONCRETE
(Cross-hatched pattern)	EARTH
(Diagonal hatched pattern)	GRAVEL
(Wavy hatched pattern)	PLYWOOD
(Cross-hatched pattern)	ROUGH WOOD
(Diagonal hatched pattern)	BLOCKING

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
PROPOSED RCPs

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-5

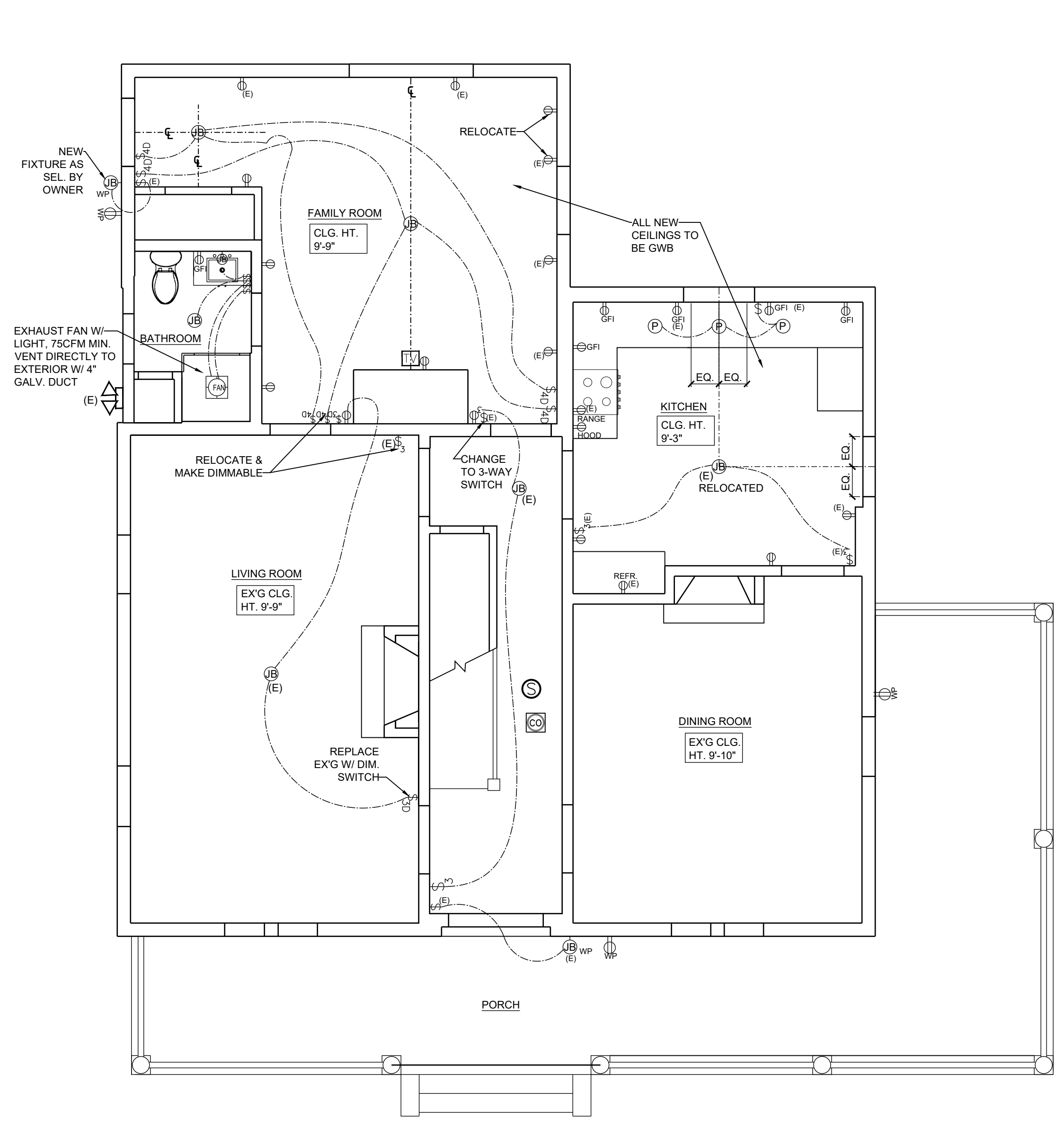
ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPHUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

