

**SITE PLAN UNIFORM NOTES**

- PROPERTY IS 530 NORTH HIGHLAND AVENUE, TAX MAP SECTION 59.12 BLOCK 1 LOTS 2 & 17 AS SHOWN ON THE TAX MAPS OF THE VILLAGE OF UPPER NYACK AND THE TOWN OF CLARKSTOWN RESPECTIVELY.
- THE OWNER IS RICHARD DEMAN/4-5 MOTORSPORT, 530 NORTH HIGHLAND AVENUE UPPER NYACK NY 10960. THE APPLICANT IS ROBERT BILARSKI AIA/SECO ARCHITECTURE-DESIGN, 41A NORTH BROADWAY NYACK NY 10960.
- SURVEY METES AND BOUNDS AND ALL OTHER SURVEY INFORMATION TAKEN FROM SURVEYS BY JAY GREENWELL, PLS LLC DATED 19 APRIL 2005 & 8 NOVEMBER 2022.
- DATUM ELEVATION: NAVD-1988.
- DISTRICTS:  
ZONING: CB  
SCHOOL: NYACK FREE UNION  
FIRE: NYACK FIRE DEPARTMENT  
AMBULANCE: NYACK COMMUNITY AMBULANCE CORPS  
LIGHTING: UPPER NYACK  
WATER: VEDOLA WATER  
SEWER: ROCKLAND COUNTY SEWER DISTRICT NO.1
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN A MANNER SPECIFIED BY §239 OF THE NYS GENERAL MUNICIPAL LAW.
- ALL NEW UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND.
- IRON PINS, 3/4" IN DIAMETER AND MINIMUM 30" LONG, SHALL BE INSTALLED AT ALL LOT CORNERS AFTER FINAL GRADING.
- PLAN IS SUBJECT TO ALL STATE, COUNTY AND LOCAL CONSTRUCTION AND UTILITY STANDARDS AS APPLICABLE.
- THE BUILDER SHALL COMPLY WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE NYS STANDARDS FOR URBAN EROSION AND SEDIMENT CONTROL.
- IF APPLICABLE, THIS SITE PLAN IS SUBJECT TO STORMWATER MAINTENANCE AGREEMENT FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON \_\_\_/\_\_\_/\_\_\_ AS INSTRUMENT NUMBER XXXXXXXX.
- RETAINING WALLS SHALL BE DESIGNED BY AN ENGINEER LICENSED IN NYS AND DESIGN SHALL BE SUBMITTED FOR REVIEW WITH THE BUILDING PERMIT APPLICATION. CERTIFICATION OF CONSTRUCTION IN ACCORDANCE WITH THE DESIGN, BY AN NYS LICENSED PROFESSIONAL ENGINEER, SHALL BE SUBMITTED PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY.
- SITE PLAN APPROVAL FOR THIS APPLICATION WAS GRANTED BY RESOLUTION OF THE VILLAGE OF UPPER NYACK PLANNING BOARD DATED \_\_\_/\_\_\_/\_\_\_ ONCE THIS SITE PLAN IS SIGNED BY THE PLANNING BOARD CHAIR, APPROVAL SHALL EXPIRE IF:

