

SITE PLAN
1"=20' 0"

THIS SITE PLAN IS BASED ON A SURVEY OF PROPERTY PREPARED FOR JAMES G. BOUGHTON AND JULIE MOWATT BY PETER E. ROFFINO, PLS BALBERT DRIVE, MONBEY NY

N/F JAMES

DATES

PERMIT	- 7.25.22
ARB	- 8.9.22
PERMIT	- 10.15.22
REV	- 1.6.22

ZONING DATA
DISTRICT - Z10 - HUDSON RIVER OVERLAY ZONE
TAX LOT 60.18/1/22.

BULK REGULATIONS RE: EXISTING GARAGE

REGULATION	REQUIREMENT	EXISTING	PROPOSED
LOT AREA	10,000 sq ft	14,471 sq ft	14,471 sq ft
LOT WIDTH	90'	177.47' +/-	177.47' +/-
FRONTAGE	90'	45.83'	45.83'
FRONT YARD	35'	0.61' GAR.	0.61' GAR.
SIDE YARD	25'	102' - 6.5'	102' - 6.5'
TOTAL SIDEYD	50'	108.50'	108.50'
REAR YARD	25'	24.08' - 64'	24.08' - 60' PR.
ACCESS. HGHT.	15'	21' GAR.	21' GAR.
BUILD COVER	20%	8.7%	8.7%
DEY COVER	40%	15%	15%
FAR	0.25	0.184	0.184
DIST. BTWN BUDS	10'	25'	25'
PARKING SETBACK	5'	0'	0'
PRINCIPAL HGHT.	28'	28'	28'

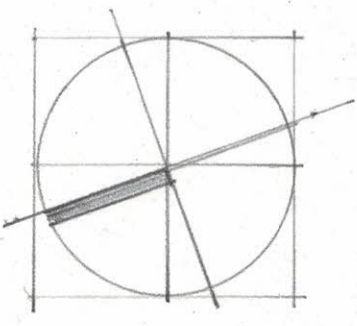
NOTE:

ALL WORK SHALL BE IN COMPLETE CONFORMANCE WITH THE RULES & REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION INCLUDING THE NEW YORK STATE BUILDING CODE & THE VILLAGE OF UPPER NYACK.

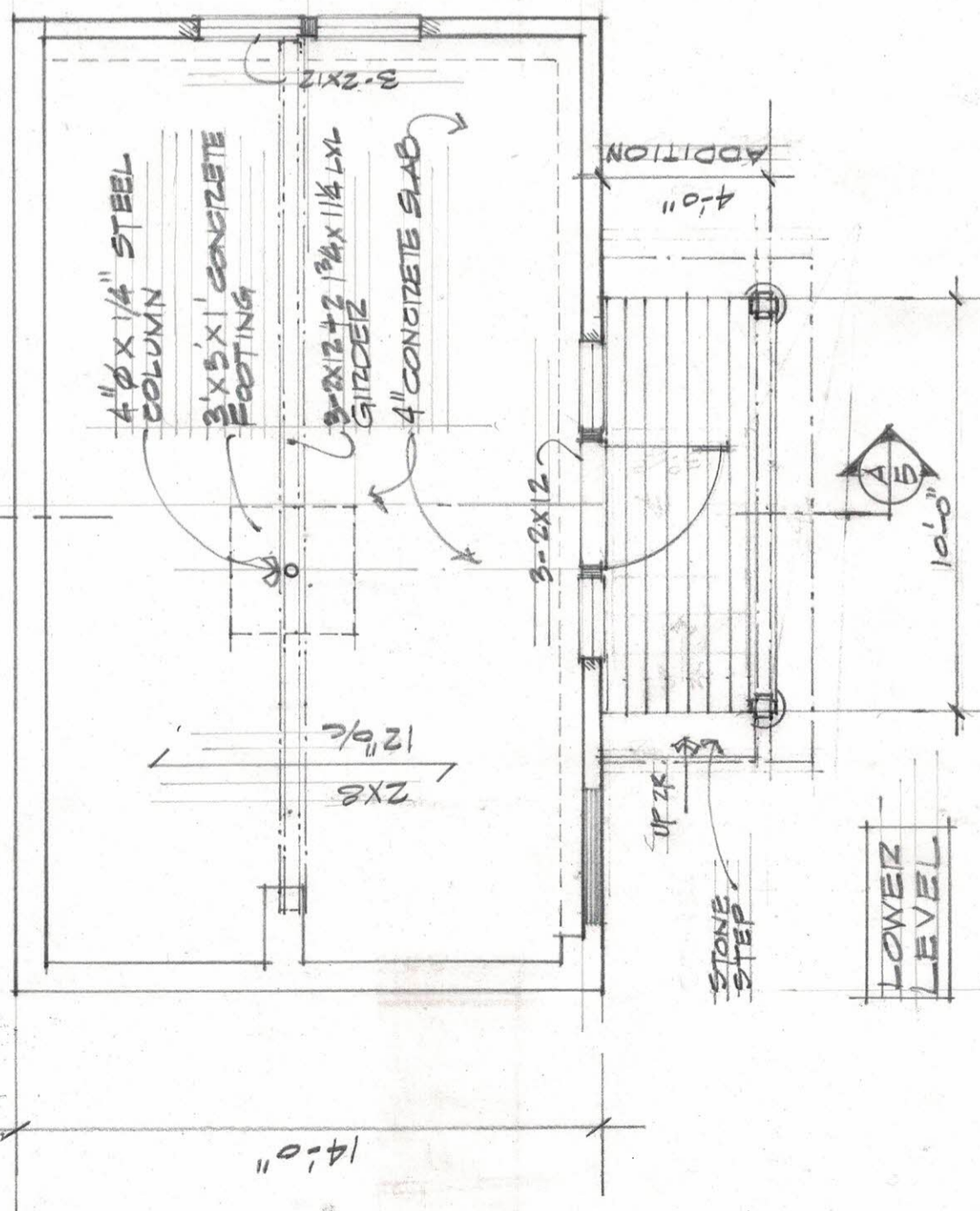
- VARIANCES GRANTED FOR FRONT, REAR & SIDE YARD SETBACKS FOR PRINCIPAL STRUCTURE ZBA 12/29/92
- *EXISTING NON-CONFORMING BULK
- THE GARAGE BUILDING WILL NOT BE USED FOR DWELLING PURPOSES OR INCLUDE A DWELLING UNIT.