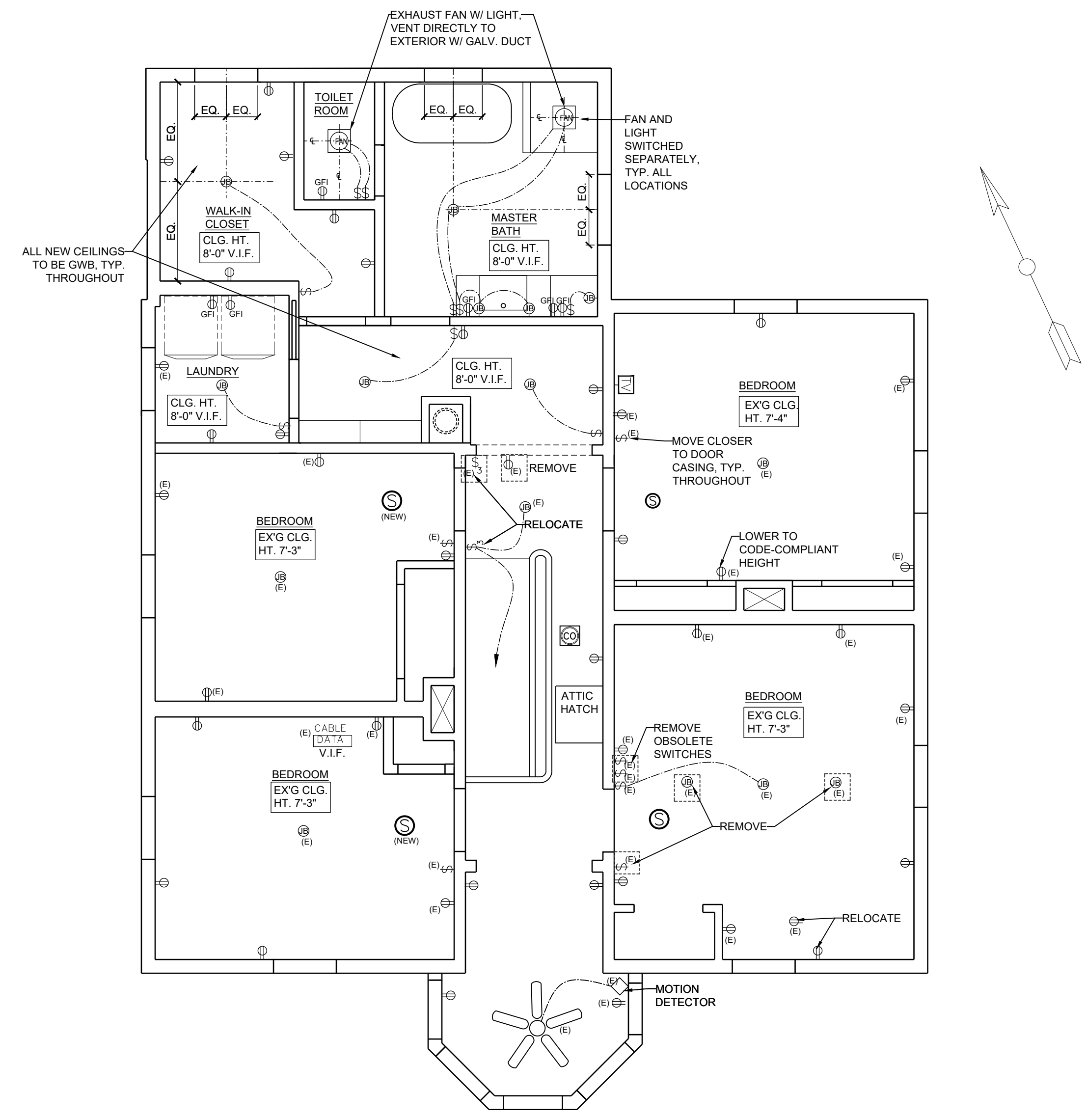
CONSTRUCTION & DEMOLITION LEGEND

(Solid line)	EXISTING TO REMAIN
(Dashed line)	EXISTING TO BE REMOVED
(Hatched pattern)	EXISTING FLOOR TO BE DEMOLISHED
(Thick solid line)	NEW PARTITION
(Stippled pattern)	CONCRETE
(Cross-hatched pattern)	EARTH
(Wavy pattern)	GRAVEL
(Diagonal hatched pattern)	PLYWOOD
(Box with 'X')	ROUGH WOOD
(Box with 'B')	BLOCKING

- GENERAL NOTES**
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
 - ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