- A BUILDING PERMIT HAS NOT BEEN ISSUED FOR CONSTRUCTION IN ACCORDANCE WITH AN APPROVED SITE PLAN WITHIN (3) YEARS OF THE DATE THAT THE SITE PLAN WAS SIGNED BY THE PLANNING BOARD CHAIR OR, IF ALL IMPROVEMENTS PERMITTED OR REQUIRED BY THE SITE PLAN APPROVAL ARE NOT COMPLETED AND A CERTIFICATE OF OCCUPANCY/CERTIFICATE OF COMPLIANCE HAS NOT BEEN ISSUED WITHIN (2) YEARS OF THE DATE THAT THE BUILDING PERMIT IS ISSUED, UNLESS EXTENDED PURSUANT TO VILLAGE OF UPPER NYACK ZONING LAW (L. #5 OF 2022) §10.4.1.2.
  - THE USE FOR WHICH THIS SITE PLAN APPROVAL WAS GRANTED HAS SUBSTANTIALLY CEASED FOR A PERIOD OF (12) CONSECUTIVE MONTHS, VILLAGE OF UPPER NYACK ZONING LAW (L. #5 OF 2022) §10.4.1.3.
  - THE SITE PLAN APPROVAL FOR SUCH USE SHALL EXPIRE UPON THE EXPIRATION OF THE SPECIAL USE PERMIT PURSUANT TO §9.4 OF THE VILLAGE OF UPPER NYACK ZONING LAW, VILLAGE OF UPPER NYACK ZONING LAW (L. #5 OF 2022) §10.4.1.3.
- THIS SITE PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS, ORDINANCES AND SPECIFICATIONS OF THE VILLAGE OF UPPER NYACK.
  - THIS PROPERTY HAS BEEN THE SUBJECT OF REVIEW BY THE VILLAGE OF UPPER NYACK PLANNING BOARD/ZONING BOARD OF APPEALS AS APPLICABLE. THIS APPROVAL(S) PERMITS CONSTRUCTION AS INDICATED ON THE SITE PLAN BUT DOES NOT OTHERWISE AFFECT OR ALTER SUCH PRIOR APPROVALS OR ANY CONDITIONS THEREON.
  - NO OUTDOOR LIGHTING SHALL PRODUCE ILLUMINATION BEYOND THE BOUNDARIES OF THE LOT ON WHICH IT IS LOCATED, AND LIGHT SOURCES SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
  - ANY CHANGES OR MODIFICATIONS TO THIS SITE PLAN REQUIRE AMENDED SITE PLAN APPROVAL FROM THE VILLAGE OF UPPER NYACK PLANNING BOARD.
  - THE CONTINUED VALIDITY OF ANY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE FOR THE IMPROVEMENTS DEPICTED ON THIS PLAN SHALL BE SUBJECT TO CONTINUED CONFORMANCE WITH THIS SITE PLAN AND THE CONDITIONS HERETO.
  - EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
  - THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NYS UNIFORM FIRE PREVENTION CODE AND BUILDING CODE AND THE NYS ENERGY CONSERVATION CODE AS CURRENTLY IN EFFECT.
  - IF REQUIRED, PERCOLATION TEST SHALL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION WITH RESULTS TO BE PROVIDED TO THE VILLAGE ENGINEER TO VERIFY DRYWELL DESIGN. DESIGN SHALL BE REVISED AS REQUIRED BASED ON PERCOLATION RATE OF SITE SOILS.

**ZONING COMPLIANCE TABLE**

Zone	CB Office-Business Motor Vehicle Service Facility				
	REQUIRED/ PERMITTED	EXISTING	PROPOSED	NET CHANGE	NOTES
Net Lot Area (SF)	43,560	27,188	27,188	none	existing
Lot Width	120'	98.06'	98.06'	none	existing
Lot Frontage	120'	144.69'	144.69'	none	existing
Front Yard	40'	116.8'	116.8'	none	existing
Side Yard (north)	40'	15.7'	15.7'	none	existing
Side Yard (south)	40'	32.6'	32.6'	none	existing
Total Side Yards	80'	48.3'	48.3'	none	existing
Rear Yard	40'	372.1'	372.1'	none	existing
Principal Building Height	35'	15'	15'	none	existing
Building Coverage	30%	15%	15%	none	existing
Development Coverage	80%	70%	70%	none	existing
Floor Area Ratio	50%	15%	15%	none	existing

**NET LOT AREA CALCULATION (see Zoning Law §2.1.6.2)**

ITEM	SECTION	AREA (SF)	REDUCTIONS		
			%	SF	
Wetlands, etc.	2.1.62.1.1	0	50%	0	
Hudson River	2.1.62.1.2	0	100%	0	
Slopes 40% & over	2.1.62.2.1	38,616	100%	38,616	
Slopes 26-39%	2.1.62.2.2	0	50%	0	
Outcrops	2.1.62.2.3	38,616	50%	19,308	
<b>NET LOT AREA (SF)</b>		<b>65,804</b>		<b>38,616</b>	<b>= 27,188</b>