ADDITION & ALTERATION TO AN EXISTING 2 STORY GARAGE FOR BOUGHTON/MOWATT
19 VAN HOUTEN ST. / UPPER NYACK, NY.
MICHAEL ESMAY/ARCHITECT
17 VAN HOUTEN ST. / UPPER NYACK N.Y.
845358-0933
PNG NO. 1



23'-6"



4" Ø X 1/4" STEEL COLUMN

3' X 5' X 1' CONCRETE FOOTING

3'-2" X 12" + 2 3/4" X 1 1/4" LXL GIRDER

4" CONCRETE SLAB

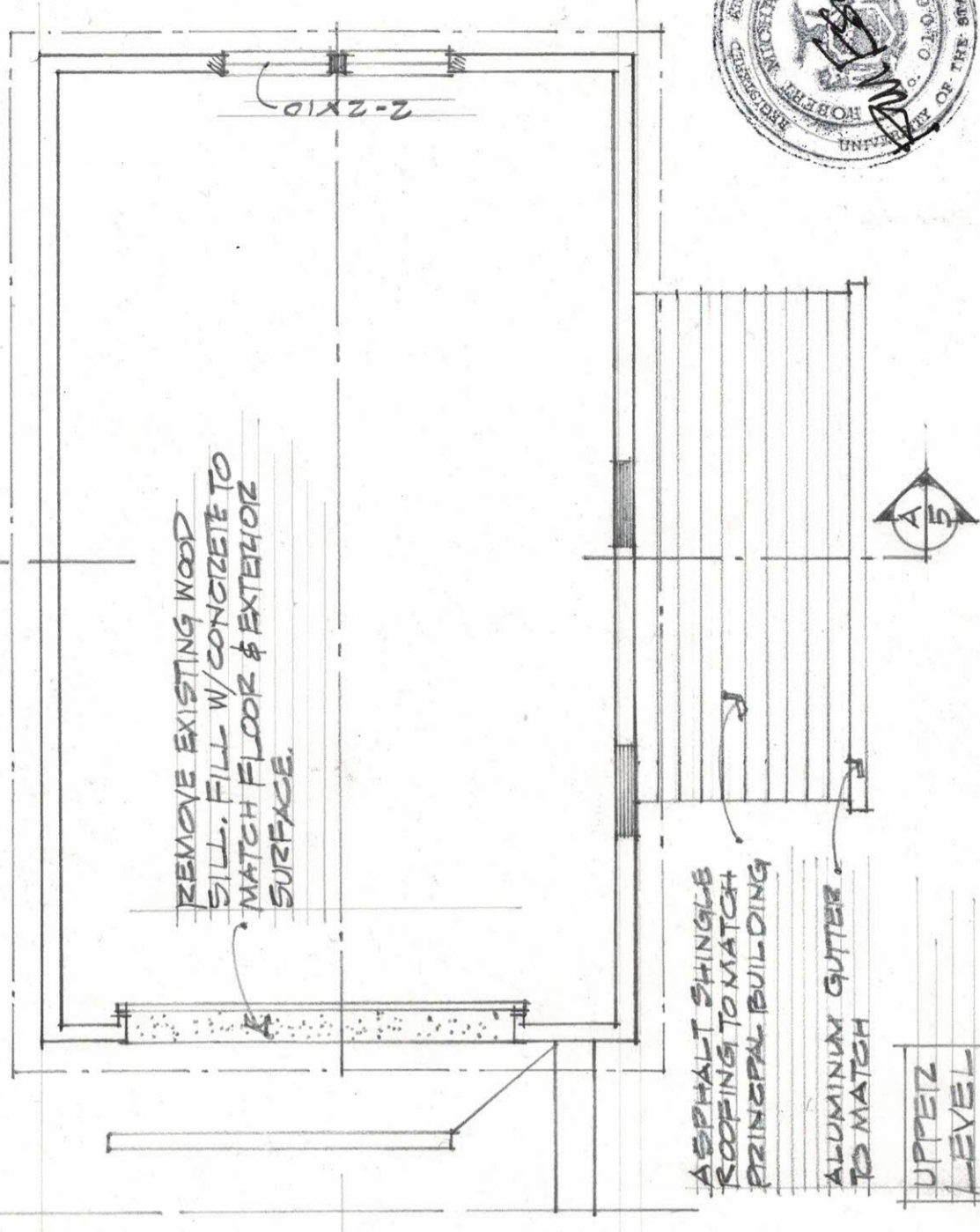
4'-0" ADDITION

STONE STEP

LOWER LEVEL

FLOOR PLANS

SCALE 1/4" = 1'-0"



REMOVE EXISTING WOOD SILL. FILL W/ CONCRETE TO MATCH FLOOR & EXTERIOR SURFACE.

ASPHALT SHINGLES SOOPING TO MATCH PRINCIPAL BUILDING

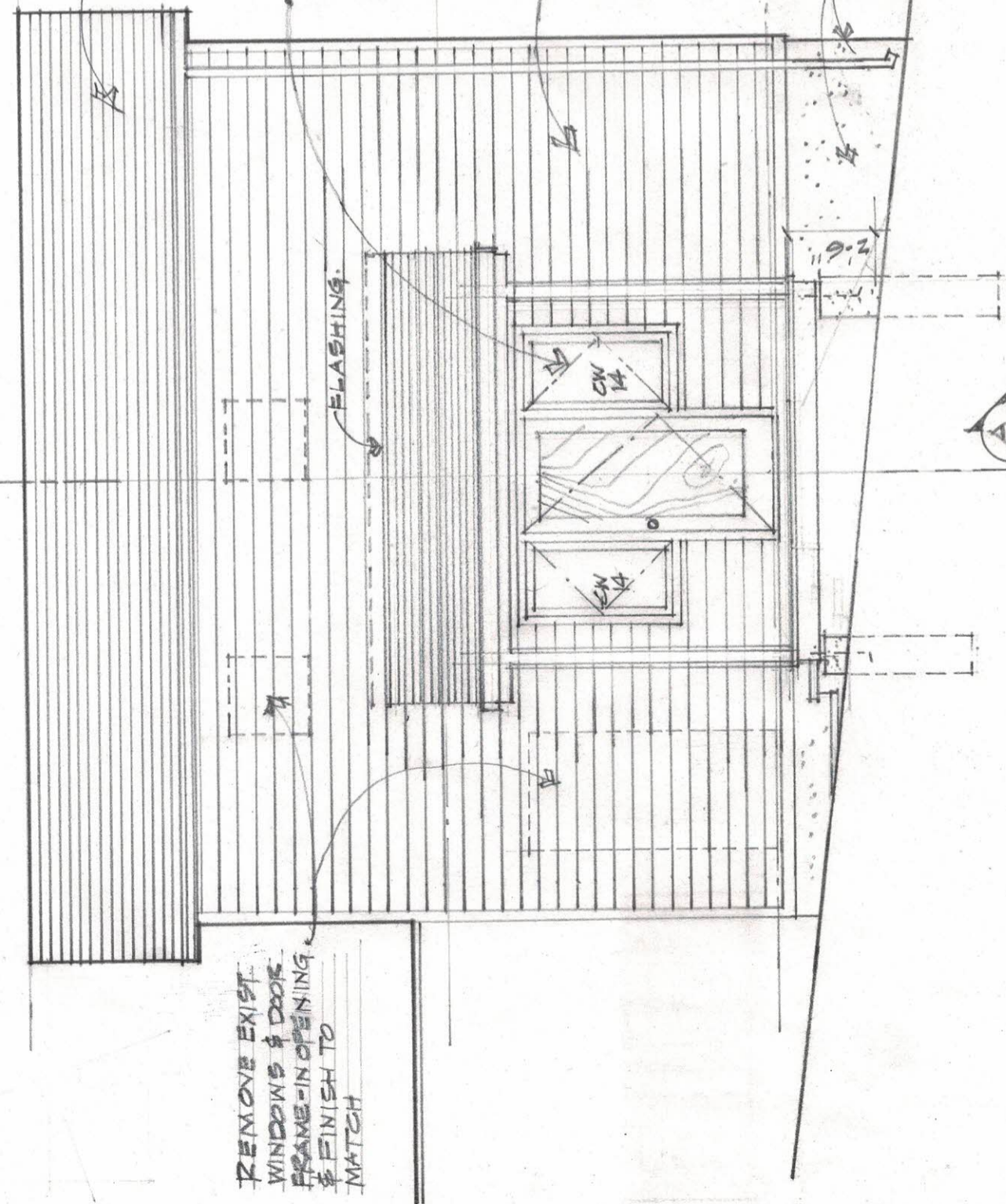
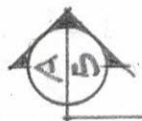
ALUMINUM GUTTER TO MATCH