PERMIT APPLICATION 6.27.22

DRAWING TITLE
EXISTING ELEVATIONS

PROJECT NO.	2113
DRAWN BY	MCR
SCALE	AS NOTED
DATE	JUNE 27, 2022

A-6



1 EXISTING FRONT ELEVATION (SOUTH)
A-6 SCALE: 1/4" = 1'-0"



2 EXISTING SIDE ELEVATION (WEST)
A-6



3 EXISTING REAR ELEVATION (NORTH)
A-6 SCALE: 1/4" = 1'-0"



4 EXISTING SIDE ELEVATION (EAST)
A-6 SCALE: 1/4" = 1'-0"

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

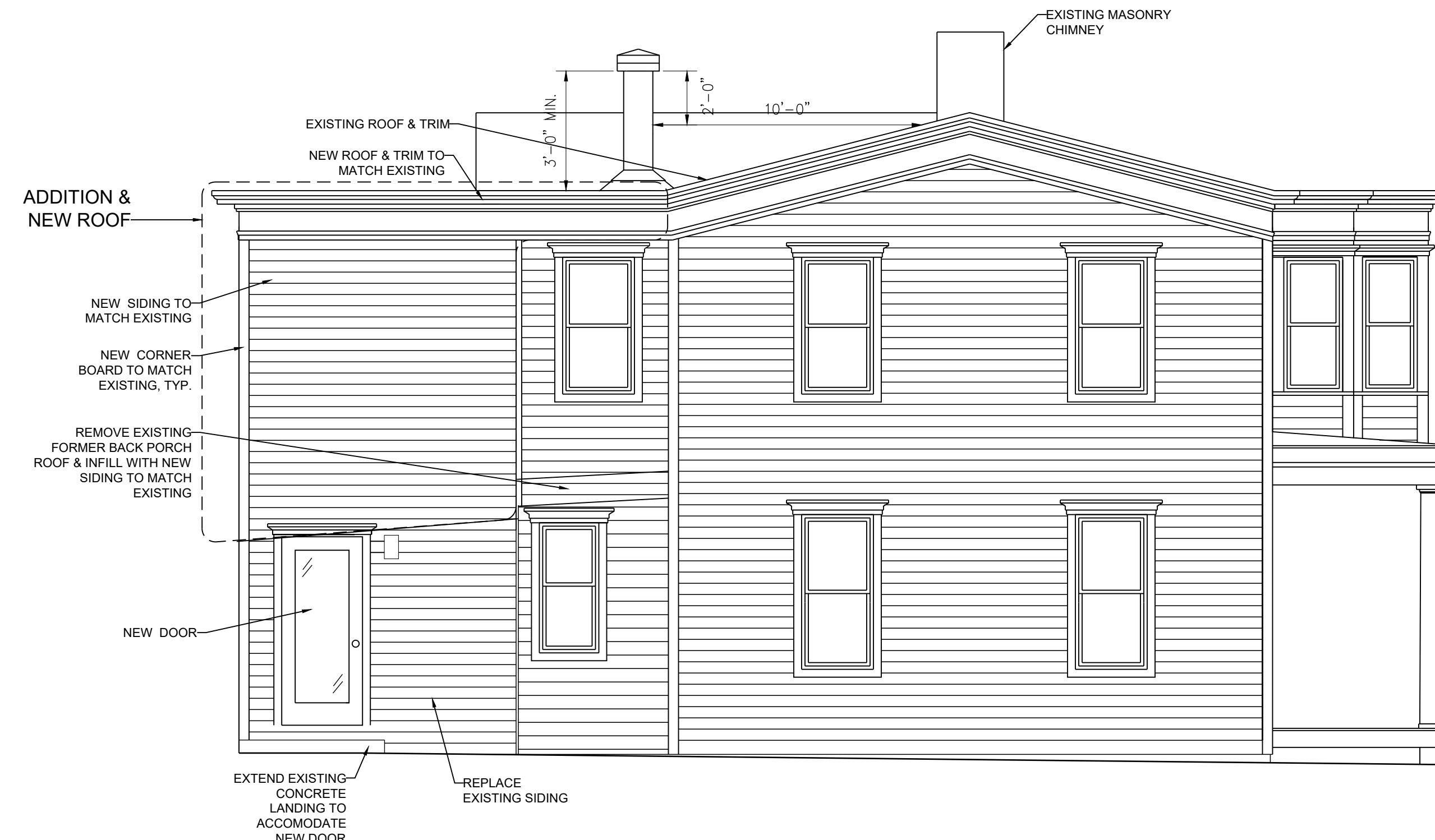
MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