**PARKING CALCULATION (see Zoning Law §4.4.3)**

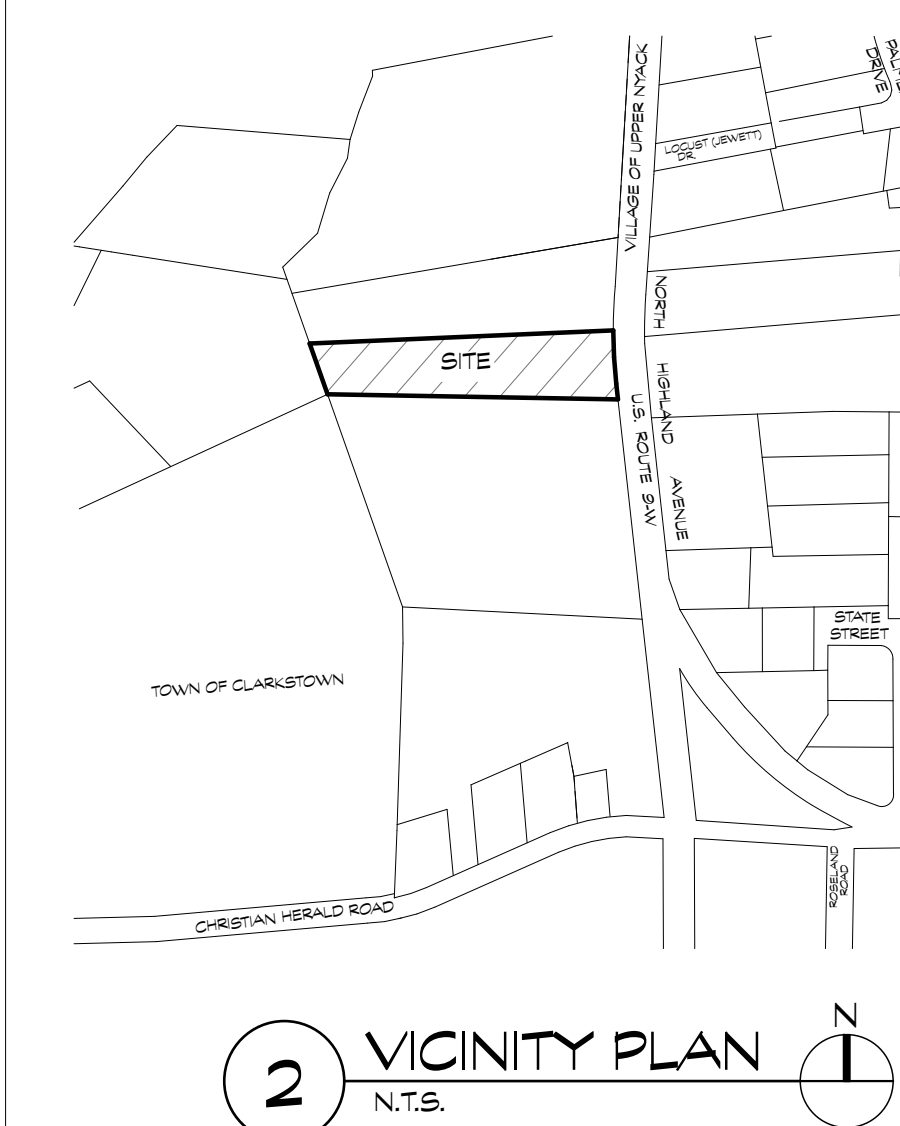
**For Motor Vehicle Service Facilities:**

(5) Parking Spaces for the first service bay + (2) Parking Spaces for each additional bay  
(2) bays = (5) + (3) = (8) Parking Spaces

(1) Loading Space for the Initial 10,000 SF of Floor Area + (1) Loading Space for each additional 25,000 SF or fraction thereof  
Floor Area = 4,073 SF = (1) Loading Space

**Parking Required = (8) Parking Spaces + (1) Loading Space = (9) Total Spaces**  
**Parking Provided = (15) Total Spaces**

**Note:** §9.6.9.2 of the Village of Upper Nyack Zoning Code prohibits Parking Areas and the parking of vehicles within required setbacks. (8) existing Parking Spaces are located within the 40' required from yard setback.