UPPER LEVEL

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DWG No. 2



SOUTH

ELEVATIONS
SCALE 1/4" = 1'-0"

ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE

VINYL CLAD WOOD CASEMENT WINDOWS AS MNF. BY ANDERSEN WINDOWS

HARDIE PLANK SIDING TO MATCH FRING. BLDG.

EXISTING FOUNDATION PATCH AS REQUIRED

EAST

DATES	
PERMIT	7.25.22
ARD	8.9.22
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21'-0"



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DWG. No. 3



REMOVE EXISTING ROOFING PATCH OR REPLACE EXISTING SHEATHING AND REPAIR EXISTING ROOF FRAMING AS REQUIRED. INSTALL NEW ASPHALT SHINGLES TO MATCH THOSE ON THE RESIDENCE OVER SYNTHETIC UNDERLAYMENT

REMOVE ALL EXISTING BRICK WALL FROM WALLS & CEILING. EXPOSE EXIST. FRAMING. REMOVE EXISTING WOOD SIDING FROM EXTERIOR WALLS. PATCH & REPAIR EXIST. FRAMING AS REQUIRED. FRAME NEW OPENINGS TO RECEIVE NEW DOOR & WINDOWS. COVER W/ HARDIE-PLANK LAP SIDING TO MATCH RESIDENCE ON TYPEK UNDERLAYMENT 1/2" CDX PLYWOOD SHEATHING.