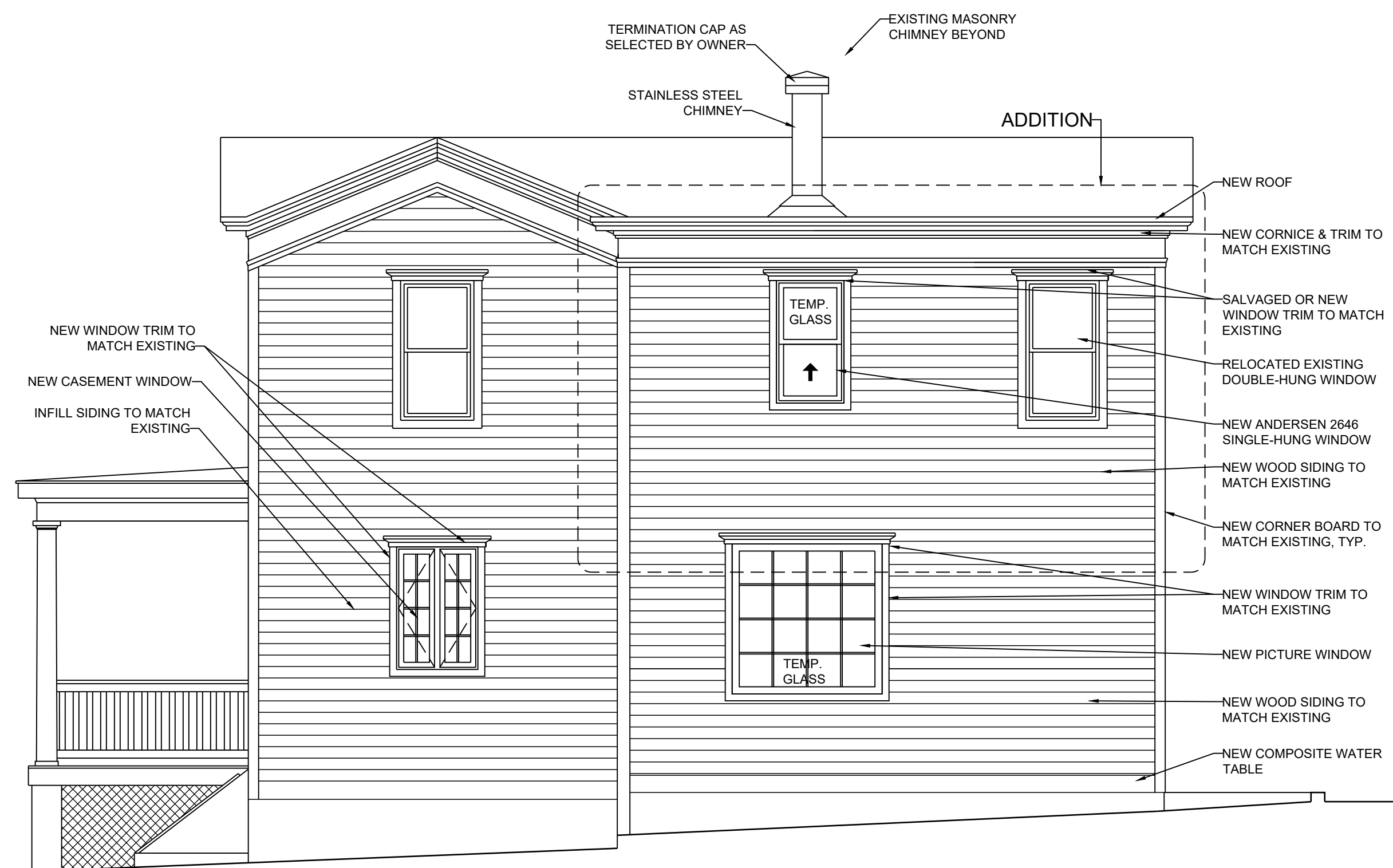
58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com