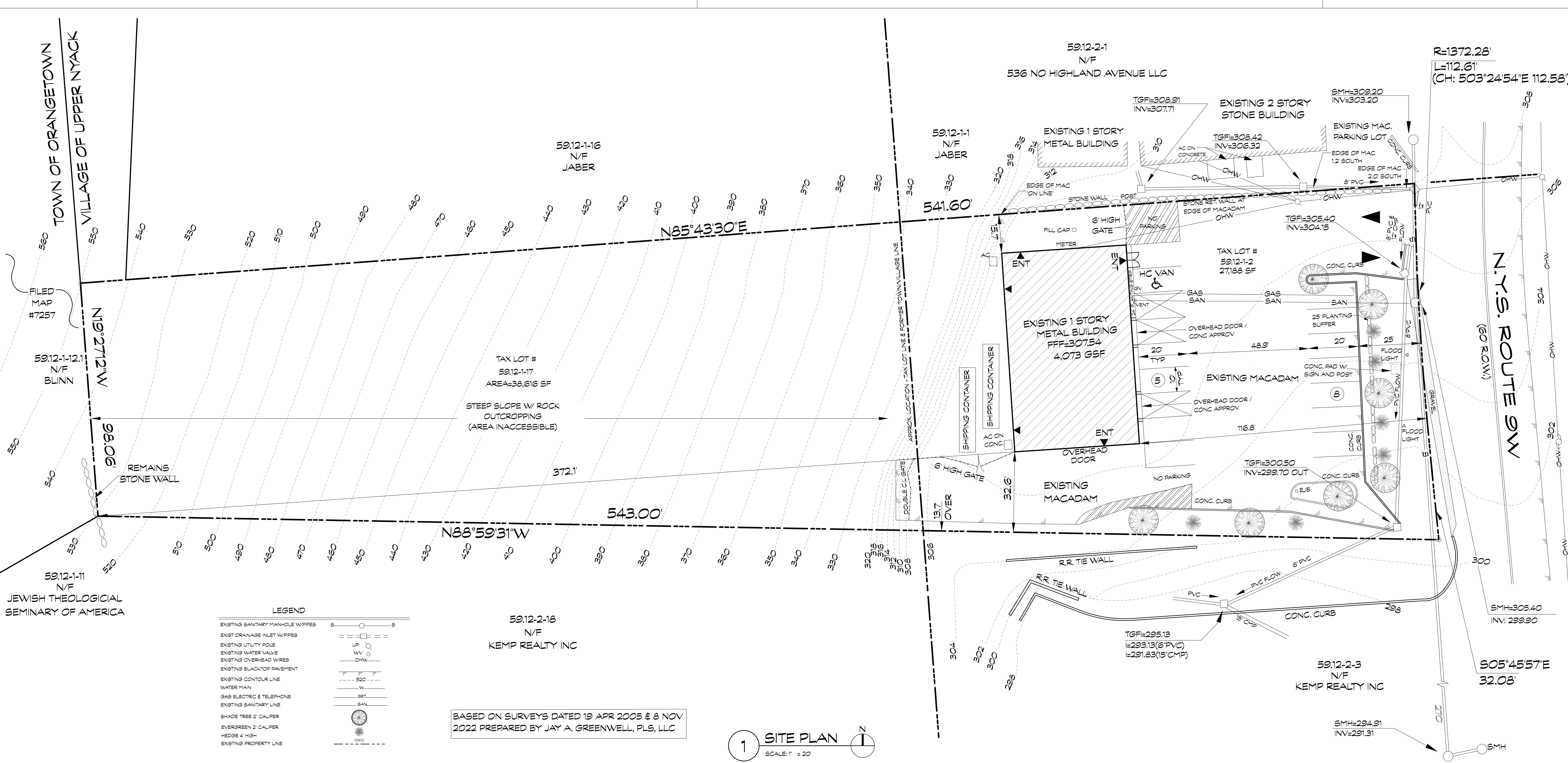


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NYS LICENSE EXP. NOV. 2023

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**LEGEND**

- EXISTING SANITARY MANHOLE WIPES
- EXIST DRAINAGE INLET WIPES
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING OVERHEAD WIRES
- EXISTING BLACKTOP PAVEMENT
- EXISTING CONTOUR LINE
- WATER MAIN
- GAS ELECTRIC & TELEPHONE
- EXISTING SANITARY LINE
- SHADE TREE 2" CALIPER
- EVERGREEN 2" CALIPER
- HEDGE 4" HIGH
- EXISTING PROPERTY LINE

**1 SITE PLAN**  
SCALE: 1" = 20'

BASED ON SURVEYS DATED 19 APR 2005 & 8 NOV 2022 PREPARED BY JAY A. GREENWELL, PLS, LLC

**SPECIAL PERMIT FOR DEMAN MOTORSPORT**  
(A/K/A 4-5 MOTORSPORT LLC)

530 NORTH HIGHLAND AVENUE | UPPER NYACK NY 10960

NO.	DATE	DESCRIPTION
1	NOV 2022	SPECIAL PERMIT PLANNING BOARD

**SITE PLAN**

SCALE AS NOTED

**A-001**

SECO, # 2216