ASPHALT SHINGLES TO MATCH RESIDENCE ON SYNTHETIC UNDERLAYMENT ON 1/2" CDX PLYWOOD SHEATHING ON 2X6 16" o/c W/ 2X4 TIES

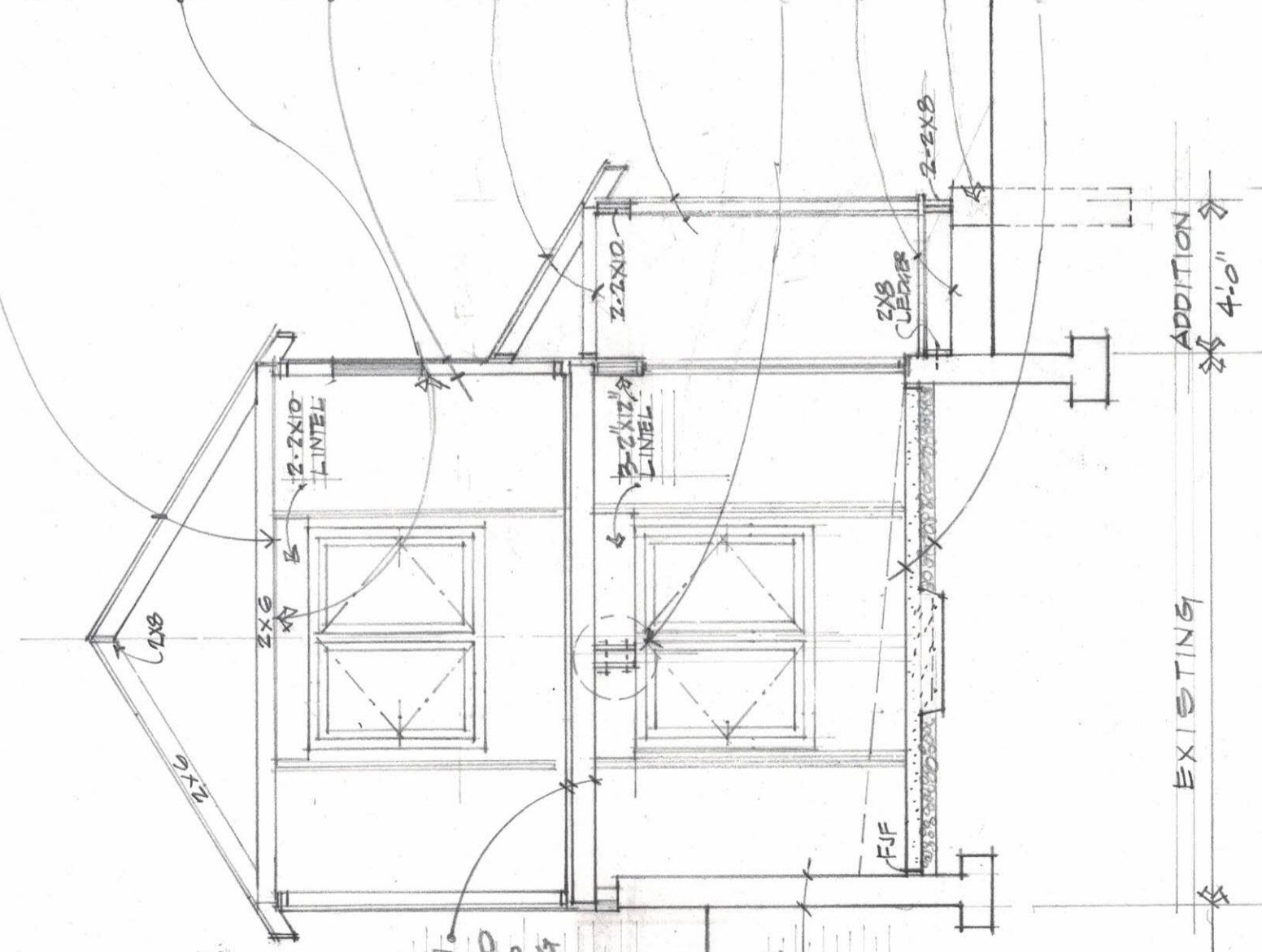
4" X 4" PRESSURIZED TREATED WOOD COLUMN W/ 4-2X4 FT. COVER

SANDWICH EXISTING 2X12 GIRDER W/ 2 3/4" X 1 1/4" GANG LAM LYL. FASTEN W/ 1/2" Ø GALV. THRU BOLTS W/ A STAGGERED PATTERN 16" o/c. REST GIRDEL ON SIMPSON-STROUPTIE HANGER # HUG814

1" X 6" P.T. DECKING ON 2X8 P.T. JOISTS 16" o/c W/ 2X8 LEDGER. BOLT TO EXIST. WALL 16" o/c.

14" Ø CONCRETE PER FOOTING TIES TO A MINIMUM OF 3'-6" BELOW FINISH GRADE W/ A 842 COL. BASE

4" CONCRETE (3000 PSI) SLAB W/ 6" X 6" #10 X #10 W/M REINFORCING ON VAPOR BARRIER ON 4" CRUSHED STONE ON UNDISTURBED SOL.



INSPECT EXIST. WOOD FLOORING. PATCH AS REQUIRED. ADD 2X8 JOISTS TO HAVE A SPACING OF 1'-0" o/c.

EXISTING CONG. BLOCK WALL. PATCH AS REQUIRED

EXISTING

ADDITION

2X8 4'-0"

SECTION A-A

1/4" = 1'-0"

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17 VAN HOUTEN ST. / UPPER NYACK, NY.