1 PROPOSED FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

PERMIT APPLICATION 6.27.22

DRAWING TITLE
PROPOSED ELEVATIONS

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-7

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

CONSTRUCTION & DEMOLITION LEGEND

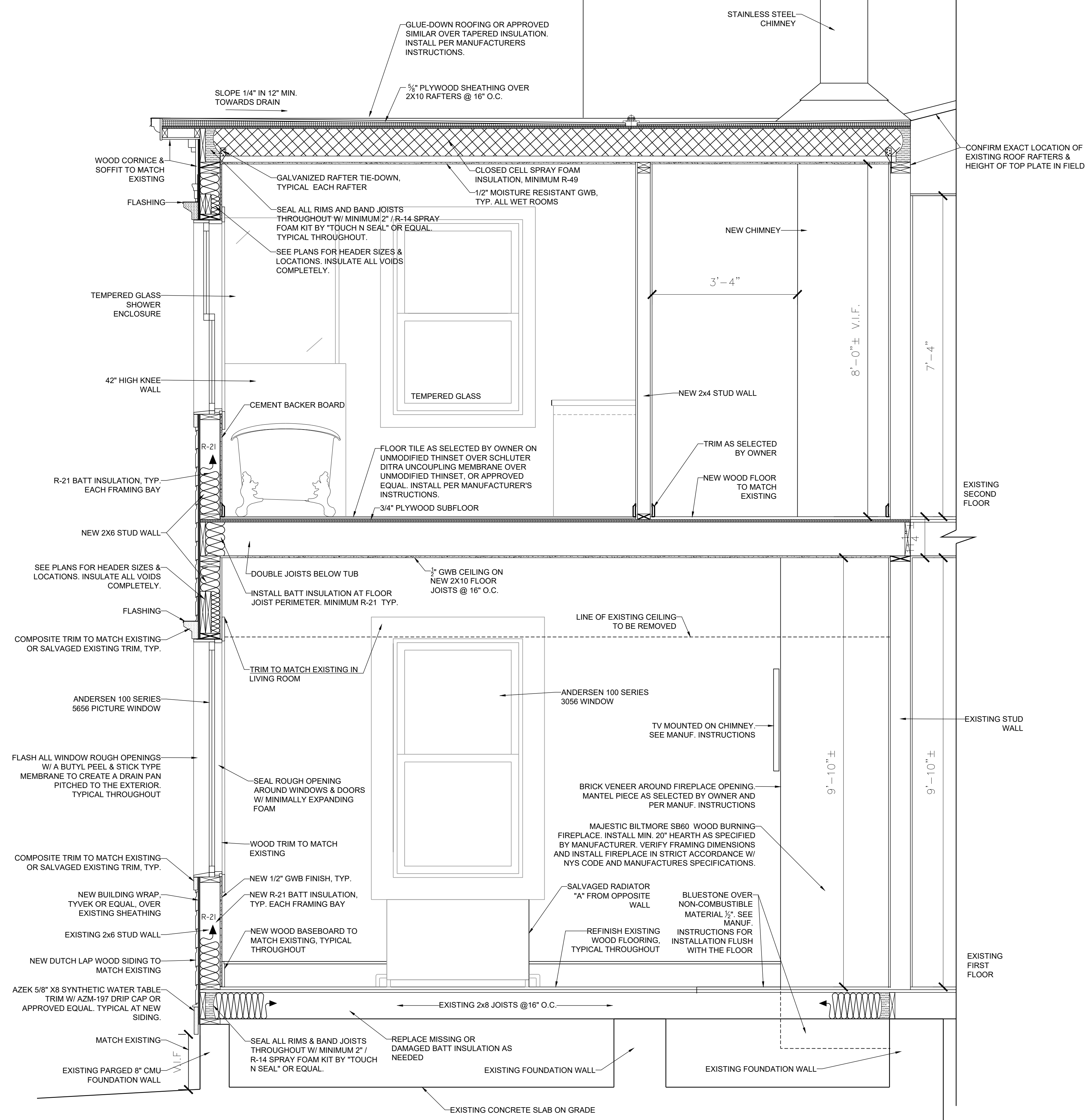
---	EXISTING TO REMAIN
- - - -	EXISTING TO BE REMOVED
///	EXISTING FLOOR TO BE DEMOLISHED
■	NEW PARTITION
■	CONCRETE
■	EARTH
■	GRAVEL
■	PLYWOOD
■	ROUGH WOOD
■	BLOCKING

ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EXG.	EXISTING
EXIST.	EXISTING
GWB.	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.