(845) 358-0933

PWG No 4

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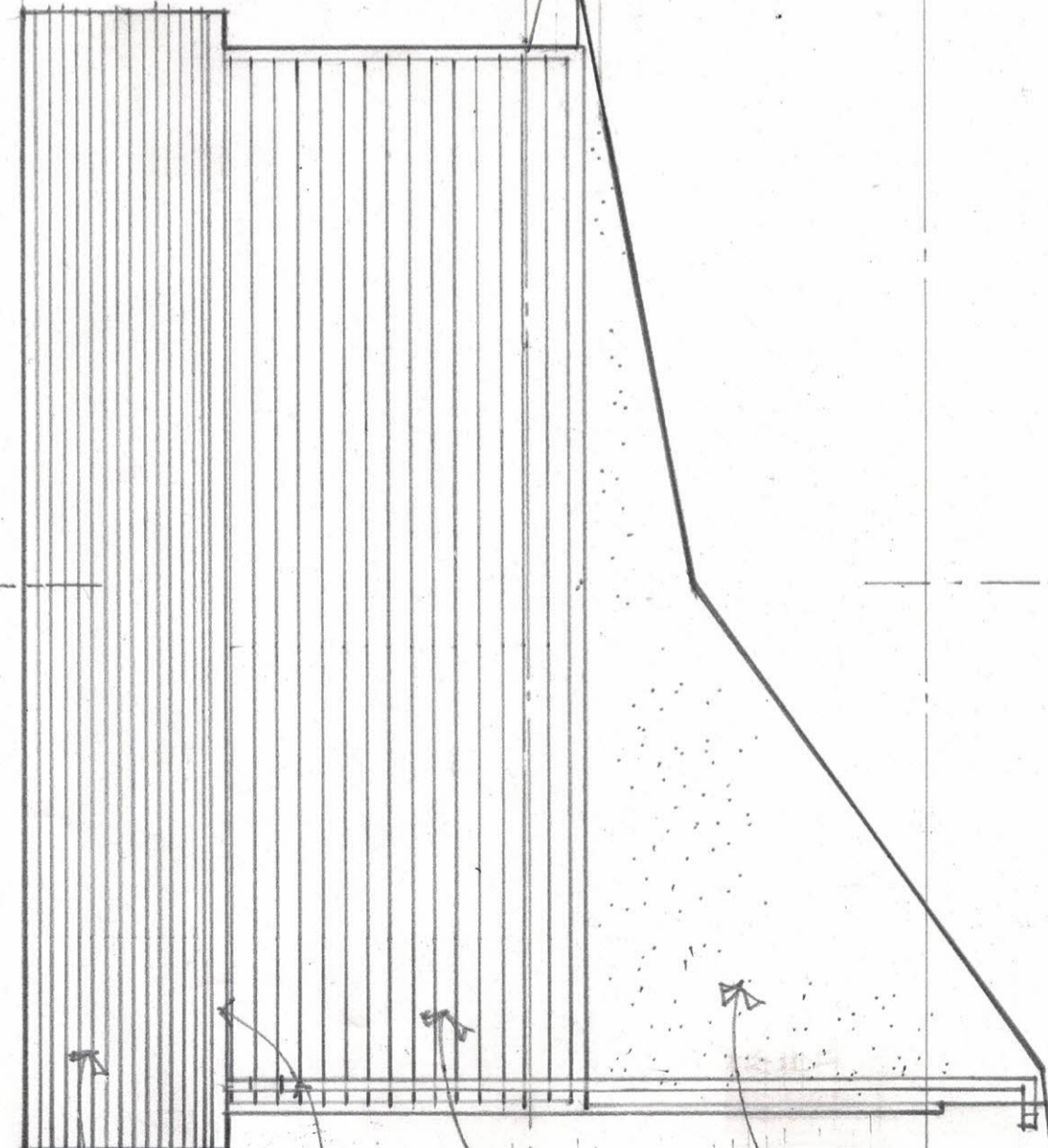


ASPHALT SHINGLES ROOFING TO MATCH EXIST. RESIDENCE

ALUM. GUTTER & LEADER TO MATCH

HARDIE PLANK LAP SIDING TO MATCH EXIST. RESIDENCE

EXISTING MASONRY FOUNDATION WALL



REMOVE EXIST. DOOR AND REPLACE WITH LOW CLEARANCE WOOD OVERHEAD DOOR W/GLAZING IN TOP ROW OF PANELS.

EXISTING RAIL

EXISTING RETAINING WALL

NORTH

WEST



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