1 PROPOSED SECTION
SCALE: 3/4" = 1'-0"

PERMIT APPLICATION 6.27.22

DRAWING TITLE
SECTION

PROJECT NO.	2113
DRAWN BY	MCR
SCALE	AS NOTED
DATE	JUNE 27, 2022

A-8

**SECOND FLOOR
ADDITION AND
RENOVATIONS
HASKELL RESIDENCE**

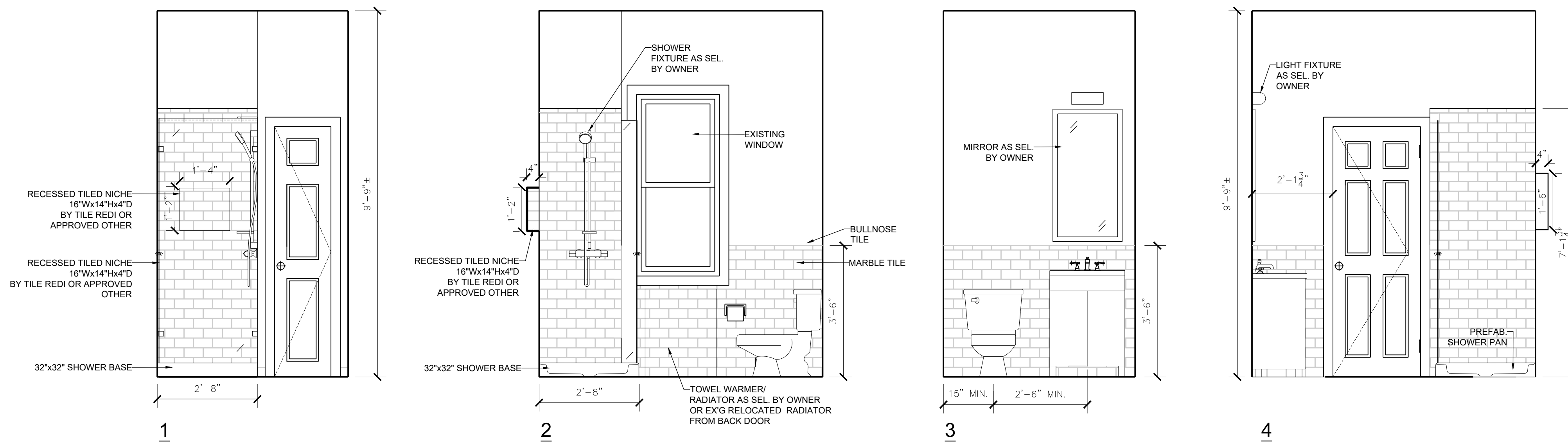
AMY & JASON HASKELL

110 CASTLE HEIGHTS AVENUE
UPPER NYACK NY 10960

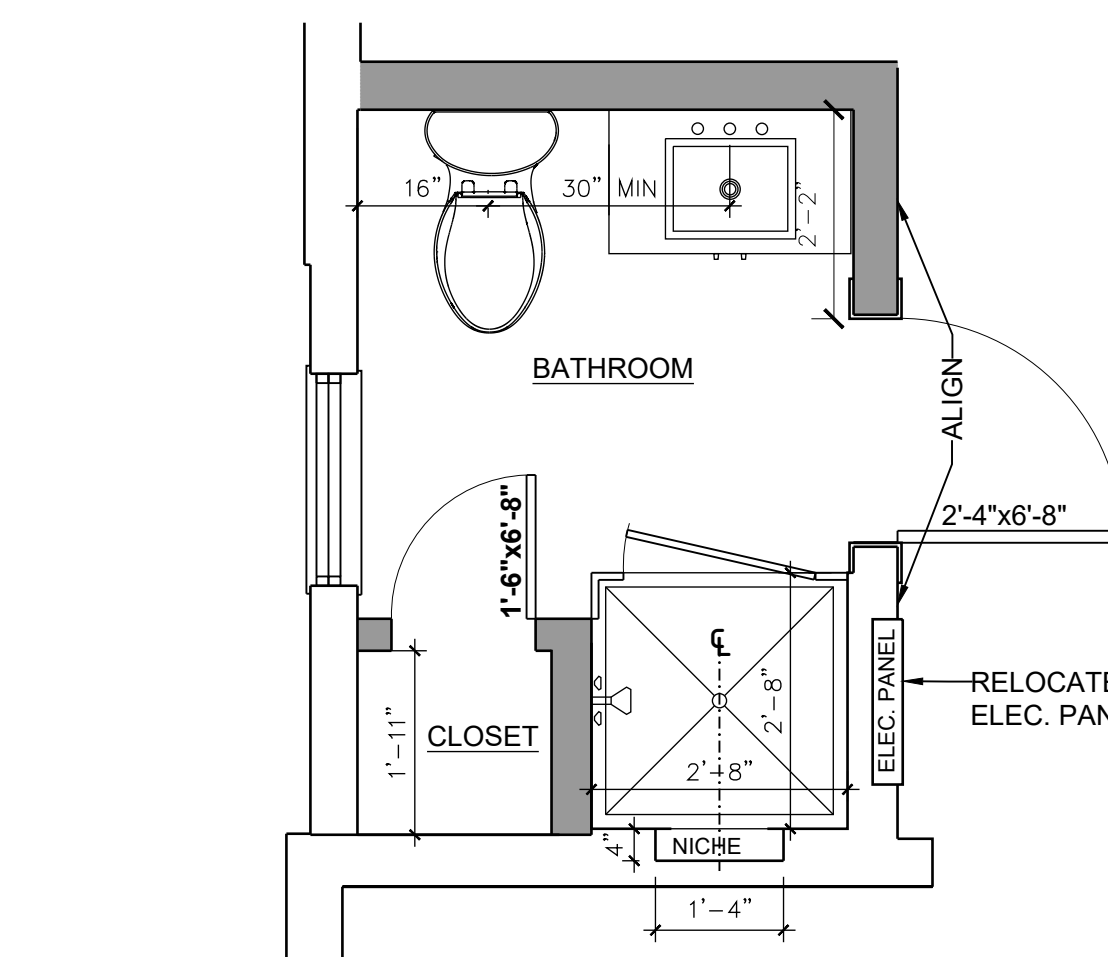
**MAREN ROBERTSON
ARCHITECTURE**

MAREN ROBERTSON ARCHITECT

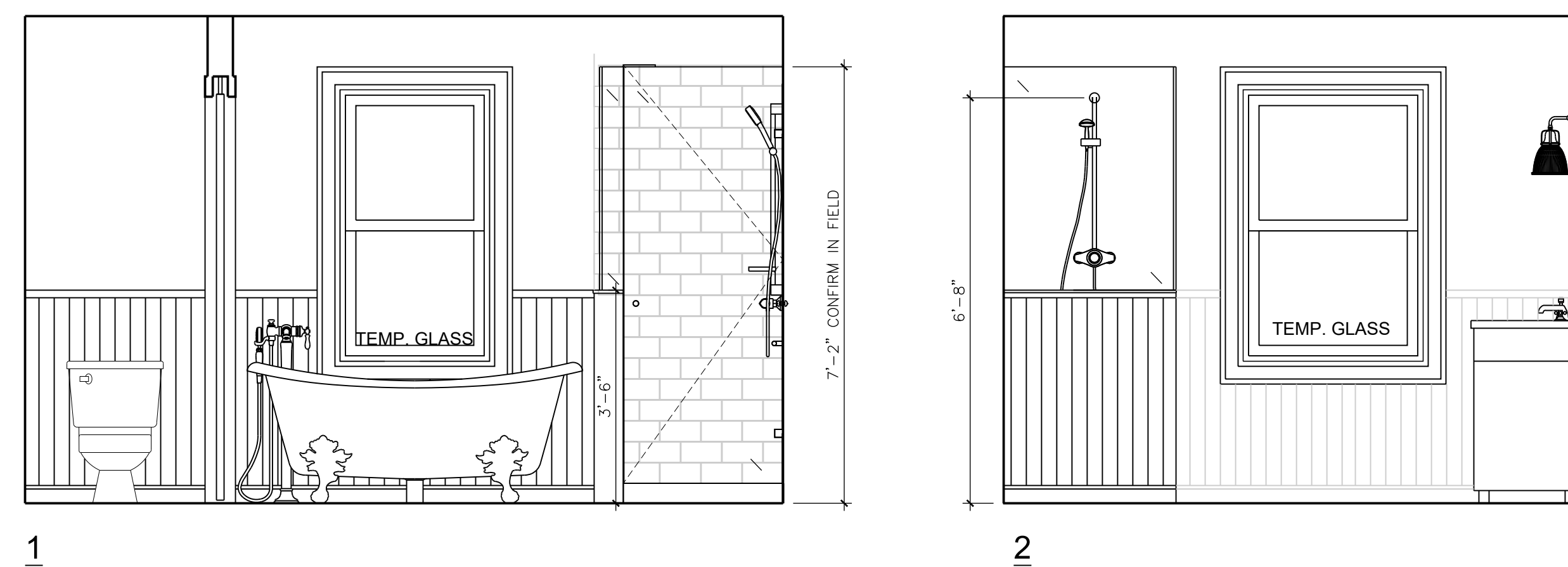
58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com



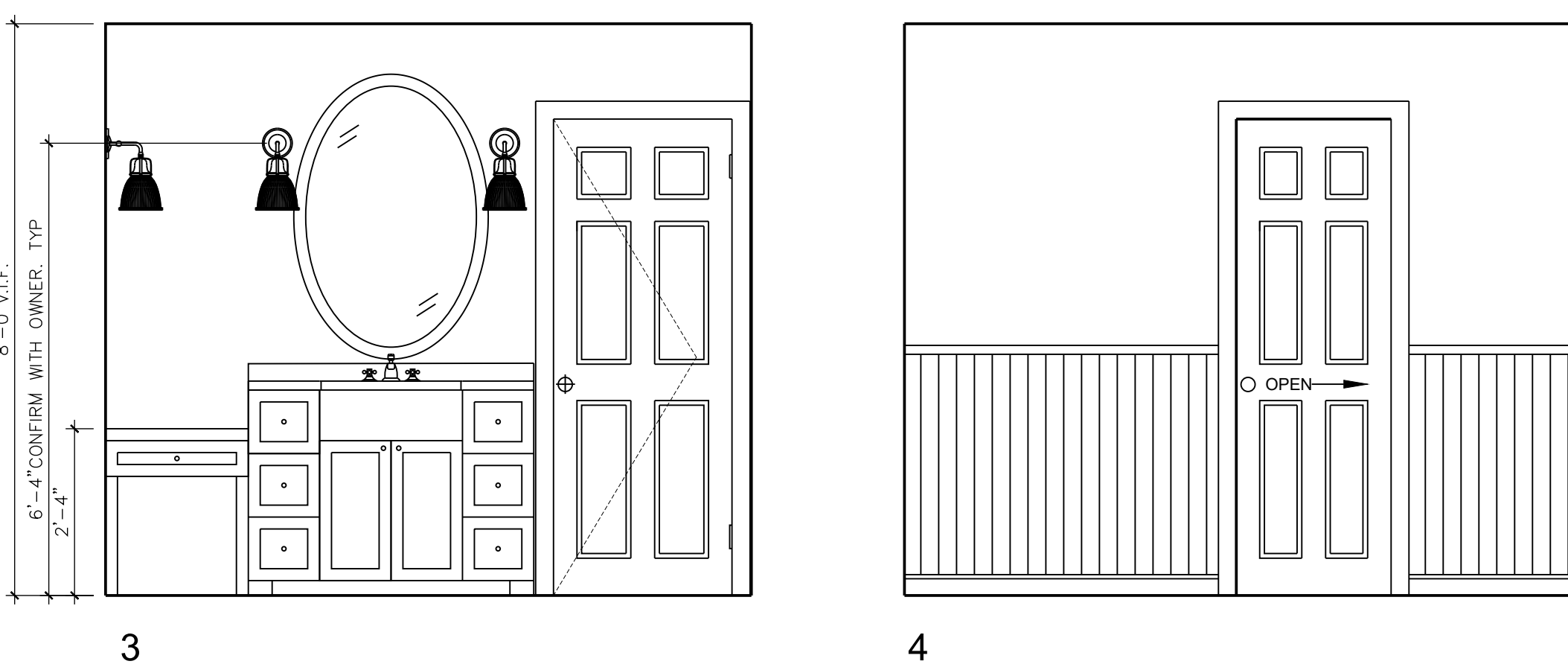
1 FIRST FLOOR BATHROOM ELEVATIONS
A-9 SCALE: 1/2" = 1'-0"



2 FIRST FLOOR BATHROOM FLOOR PLAN
A-9 SCALE: 1/2" = 1'-0"

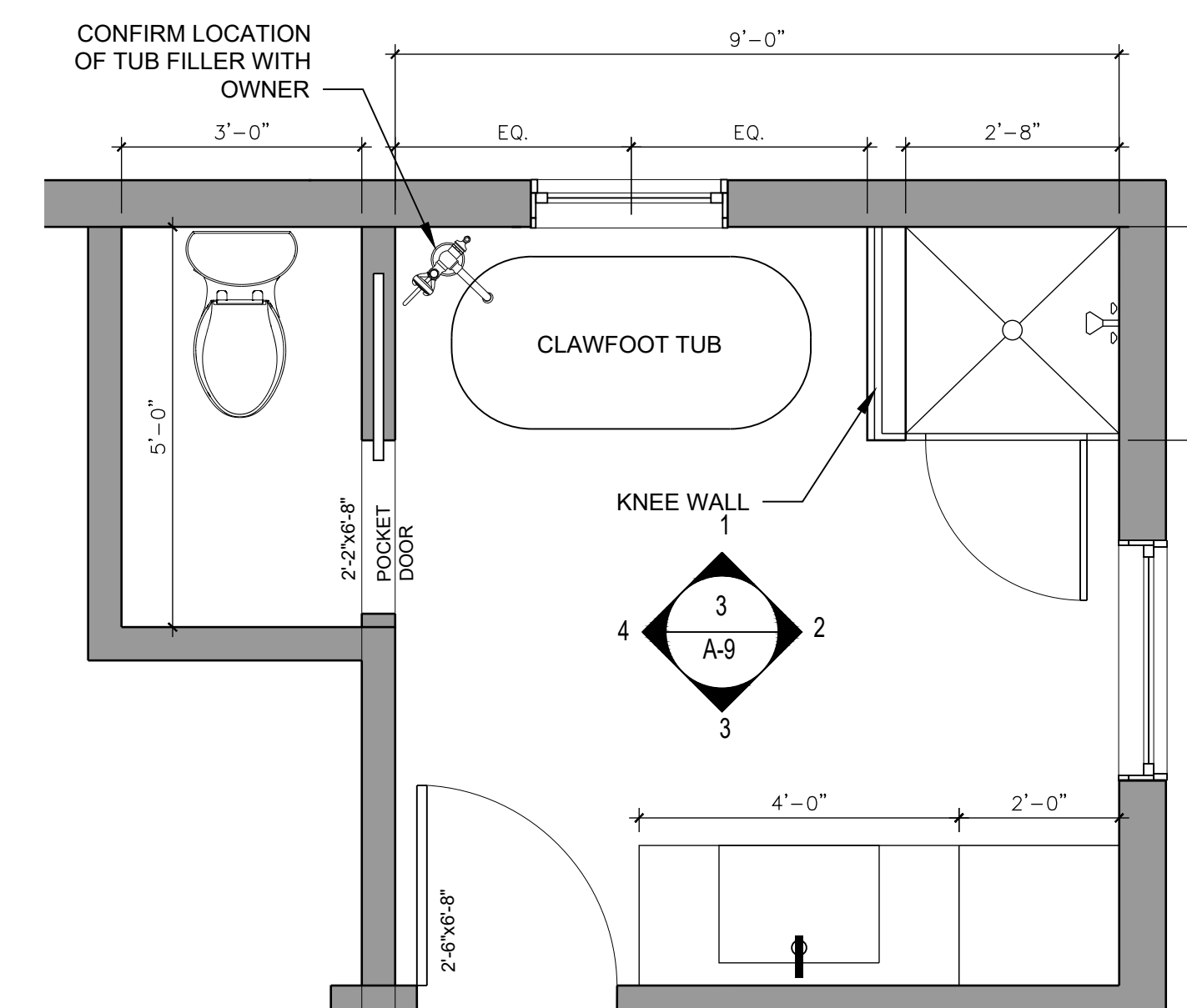


1 2



3 4

3 SECOND FLOOR BATHROOM ELEVATIONS
A-9 SCALE: 1/2" = 1'-0"



4 SECOND FLOOR BATHROOM FLOOR PLAN
A-9 SCALE: 1/2" = 1'-0"

PERMIT APPLICATION 6.27.22

DRAWING TITLE
BATHROOM ELEVATIONS

PROJECT NO. 2113
DRAWN BY MCR
SCALE AS NOTED
DATE JUNE 27, 2022

A-9